

UPPER MORELAND TOWNSHIP
Community Development Committee Meeting
July 18, 2022 at 7:00 p.m.

AGENDA ITEMS ARE SUBJECT TO CHANGE

INSTRUCTIONS TO JOIN:

Go to Zoom.us. Click “Join a Meeting” Webinar ID: 917 5771 7982 Password: 182130

Join by Phone: Dial 1-929-205-6099 Webinar ID: 917 5771 7982 Password: 182130

Public comments via email have been discontinued and must be stated in person at the meeting.

***Residents requiring special accommodations:
please call the Township during normal business hours at 215-659-3100 x1058 or x1057***

Community Development Committee Members: Commissioner and Committee Chair Kevin C. Spearing, Commissioner Kip McFatrige and Commissioner Anthony Prousi, Township Staff Committee Members: Paul E. Purtell, Director of Code Enforcement and David Elsier, Director of Public Works.

I. Moment of Silent Meditation

II. Pledge of Allegiance

III. Call to Order

IV. Announcements

V. Roll Call

VI. Presentation

VII. Approval of Minutes – June 13, 2022 (attachment)

VIII. Land Development/Subdivision:

- A. Request by New Century Associates for a minor land development application for the property located at 2010 County Line Road at the Marketplace at Huntingdon Valley, for the reuse of a former bank building conversion to Chipotle Restaurant (attachments).

IX. New Business:

- A. Review of Transportation Projects (attachments)
- B. Request by 1006 York Road Condominium Association to reduce bill for trash and recycling services from the Township (attachment).

X. Old Business:

- A. Request by Walmart to amend Resolution R-2022-20 to increase the placement of portable storage trailers, one (1) temporary construction office trailer and two (2) construction dumpsters on the property located at 2101 Blair Mill Road (attachments)
- B. Five Hundred Block of Evans Circle – Storm Pipe - Update
- C. Failure of septic system on Manor House Lane – Update
- D. Zoning Ordinance Update (under review)
- E. Responsible Contractor Draft Ordinance (RCO) Discussion (attachment)

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XI. Acceptance and Approval of the following monthly reports (attachments):

- A. Code Enforcement Department Reports
- B. Public Works Department Report and Recycling Report
- C. Engineer’s Report
- D. Landscape Architect’s Report
- E. Traffic Engineer’s Report
- F. Environmental Advisory Council {EAC}
- G. Upper Moreland Historical Commission

XII. Visitor Comments

XIII. Redevelopment

XIV. Other:

- A. Consider the cancellation of the August 8, 2022 Community Development Committee Meeting.

XV. Commissioner Comments

XVI. Adjournment

UPPER MORELAND TOWNSHIP
Community Development Committee
June 13, 2022 - Meeting Minutes

Community Development Committee Members - Commissioner and Committee Chair Kevin C. Spearing, Commissioners Kip McFatridge, Anthony S. Prousi, Paul E. Purtell, Director of Code Enforcement, David Elsier, Director of Public Works

I. Moment of Silent Meditation

II. Pledge of Allegiance

III. Call to Order - The meeting was called to order by Committee Chair and Commissioner Kevin C. Spearing.

VI. Roll Call: Committee Chair and Commissioner Spearing, Commissioners McFatridge, Prousi, Mr. Elsier. Absent: Mr. Purtell. Also present: Matthew H. Candland, Township Manager, James Hersh, Township Engineer, Alex Baumler, Township Solicitor.

V. Presentations/Announcements:

Ray Stahl, Senior Vice President, Upper Moreland Historical Association, presented a report on the Association's history, purpose and achievements. Mr. Stahl thanked the Commissioners for their support.

- Commissioner Spearing recommends creating QR codes to digitize all the historical information markers throughout the Township.

VI. Approval of Minutes – May 9, 2022:

- Commissioner Prousi amended page 2, Section IX., D., second arrow to read, "... consistent language,...".
- The minutes were unanimously approved as amended.

VII. Land Development/Subdivision:

A. Two-lot minor subdivision for the property located at 3827 Betz Road:

- Paul Heilman, property owner, explained details in preparation for a subdivision and discussed the cesspool, impervious area, stormwater management, landscaping, and stone storage area.
- The Committee directed Mr. Heilman to submit an alternative stormwater management plan, update existing plans, and options for a per test that satisfy the conditions of Jim Hersh, Township Engineer, by June 27, 2022.
- The Committee recommends the Board of Commissioners take action at the July 11, 2022 Regular Meeting

VIII. New Business:

A. Request for a waiver of the Transportation Impact Fee for the property located at 2355 Douglas Lane:

- Kate and John Cox, residents of 2355 Douglass Lane, explained their hardship and waiver request.
- The Committee recommends the Board of Commissioners take action at the July 11, 2022 Regular Meeting.

B. Request by Sunoco Food Mart for a waiver to allow no more than three (3) amusement devices within 300 feet of a residential area at the property located at 714 Easton Road:

UPPER MORELAND TOWNSHIP
Community Development Committee
June 13, 2022 - Meeting Minutes

- David Shafkowitz, attorney for Sunoco at 714 Easton Road, explained the request to continue operation of the machines, which are monitored by store staff. The applicant is willing to comply with any further requirements to operate the devices.
- The Committee approved a six-month trial period for two amusement devices, and contingent upon their success, a third device would be permitted.
- The Committee recommends the Board of Commissioners take action at their July 11, 2022 Regular Meeting on an appropriate agreement or resolution.

IX. Other Items:

- A. Request by JERC Partners XXXVIII, LLC and J.G. Petrucci Co. to use all of a 2,000 square foot space on the first floor for office space only instead of mixed use (office and retail) as approved by Resolution R-2017-09 for the property known as the Station At Willow Grove:
 - James Garrity, Wisler Pearlstine, LLP, explained a typo in the Conditional Use Agreement for Station At Willow Grove, the lack of interest by retail tenants, Petrucci's proposal to locate its Pennsylvania office headquarters to the available space, and that the request be governed by the way the TC1 Ordinance is written.
 - A detailed discussion continued and Commissioner Lockard inquired about use of the second or third floor. Mr. Garrity replied that those floors have 90% occupancy.
 - The Committee recommends a Conditional Use Amendment to correct the "and" language to "or" and be discussed at a future Public Hearing.
- B. Five Hundred Block of Evans Circle – Storm Pipe:
 - Mr. Elsier explained the sink hole issues in the area with sidewalks containing the storm pipe and a detailed discussion was held on repairs.
 - The Committee directed Mr. Elsier to camera the area and prepare a report.
 - The Committee recommends a discussion at a future Community Development Committee Meeting.
- C. Failure of septic system on Manor House Lane:
 - Harry George, resident of 510 Manor House Lane, explained issues with his septic system and is pursuing a hook up to the main public sewer line.
 - A resident of 509 Manor House Lane, shared that there are other properties in the neighborhood that have cesspool and septic problems.
 - The Committee directed Mr. Candland to discuss solutions with the Upper Moreland Hatboro Joint Sewer Authority, and recommends the Board of Commissioners take action at the July 18, 2022 Community Development Committee Meeting.

X. Old Business:

- A. Responsible Contractor Draft Ordinance (RCO) Discussion:
 - Commissioner Spearing discussed incorporating language for an apprenticeship program, diversity within contractor and sub-contractor workforce, and setting a work value requirement amount.
 - Commissioners McFatrige and Prousi commented concerns that could limit bids, exclude experienced contractors, place the Township within a specific type of labor pool, set attempts to award contracts and affect the daily wage.
 - The Committee recommends a discussion continue at the July 18, 2022 Community Development Committee.

UPPER MORELAND TOWNSHIP
Community Development Committee
June 13, 2022 - Meeting Minutes

- B. Township Building Renovation Update:
 - Mr. Candland explained that an estimate was received for \$16 M and KCBA, the architect, has been asked to provide optional design concepts for cost savings.
 - The Committee recommends the Board of Commissioners take action at the July 11, 2022 Regular Meeting to receive design concepts for a police station building on Center Avenue.
- D. Zoning Ordinance Update (under review) – Nothing to report.
- E. Wayfinding & Signage Update:
 - The Committee recommends the Board of Commissioners take action at the July 11, 2022 Regular Meeting on Option 1B.
- F. Proposal for Flood Gate Installations at various locations within the Township:
 - Mr. Elsier explained that materials have been received and the Public Works crew will perform the installation. Upon action by the Board of Commissioners, the Highway Occupancy Permits will be submitted by McMahon Associates.
 - The Committee recommends the Board of Commissioners take action at the July 11, 2022 Regular Meeting.

XI. Acceptance and Approval of the following monthly reports for May 2022:

- A. Code Enforcement Department Reports:
 - Commissioner Spearing requested that the Zoning Hearing Board Meetings be posted in a timely manner.
 - Commissioner Prousi announced four applications that will be heard at the Zoning meeting on July 23, 2022.
 - Commissioner McFatridge commented that the Township issues grass cutting citations and there is a response time defined for notifications.
- B. Public Works Department Report and Recycling Report:
 - Commissioner Spearing commented concerns about dumping yard waste in streets and inlets, and reminded the public that the Township provides a weekly pickup. Mr. Candland replied that Code Enforcement can issue citations to violators of the stormwater ordinance.
 - The Committee recommends that educational information be posted for the public.
 - Commissioners Prousi and Spearing commented concerns that need to be addressed about unused utility poles and wires hanging in rear yard accesses.
 - Commissioner Spearing commented concerns about monitoring PFAS in area wells and suggested that Aqua, PECO and the Sewer Authority provide property owners with information where water mains are being installed.
 - Commissioner Spearing commended the Public Works crew for their hard work.
- C. Engineer's Report - Mr. Hersh reviewed the following:
 - Commissioner Spearing inquired about Fair Oaks Basin. Mr. Hersh replied that corrective measures will be attempted over the next few months, which will be monitored.
- D. Landscape Architect's Report - Nothing further to report.
- E. Traffic Engineer's Report:
 - Commissioner Spearing inquired about coordination of utilities with the sidewalks project along Warminster Road. Mr. Candland responded that the Township Solicitor is creating easements that will be provided to the property owners.
 - Mr. Candland will schedule Mr. Kuhner to provide further updates on capital projects at the July 18, 2022 Community Development Committee Meeting.
 - Commissioner Spearing inquired about the status of the grant schedule and suggested coordinating with other municipalities to share costs on projects. Mr. Candland stated that a

UPPER MORELAND TOWNSHIP
Community Development Committee
June 13, 2022 - Meeting Minutes

meeting is scheduled this week with PennDOT and several municipalities. Mr. Candland has conveyed to PennDOT that the Willow Grove interchange is a priority.

- Commissioner Spearing asked about grant application deadlines for July. Mr. Candland explained that KSA is working on behalf of the Township with Senator Collett and Representative Guentz to allocate \$10-\$12 M for the Route 611 bridge and \$10 M for improvements to the Township building, Police Station and Fire Station.

F. Environmental Advisory Council (EAC) - Dr. Lynnette Saunders, Chair, discussed the following:

- Outdoor Environmental Education Center design plans are forthcoming by the end of the month.
- Met with Pat Stasio, Director of Parks and Recreation, to discuss reforestation in spaces such as the Dog Park and will consider Masons Mill Park and other area parks.
- The Plastic Bag Ban Survey is continuing online and at the Library. Results will be available in July.
- Attended the Woodlawn Park meeting and encourage a habitat for wildlife and native species.
- Reviewed the final route for the Cross-County trail and would like to include safeguards for sensitive habitat, educational signage, streambank stabilization, riparian buffers, supplementary trees, a habitat that provides for insects, and additional information posted about invasive species.
- Commissioner Spearing suggested that the EAC provide education about tree clippings that are dumped into streets and blown into inlets, and inquired on outreach at the schools.
- Dr. Saunders explained that a tree will be planted at the Elementary School with a sign. The Middle School bioswale signage will be completed in another week. A virtual backpack was created for the Earth Day Fair, which contains educational information. Science teachers at the Middle School are involved with caring for the plants and organisms in the bioswale.
- Commissioner Spearing recommends that the EAC establish objectives to share with the new Superintendent that will continue to increase commitment.
- Commissioner Spearing commented about a recycling deposit incentive on beverage bottles and containers, and favors a charge for multiuse shopping bags.

G. Upper Moreland Historical Commission – Nothing to report.

XII. **Redevelopment** - Nothing to report.

XIII. **Visitor Comments** – Nothing to report.

XIV. **Commissioner Comments:**

- Commissioner Lockard requested that consideration of time be given at future meetings to allow for discussion of all agenda items.

XVI. **Adjournment** - There being no further business to discuss, the meeting was adjourned at 11:00 p.m.

Respectfully submitted by Kathleen Kristire.

NEW CENTURY ASSOCIATES GROUP, L.P.



THE MARKETPLACE
at Huntingdon Valley

July 14, 2022

Paul E. Purtell
Director of Code Enforcement
Township of Upper Moreland
117 Park Ave.
Willow Grove, PA 19090-3215

RE: Chipotle Restaurant @ The Marketplace at Huntingdon Valley

Dear Paul,

This letter requests a change to our May 26, 2022 Minor Land Development Application. We would like the Township to consider this application for "Preliminary as Final" for purposes of review and approval. Please see revised application attached.

I am enclosing the Powerpoint that we intend to use for the CDC meeting on Monday, July 18th.

Thank you for your consideration.

Sincerely,

NEW CENTURY ASSOCIATES GROUP, L.P.

Brian Regli
Managing Partner

Cc: Marc Jonas, Esq.
Steven Kline, A.I.A.


**Upper Moreland Township
APPLICATION FOR APPROVAL OF PLAN**

Submission date: 7/14 Application number _____

To the Board of Commissioners of Upper Moreland Township:

The undersigned hereby makes application for approval of a plan type as indicated below, under the provisions of the Code of Upper Moreland Township, Chapter 300, *Subdivision and Land Development*, and any supplements and amendments thereto.

Furthermore, the applicant hereby waives the requirement under Act 247, as amended, that the Subdivision and/or Land Development plan be acted upon within ninety (90) days from date of submission.



Signature of Applicant



Signature of Land Owner

Title of Plan Submitted: Marketplace at Huntindgon Valley - Chipotle Restaurant

A. Plan Type: PRELIMINARY AS FINAL

<input type="checkbox"/> Minor Subdivision	<input checked="" type="checkbox"/> Minor Land Development
<input type="checkbox"/> Preliminary Major Subdivision	<input type="checkbox"/> Preliminary Major Land Development
<input type="checkbox"/> Final Major Subdivision	<input type="checkbox"/> Final Major Land Development
<input type="checkbox"/> Preliminary Major SD&LD	<input type="checkbox"/> Final Major SD&LD

B. Plan Identification

Plan Dated: 5/26 Engineer: Charles E. Shoemaker Inc.

Plan Proposes: Brief narrative of the proposed activity. Commercial/Industrial/Institutional applications to include building square footage and specific uses; Residential applications to include number of lots and amount of dwelling unit types:

Adaptive reuse of a former bank branch building, conversion to Chipotle Restaurant

C. Property Identification:
Address/Location 2010 County Line Road, Huntingdon Valley PA 19006

(Continued on next page)

TPN: 59-00-15925-00-9 Block # 001 Unit # 011

D. Applicant Identification:

Applicant: New Century Associates

Address: 2010 County Line Road, Huntingdon Valley PA 19006

Phone: 2153559513 Email (required): bregli@myrevere.com

Land Owner: New Century Associates

Address: 2010 County Line Road, Huntingdon Valley PA 19006

Phone: 2153559513 Email (required): bregli@myrevere.com

Engineer: Gary Tilford, from Charles E. Shoemaker Inc.

Address: 110 Keystone Dr, Montgomeryville, PA 18936

Phone: 215 887 2165 Email (required): gtilford@shoemaker.com

Attorney: Marc Jonas, Eastburn Gray

Address: 470 Norristown Road, Suite 300 Blue Bell PA 19422

Phone: 2159208200 Email (required): mjonas@eastburngrey.com

Office Use Only

Fees received from applicant:

Application fee: _____

Review Escrow: _____

Total: _____

Fees acknowledged and application accepted as complete:

Staff signature

Date

CHARLES E. SHOEMAKER, INC.

ENGINEERS AND SURVEYORS
110 KEYSTONE DRIVE
MONTGOMERYVILLE, PA 18936

July 1, 2022

Mr. Paul Purtell, Director of Code Enforcement
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090-3215

RE: REQUEST FOR SALDO WAIVERS
The Marketplace at Huntingdon Valley – Chipotle
New Century Associates Group, LP
2000 County Line Road

Dear Mr. Purtell:

On behalf of New Century Associates Group, LP, and in connection with redevelopment of the former Wells Fargo Bank to a Chipotle restaurant, we are requesting consideration of the following waivers:

WAIVER LIST:

1. Section 300-17.H MINIMUM CURB RADIUS:

From the requirement to provide no less than five-foot radius of curvature for all curb lines in parking areas. At three locations within the isolated patron parking area, curb is proposed with 3-foot radii. The reconfiguration of parking and access is necessary to eliminate pedestrian conflicts between dine-in patrons and the pick-up window vehicles.

2. Section 300-19.A(7) CURB REVEAL:

From the requirement to provide eight-inch curb reveal. Concrete curb is designed with six-inch reveal to facilitate ADA pedestrian access at curb ramps, reduce vehicle damage, and match existing curb reveal within shopping center.

3. Section 300-52.C(1) EXISTING FEATURES:

From the requirement to show all existing features and proposed utilities, sanitary sewers, and water lines within 400 feet of the property lines. The proposed modifications are all internal to the shopping center including utilities and access.

4. Section 300-40.C REGISTERED LANDSCAPE ARCHITECT SEAL:

From the requirement all landscape plans shall be prepared, sealed and signed by a Landscape Architect registered in the Commonwealth of Pennsylvania. Due to the small scope of the project and minimal impact to existing plantings, the Applicant agrees to address all landscaping comments to the satisfaction of the Township Landscape Consultant.

CHARLES E. SHOEMAKER, INC.

ENGINEERS AND SURVEYORS

110 KEYSTONE DRIVE

MONTGOMERYVILLE, PA 18936

5. Section 300-43.D(1)(d) END ISLAND SIZE:

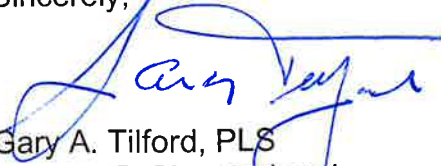
Planting end islands are to be a minimum of 15 feet wide by 20 feet long. A minimum of one single trunked shade tree is to be placed in each island. Three proposed end islands are six feet wide. In the alternative, the Applicant proposes to plant two trees within two existing ten-foot x 36-foot island separating the Chipotle parking area from the LA Fitness parking area.

6. Section 300-45 REPLACEMENT TREES:

Existing trees in vicinity of proposed site improvements are assumed to be Parking Lot landscaping or Individual Lot landscaping per previous development requirements. The Applicant agrees to replace existing trees if removed or damaged by construction, with the same quantity of trees removed.

Please consider these waiver requests when reviewing the land development plans for the redevelopment of the former bank site to Chipotle.

Sincerely,



Gary A. Tilford, PLS
Charles E. Shoemaker, Inc.

Cc: Brian Regli, New Century Associates Group, LP (email)
Stanley Casacio, New Century Associates Group, LP (email)
Marc D. Jonas, Esquire, Eastburn and Gray, PC (email)
Steven N. Kline, AIA, Regan/Kline/Cross Architects (email)
Chad Dixon, AICP, PP, McMahon (email)
Kimberly J. Flanders, RLA, McCloskey & Faber, P.C. (email)
James J. Hersh, P.E., Gilmore & associates, Inc. (email)
CES File #26623



MARKETPLACE AT HUNTINGDON VALLEY

Preliminary as Final Minor Land Development Application

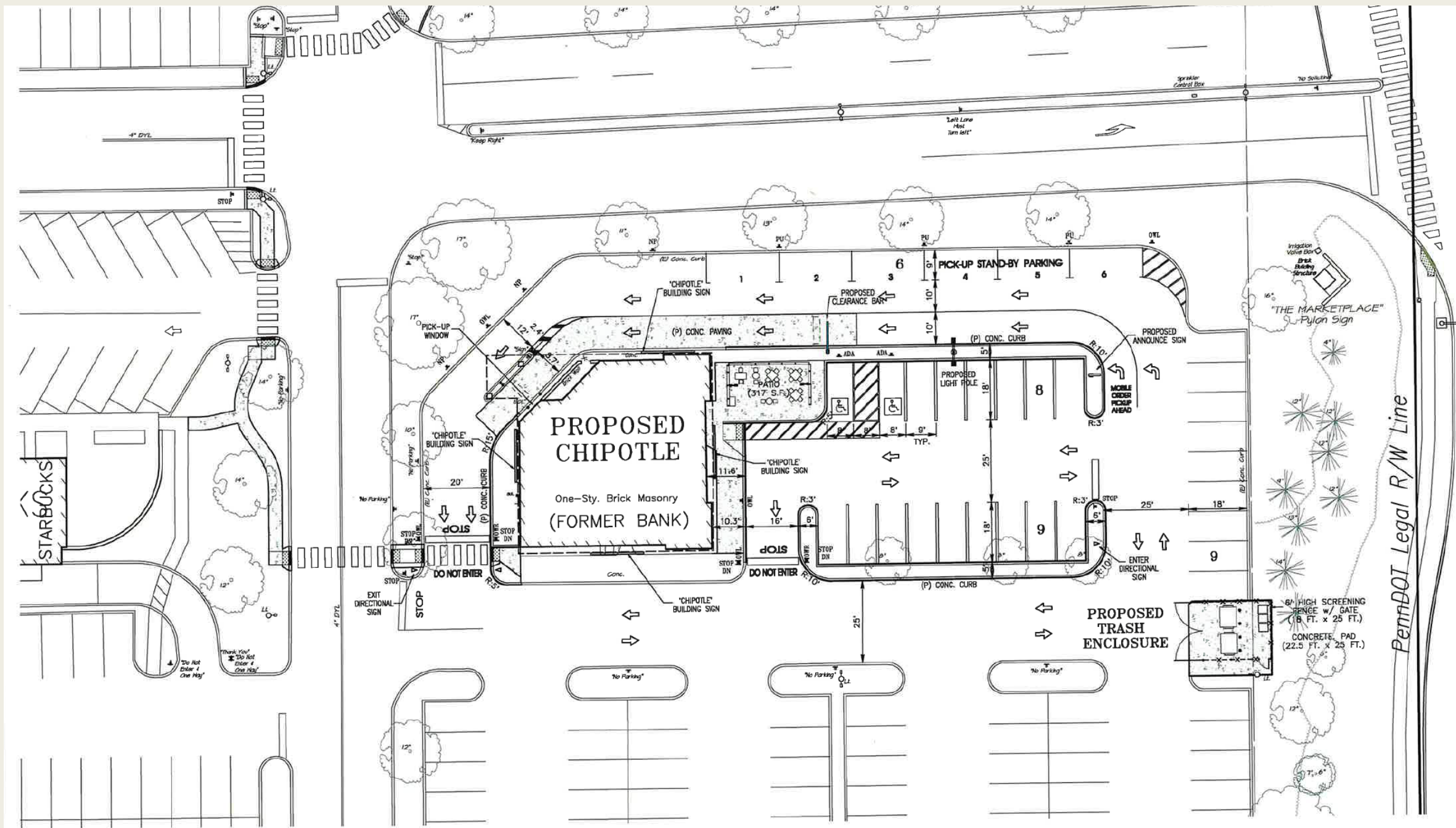
July 2022

Discussion Points

- Developer response to staff review
- List of requested waivers
- Requesting Preliminary as Final Approval for Land Development plans

Location







SEATING BREAKDOWN

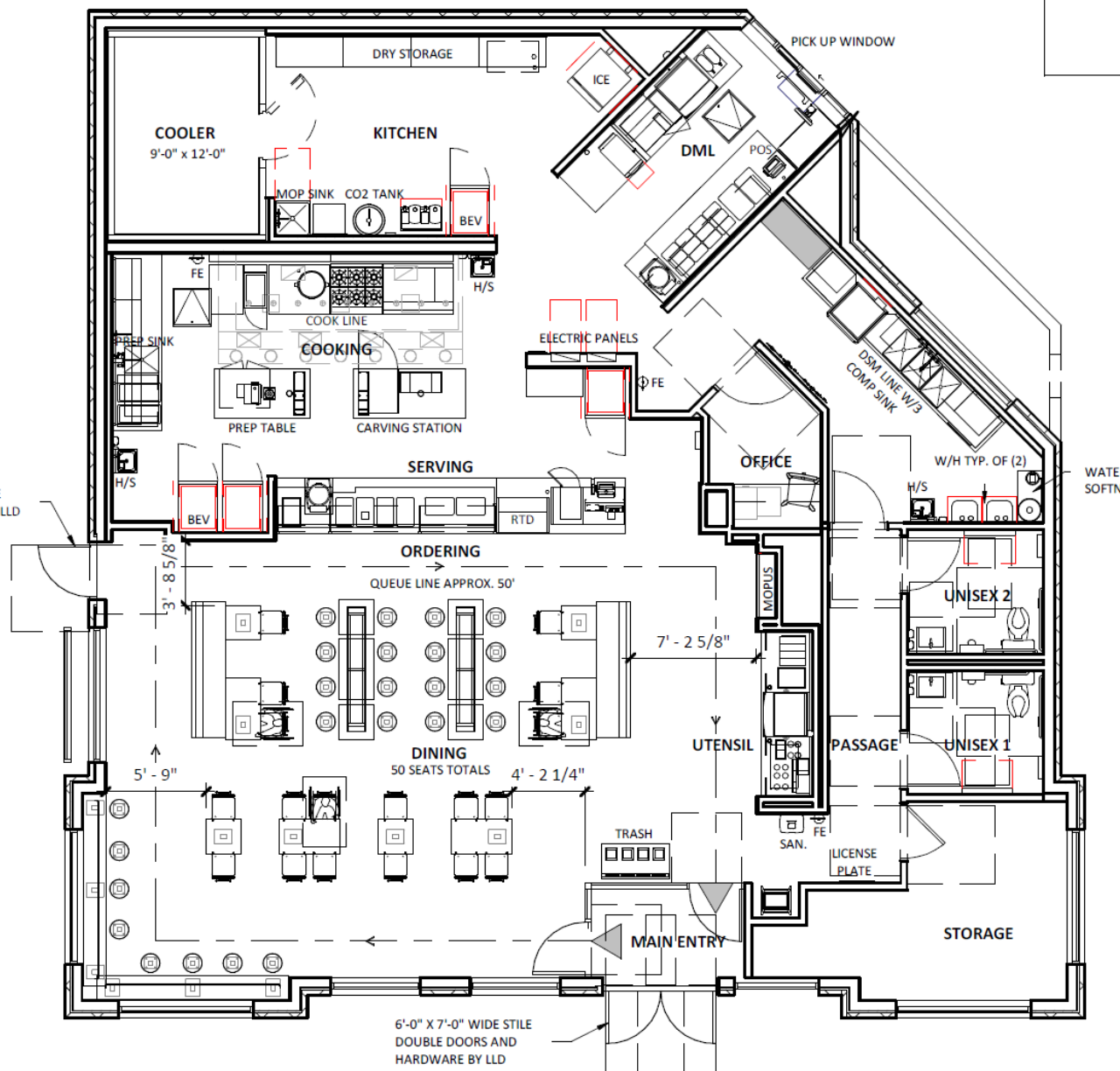
DINING ROOM:

HIGH TOP	16 SEATS
WINDOW	08 SEATS
TABLE TOP	26 SEATS
TOTAL	50 SEATS
(INCLUDING 3 HC ACCESSIBLE)	

PATIO:

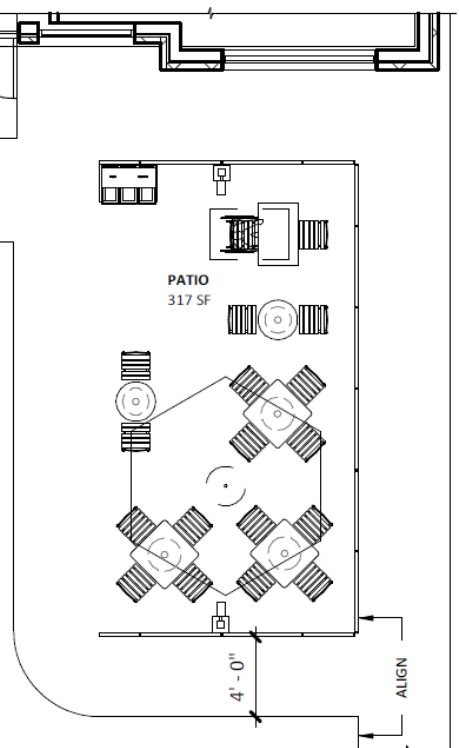
TABLE TOP	18 SEATS
TOTAL	18 SEATS
(INCLUDING 1 HC ACCESSIBLE)	

3'-0" X 7'-0" WIDE STILE
STOREFRONT DOOR BY LLD



6'-0" X 7'-0" WIDE STILE
DOUBLE DOORS AND
HARDWARE BY LLD

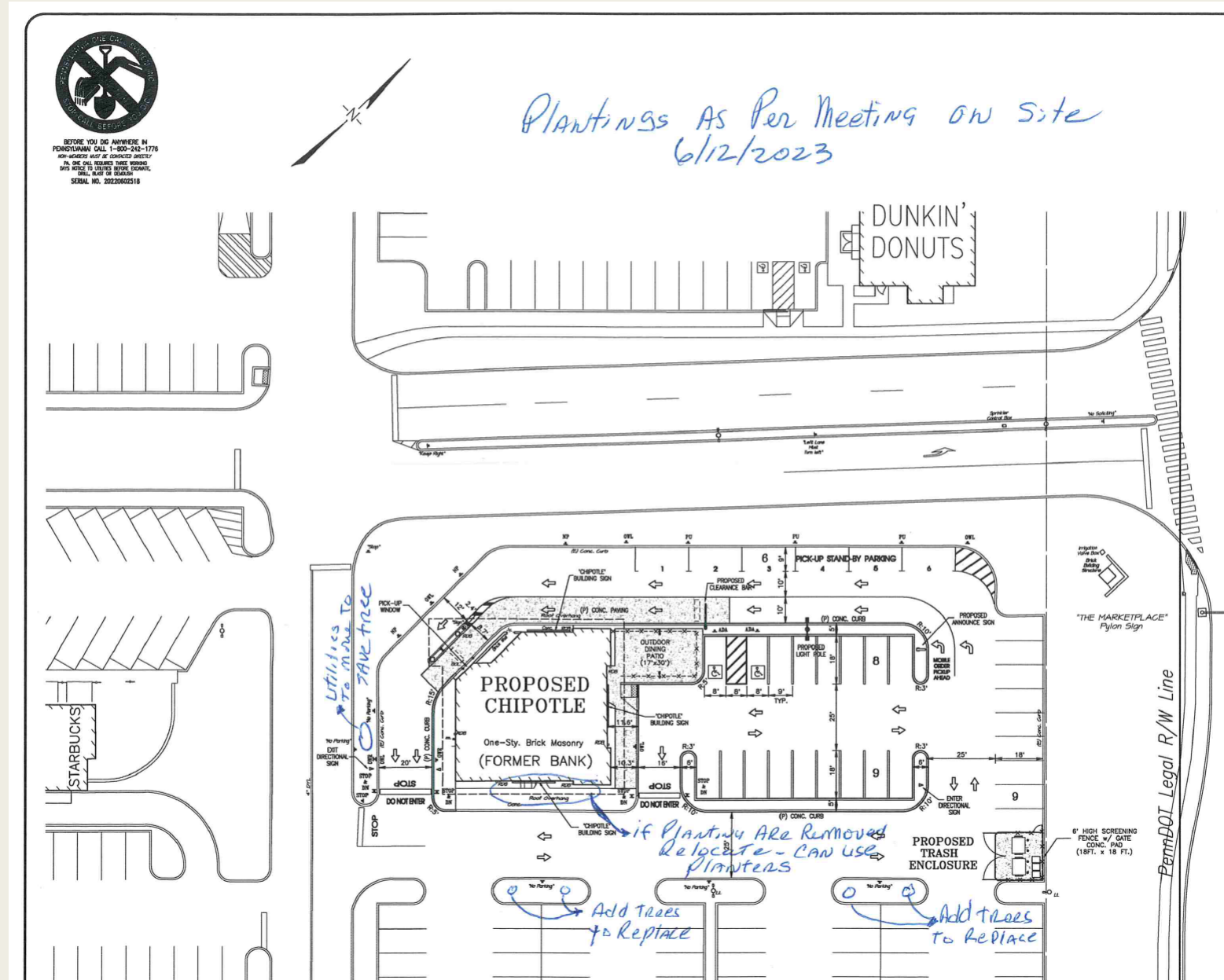
PATIO PLAN





Landscaping

- Addition of at least four trees to replace three trees that will be removed in development
- Shift of utility connections to preserve existing planting
- Additional plantings based on consultant feedback



Waivers Requested

WAIVER LIST:

1. Section 300-17.H MINIMUM CURB RADIUS:

From the requirement to provide no less than five-foot radius of curvature for all curb lines in parking areas. At three locations within the isolated patron parking area, curb is proposed with 3-foot radii. The reconfiguration of parking and access is necessary to eliminate pedestrian conflicts between dine-in patrons and the pick-up window vehicles.

2. Section 300-19.A(7) CURB REVEAL:

From the requirement to provide eight-inch curb reveal. Concrete curb is designed with six-inch reveal to facilitate ADA pedestrian access at curb ramps, reduce vehicle damage, and match existing curb reveal within shopping center.

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From the requirement to show all existing features and proposed utilities, sanitary sewers, and water lines within 400 feet of the property lines. The proposed modifications are all internal to the shopping center including utilities and access.

4. Section 300-40.C REGISTERED LANDSCAPE ARCHITECT SEAL:

From the requirement all landscape plans shall be prepared, sealed and signed by a Landscape Architect registered in the Commonwealth of Pennsylvania. Due to the small scope of the project and minimal impact to existing plantings, the Applicant agrees to address all landscaping comments to the satisfaction of the Township Landscape Consultant.

Waivers Requested

5. Section 300-43.D(1)(d) END ISLAND SIZE:

Planting end islands are to be a minimum of 15 feet wide by 20 feet long. A minimum of one single trunked shade tree is to be placed in each island. Three proposed end islands are six feet wide. In the alternative, the Applicant proposes to plant two trees within two existing ten-foot x 36-foot island separating the Chipotle parking area from the LA Fitness parking area.

6. Section 300-45 REPLACEMENT TREES:

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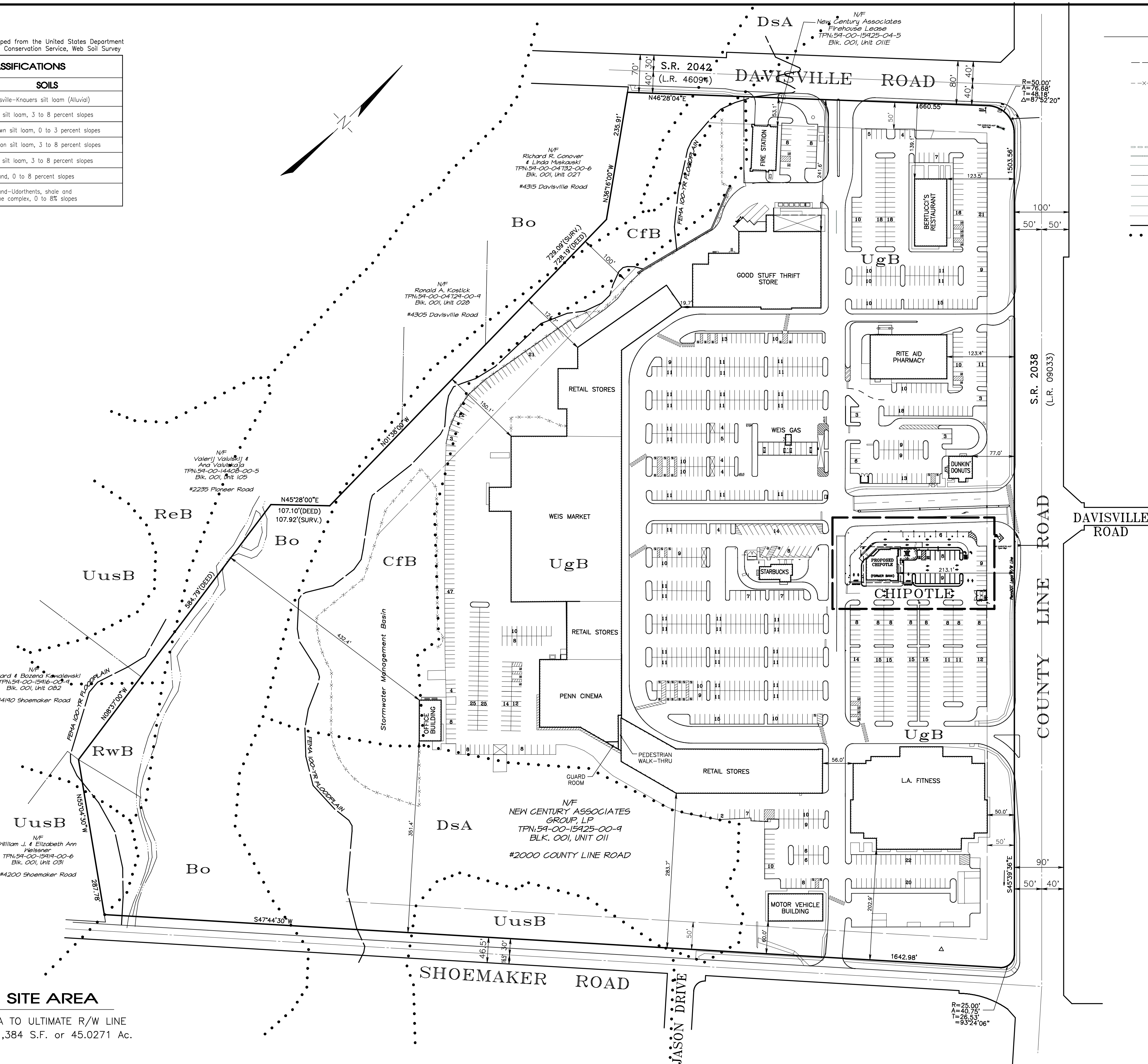
Thank You!

THE MARKETPLACE AT HUNTINGDON VALLEY

2010 County Line Road, Huntingdon Valley, PA 19006



SOIL CLASSIFICATIONS	
SYMBOL	SOILS
Bo	Bowmansville-Knauers silt loam (<i>Alluvial</i>)
Cfb	Chalfont silt loam, 3 to 8 percent slopes
DsA	Daylesوان silt loam, 0 to 3 percent slopes
ReB	Readington silt loam, 3 to 8 percent slopes
RwB	Rowland silt loam, 3 to 8 percent slopes
UgB	Urban land, 0 to 8 percent slopes
UusB	Urban land-Udorithens, shale and sandstone complex, 0 to 8% slopes



REFERENCE PLANS:

1. Site Plan, Land Development (Waiver), Proposed Movie Theater, The Marketplace at Huntington Valley for New Century Associates Group, LP, prepared by Herbert E. MacCombie, Jr., P.E. dated November 3, 2017
2. ALTA/ACSM Land Title Survey Plan for The Marketplace at Huntington Valley, 2000 County Line Road prepared by Herbert E. MacCombie, Jr., P.E. dated July 22, 2011 and last revised March 26, 2013.
3. Land Development Plan of The Marketplace at Huntington Valley for New Century Associates, prepared by Herbert E. MacCombie, Jr., P.E. Consulting Engineers and Surveyors, Inc. dated December 7, 2004 and last revised May 17, 2005.

MCPC No. 22-XXXX-XXX

PROCESSED and REVIEWED. Report prepared by
Montgomery County Planning Commission
in accordance with the Municipalities Planning Code.

Certified this date _____

For the Director
















Montgomery County Planning Commission

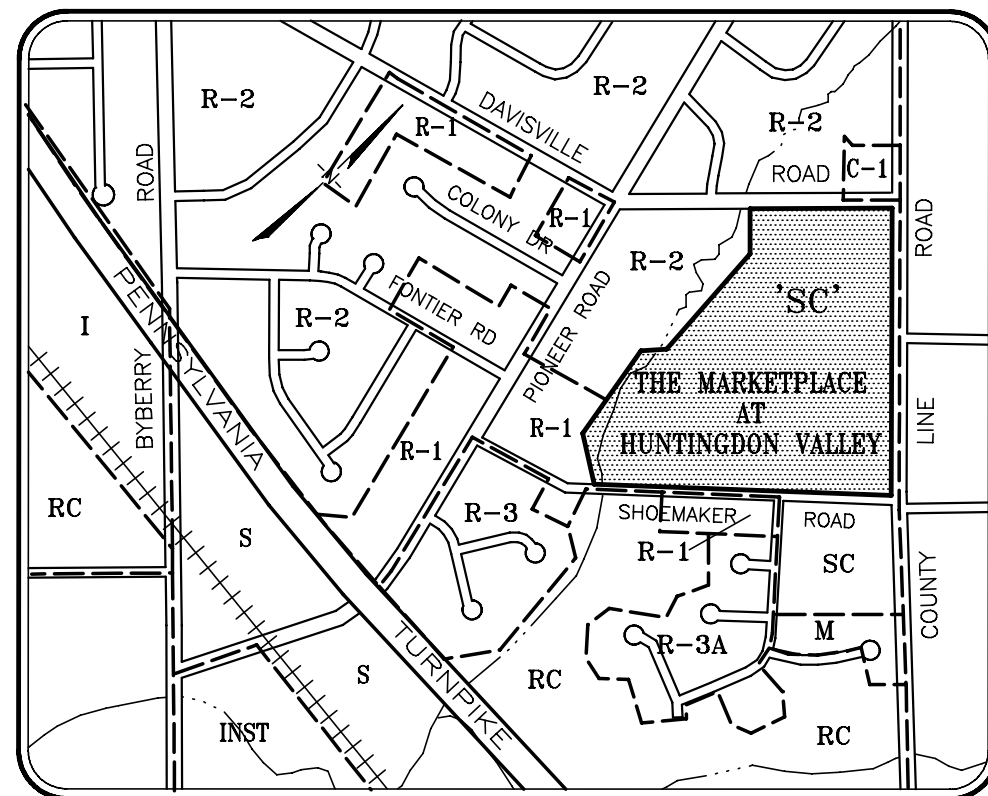
RECORDED OF DEEDS

Recorded this _____ day of _____ 20____, in the office
for the recording of deeds, in and for the County of Montgomery, at Norristown, Pennsylvania
in Plan Book No. _____, Page _____.

Recorder

EXISTING

- | | |
|---|------------------------|
| — 395 — | CONTOUR LINE |
| +402.96 | SPOT ELEVATION |
| - - - X - - - X - - - X | FENCE |
|  FH | FIRE HYDRANT |
|  P ES92 | UTILITY POLE |
|  GV | GAS VALVE |
|  WV | WATER VALVE |
|  CO | SEWER CLEAN OUT |
|  SS | STORM SEWER w/ MANHOLE |
|  SS | SANITARY SEWER |
|  SS | SANITARY FORCE MAIN |
|  / / | OVERHEAD WIRE |
|  E | ELECTRIC CONDUIT |
|  G | GAS MAIN |
|  W | WATER MAIN |
|  ——— | DRAINAGE CHANNEL |
|  F | FEMA FLOODPLAIN |
|  • • • • • | SOIL CLASSIFICATION |



LOCATION	MAP
SCALE: 1" = 800'	

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY:

On the _____ day of _____, 2022, A.D., before me, the subscriber, a Notary Public of the Commonwealth of Pennsylvania, residing in _____ County, personally appeared before me, BRIAN REGI, MANAGING PARTNER OF NEW CENTURY ASSOCIATES GROUP, L.P., a Pennsylvania limited partnership, and that as such, being authorized to do so, he executed the foregoing plan by signing that the said partnership is the owner of the described land, that all necessary approval of the plan has been obtained and is endorsed thereon, and that said company desires that the foregoing plan may be duly recorded according to law.

Witness my hand and notarial seal the day and year aforesaid.

Notary Public

My Commission Expires

I, BRIAN REGLI, MANAGING PARTNER of New Century Associates Group, LP have laid out upon our land, situated in the Township of Upper Moreland, County of Montgomery, Commonwealth of Pennsylvania, certain improvements according to the accompanying plan, which is intended to be recorded.

BRIAN REGLI, MANAGING PARTNER
NEW CENTURY ASSOCIATES GROUP, L.P.
2010 COUNTY LINE ROAD
HUNTINGDON VALLEY, PA 19006
215-355-9513

Date:

TOWNSHIP SIGNATURES

Approved by the Board of Commissioners of the Township of Upper Moreland this _____ day of _____, 2022.

President

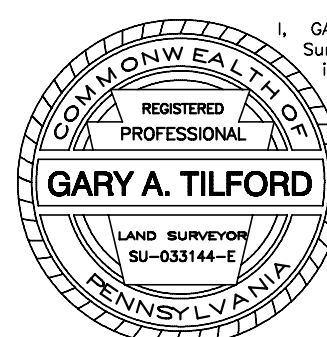
Secretary

Township Engineer

GENERAL NOTES:

1. Boundary information taken from plan entitled Site Plan and Development (Waiver) Proposed Movie Theater at the Marketplace at Huntington Valley for New Century Associates Group, LP prepared by Herbert E. MacCombie, Jr., P.E. dated November 3, 2017.
 2. Topographic information derived by field surveys by Charles E. Shoemaker, Inc. based on NAVD 88, using Boyd instrument virtual network system.
- BENCHMARK: Front Entry Door Elevation 204.64; NAVD 88 Datum.
3. Underground utility locations were plotted from utility company plans used in accordance with Pa One Call or by physical survey locations. All underground utility locations are approximate only. Contractors are required by Pa One Call to verify the exact locations of all underground utilities prior to commencing excavation activities. Pennsylvania One Call Systems, Inc., phone No. 1-800-242-1776
 4. Portion of this site is located in Zone A, areas determined to be within the 100-Year floodplain without base flood elevations (BFE) as determined by FEMA and illustrated on the Flood Insurance Rate Map, Panel 312 of 451, Map No. 4209N1C0312 G, Map revised March 2, 2016.
 5. This site is served with public water supply by Aqua Pennsylvania, Inc. and sanitary sewage disposal by The Upper Merion-Hatboro Joint Sewer Authority.
 6. Soil classification taken from the USDA-NRCS Sole Survey of Montgomery County, PA, 1985, September 1, 2021.
Soils in vicinity of Chipote site improvements are classified:
UgB – Urban Land, 0 to 8 percent slopes:

PROFESSIONAL LAND SURVEYOR'S CERTIFICATION:



I, GARY A. TILFORD, a registered professional Land Surveyor in the Commonwealth of Pennsylvania, Registration No. 033144-E, do hereby certify to the best of my knowledge, the existing features, topography metes and bounds shown on this plan are in accordance with the minimum standards of practice for Professional Land Surveyors in the Commonwealth of Pennsylvania as adopted by the Pennsylvania Society of Land Surveyors in July of 1996 (or as subsequently adopted).

(Signature of Registered Professional Land Surveyor) (Date)



RECORD OWNER NEW CENTURY ASSOCIATES GROUP, LP		COUNTY PARCEL NO. 59-00-15925-00-9
% BRIAN REGL. MANAGING PARTNER 2010 COUNTY LINE ROAD HUNTINGDON VALLEY, PA 19006 215-355-9513		BLOCK - UNIT 59-001-011
		SITE ADDRESS 2000 COUNTY LINE ROAD HUNTINGDON VALLEY, PA 19006
		DEED BOOK - PAGE 5473-02273

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
110 KEYSTONE DRIVE
MONTGOMERYVILLE, PA 175936
PHONE: 215-887-2165 FAX: 215-576-7791
E-MAIL: staff@ceshoemaker.com

0' 50' 100' 150' 200'

SCALE: 1" = 100'

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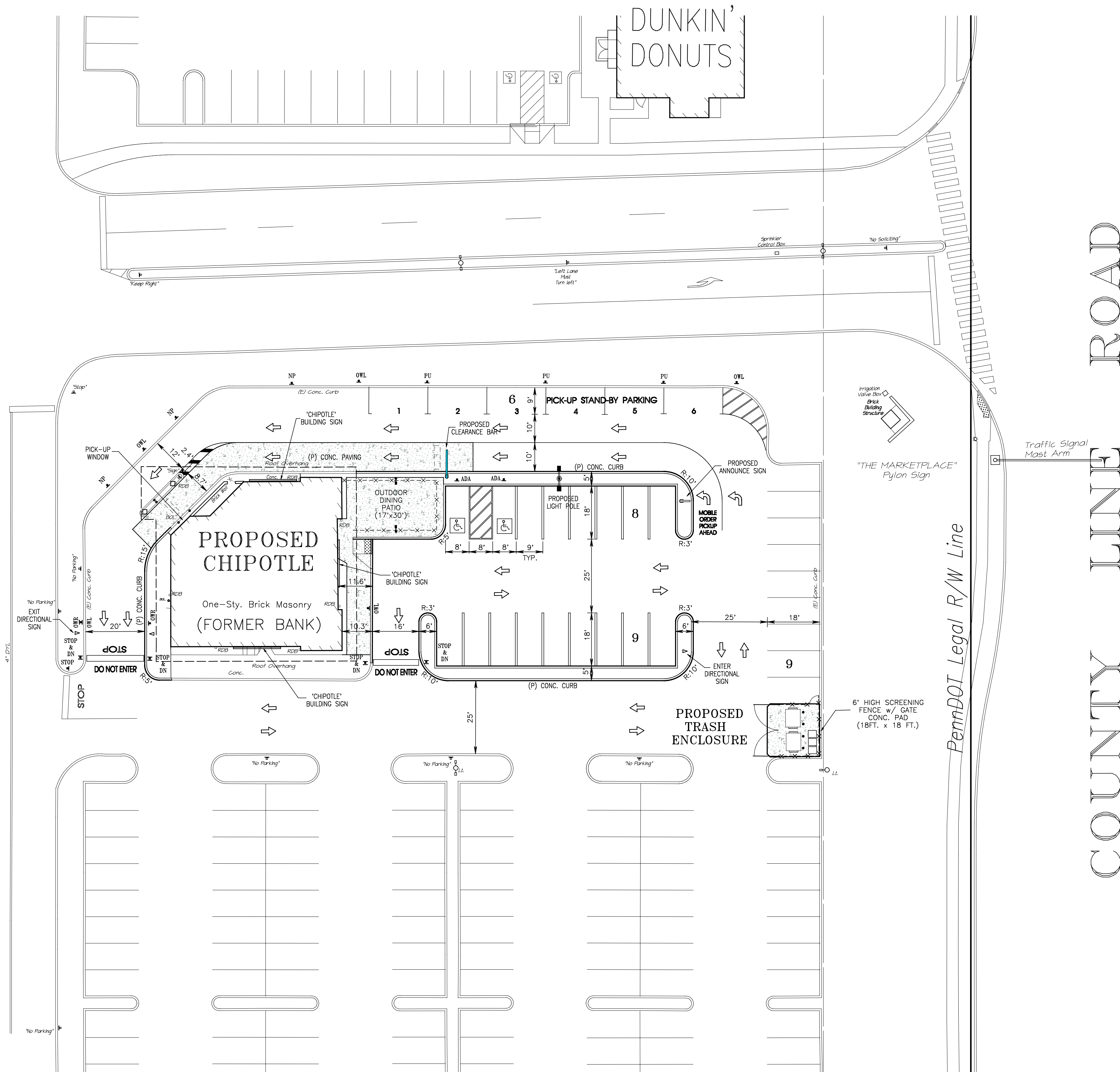
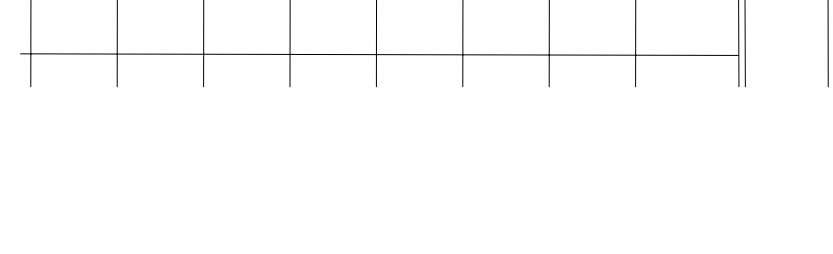
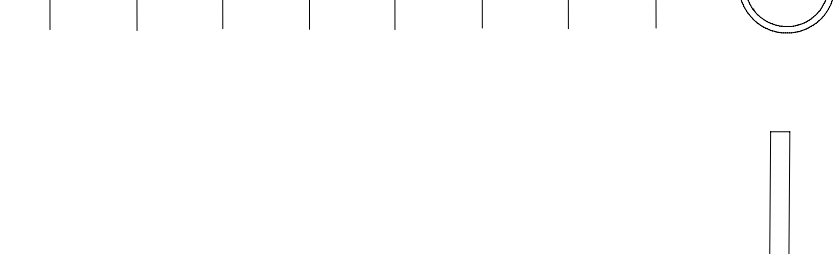
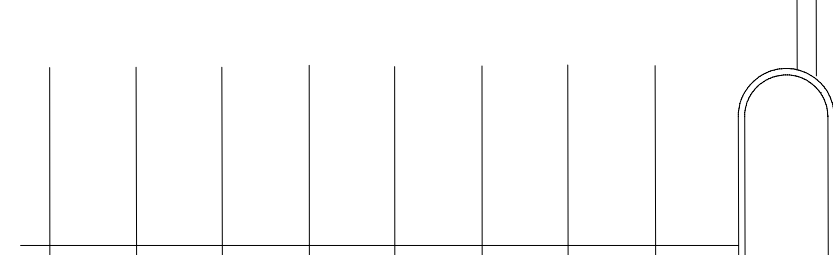
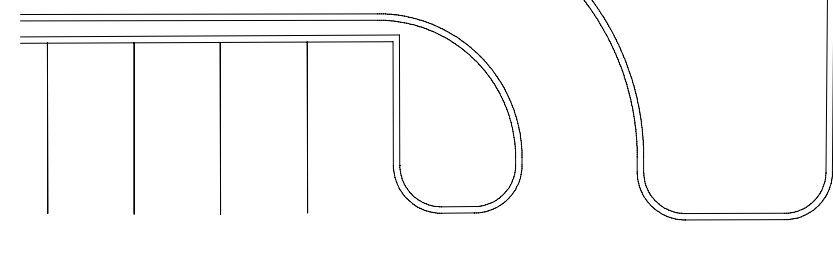
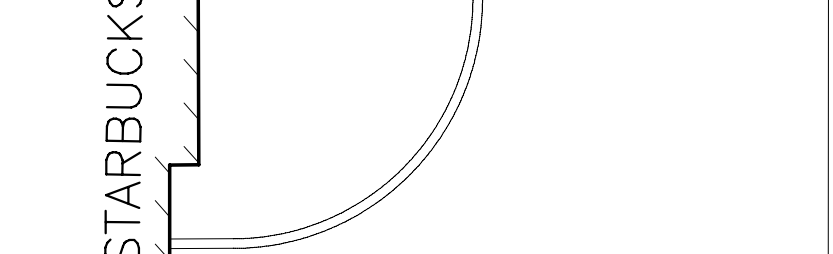
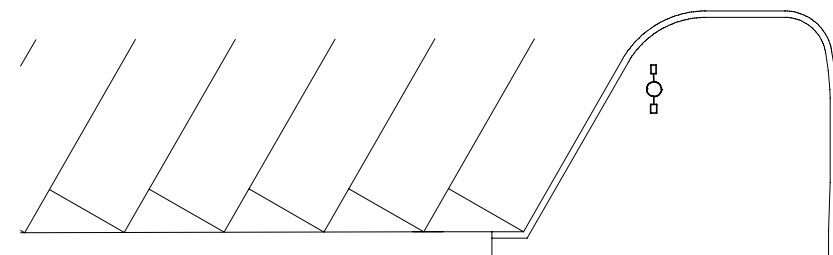
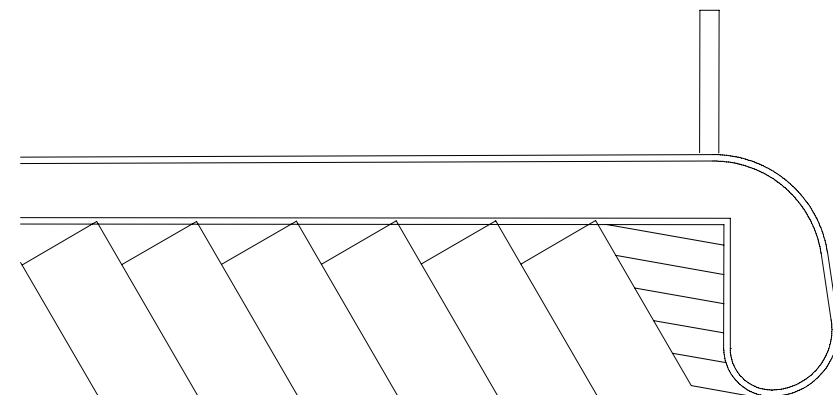
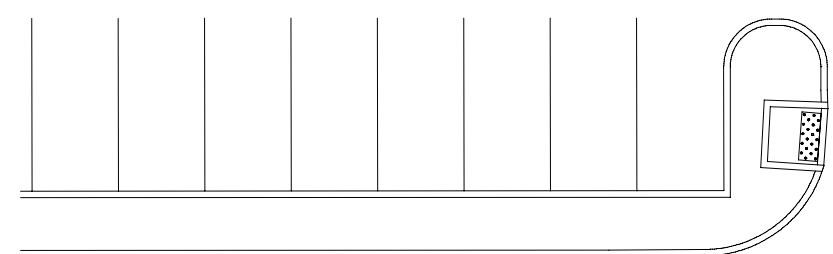
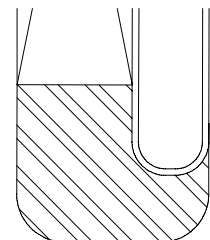
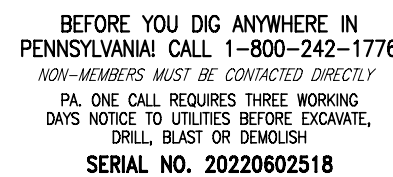
MARKETPLACE SITE PLAN
PREPARED FOR
NEW CENTURY ASSOCIATES
GROUP, L.P.
2000 COUNTY LINE ROAD
UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PA

DATE
MAY 24, 2022

DWG NO.
UP. MORL.-1-4052

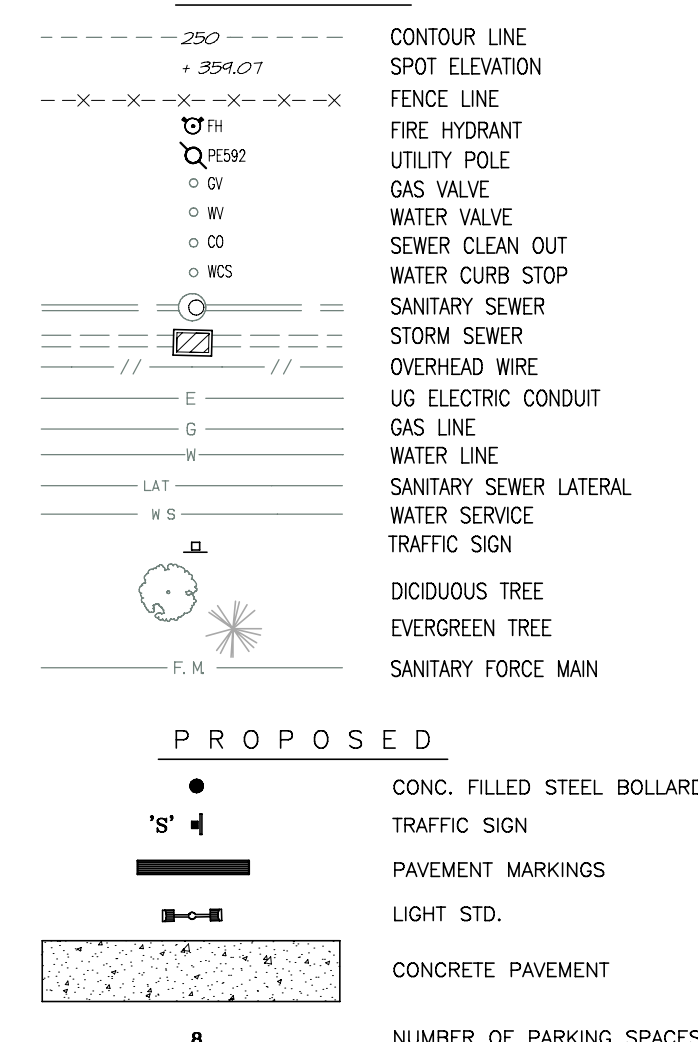
JOB NO.
26623

SHEET NO.
1 OF 10



LEGEND

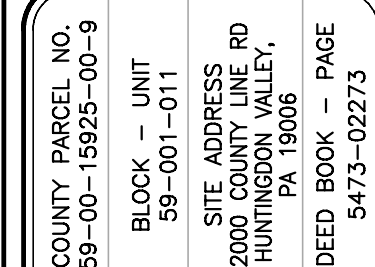
E X I S T I N G



TRAFFIC SIGN SCHEDULE			
KEY	DESCRIPTION	SERIES	SIZE
'S'	"STOP" SIGN	(R1-1)	30"x30"
'ADA'	ADA "RESERVED PARKING"	(R7-12)	12"x18"
	ADA "VAN ACCESSIBLE"	(R7-8A)	12"x6"
	"VIOLATORS SUBJECT TO FINE"	(R7-8B)	12"x18"
'DN'	"DO NOT ENTER"	(R5-1)	30"x30"
'NP'	"NO PARKING FIRE LANE"		12"x18"
'OWR'	"ONE WAY" RIGHT	(R6-1R)	36"x12"
'OWL'	"ONE WAY" LEFT	(R6-1L)	36"x12"
'PU'	"PICK-UP PARKING ONLY"		12"x18"


GENERAL NOTES:

1. Location and elevation survey conducted by Charles E. Shoemaker, Inc. during March 2022.
 2. Topographic information derived by field surveys by Charles E. Shoemaker, Inc. based on NAVD 88, using Body Instrument virtual network system.
- BENCHMARK: Front Entry Door Elevation 204.64, NAVD 88 Datum.
3. Existing underground utility locations were plotted from utility company plans supplied to us in accordance with PA ONE CALL or by physical survey locations. All underground utility locations are approximate only. Contractors are required by PA ONE CALL to verify the exact locations of all underground utilities prior to commencing excavation activities. Pennsylvania One Call Systems, Inc., phone No. 1-800-242-1776
 4. The subject property is located outside of the 100-year floodplain as determined by the Federal Emergency Management Agency, Flood Insurance Rate Map, No. 42091C0312G, (Panel 312 of 451), map effective March 2, 2016.
 5. The subject parcel is within the SC Shopping Center District.
 6. Public water is provided by Aqua Pennsylvania and sanitary sewage facilities provided by the Upper Moreland-Hatboro Joint Sewage Authority with treatment provided at the Upper Moreland - Hatboro Joint Sewage Authority Waste Water Treatment Plant.
 7. The proposed number of parking spaces in vicinity of Chipotle Restaurant equals 26 spaces plus 6 vehicle stand-by spaces. Two ADA accessible parking spaces are proposed for this use.



RECORD OWNER
NEW CENTURY ASSOCIATES
GROUP, LP
c/o BRIAN REGLI, MANAGING PARTNER
2010 COUNTY LINE ROAD
HUNTINGDON VALLEY, PA 19006
215-355-9513

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PHONE: 215-887-2165 FAX: 215-576-7791
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0' 10' 20' 40' 60'

SCALE 1" = 20'

[illegible]

THE MARKETPLACE AT HUNTINGDON VALLEY

CHIPOTLE LAYOUT PLAN
PREPARED FOR
NEW CENTURY ASSOCIATES
GROUP, L.P.
2000 COUNTRY LINE ROAD
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE
MAY 24, 2022

DWG NO.
UP. MORL.-1-4053

JOB NO.
26623

SHEET NO.
2 OF 10

GENERAL NOTES:

1. Location and elevation survey conducted by Charles E. Shoemaker, Inc. during March 2022.
2. Topographic information derived by field surveys by Charles E. Shoemaker, Inc. based on NAVD 88, using Boyd Instrument virtual network system.

BENCHMARK: Front Entry Door Elevation 204.64, NAVD 88 Datum.
3. Existing underground utility locations were plotted from utility company plans supplied to us in accordance with PA ONE CALL or by physical survey locations. All underground utility locations are approximate only. Contractors are required by PA ONE CALL to verify the exact locations of all underground utilities prior to commencing excavation activities. Pennsylvania One Call Systems, Inc., phone No. 1-800-242-1776
4. The subject property is located outside of the 100-year floodplain as determined by the Federal Emergency Management Agency, Flood Insurance Rate Map, No. 42091C0312G, (Panel 312 of 451), map effective March 2, 2016.
5. The subject parcel is within the SC Shopping Center District.
6. Public water is provided by Aqua Pennsylvania and sanitary sewage facilities provided by the Upper Moreland-Hatboro Joint Sewage Authority with treatment provided at the Upper Moreland – Hatboro Joint Sewage Authority Waste Water Treatment Plant.
7. The proposed number of parking spaces in vicinity of Chipotle Restaurant equals 26 spaces plus 6 pick-up stand-by spaces. Two ADA accessible parking spaces are proposed for this use.
8. Soils on this site have been identified by the United States Department of Agriculture Natural Resources Conservation Service Web Soil Survey for Montgomery County, PA., version 16, September 1, 2021. Soil classification in vicinity of the Chipotle site improvements is UgB – Urban Land, 0-8 percent slopes.
9. Construction improvements shall be completed under the specifications of the Pennsylvania Department of Transportation, the Pennsylvania Department of Environmental Protection or other appropriate state agency, the Montgomery County Soil and Water Conservation District or other appropriate agency or in accordance with Upper Moreland Township Standards and the Upper Moreland-Hatboro Joint Sewage Authority Standard Specifications and Details, whichever specifications shall result in the stricter interpretation.
8. Historical survey markers (concrete monuments and iron pins) to remain. All installed monuments and survey markers must be certified by a professional land surveyor licensed in Pennsylvania.
9. All work shall be performed in accordance with these plans, specifications, referenced documents, and the requirements and standards of the local governing authority.
10. The stormwater facilities (as shown on the plans) are a basic and perpetual part of the storm drainage system of the Township and, as such, is to be protected, maintained and preserved in accordance with the approved plan, jointly and severally, by the owner on whose land the structure is located, as well as the owner's heirs, successors and assigns.
11. Prior to starting construction, the Contractor shall be responsible to ensure that all required permits and approvals have been obtained. No construction or fabrication shall begin until the Contractor has received and thoroughly reviewed all plans and other documents by all of the Permitting Authorities.
12. The Owner/Contractor shall be familiar with and responsible for any/all certifications, inspections, etc. required by all Governing jurisdictional agencies during and after construction for sign-off and Certificate of Occupancy issuance, including but not limited to procurement of services, scheduling of field observations and coordination with representatives of the appropriate parties. Contractor is responsible to coordinate certifications, sign-offs, etc. necessary for job closeout and issuance of Certificate of Occupancy.
13. Debris shall not be buried on the subject site. All excavated material and debris (solid waste) shall be disposed of in accordance with all Town, County, State and Federal laws and applicable codes. Contractor shall properly remove and dispose of hazardous/unsuitable material off-site in accordance with all applicable codes, ordinances & laws.
14. The Contractor is to exercise extreme care when performing any work activities adjacent to structures to remain. Contractor shall be responsible for taking the appropriate measures as necessary to ensure the structural stability of sidewalks, pavement, and retaining walls to remain, and provide a safe work area.
15. The Contractor shall be responsible for repairing the damage done to any existing item during construction such as but not limited to drainage, utilities, pavement, striping, curb, etc. Repair shall be equal or better than, existing conditions. Contractor is responsible to document all existing damage and notify construction manager prior to construction start.
16. The Engineer is not responsible for construction methods/means for completion of the work depicted on these plans nor any conflicts/scope revisions which result from same. Contractor responsible for determining methods/means for completion of the work prior to the commencement of constructions and notification of the Owner and Engineer of record when a conflict is identified.
17. Duty authorized representatives of the Township have the right to enter at reasonable times upon any property within the Township to inspect the implementation, condition, or operation and maintenance of the stormwater facilities and BMP's.
18. Shop drawings for all proposed storm sewer structures shall be provided for review and comment prior to fabrications.
19. The individual lot owner, their successors or assigns, shall be responsible for the perpetual maintenance of all stormwater management BMP's onsite including inlets, storm pipes, inlet inserts, inlet snouts, rain gardens, and stormwater detention facilities.
20. The site Contractor shall notify the Township and Township Engineer a minimum of 48 hours prior to the start of construction.
21. Reference: Site Plan Land Development (Waiver), Proposed Movie Theater at "The Marketplace at Huntingdon Valley for New Century Associates Group, LP by Herbert E. MacCombie, Jr., P.E., Consulting Engineers and Surveyors, Inc., dated November 3, 2017.

Article XIV. SC SHOPPING CENTER DISTRICT							
		SECTION No.:	REQUIRED:	EXISTING	PROPOSED	EXISTING	PROPOSED
Lot Use:				THE MARKETPLACE AT HUNTINGDON VALLEY TPN: 59-00-15925-00-9		CHIPOTLE SITE	
Community Scale Shopping Center		Sec. 250-82.		MULTI-USE		RETAIL/ BANK	
Restaurant with Pick-up				MULTI-USE			
Development Requirements:							
Distance Between Buildings or Group of Attached Buildings, Min.		Sec. 350-83.B.	12 FT.	XX FT.	XX FT.		
Residential Screen Buffer Width, Min.		Sec. 350-83.C.	25 FT.	25 FT.	25 FT.		
Tract Area:							
To Ult. R/W Line		Sec. 350-84.	6 Acres	45.0271 Ac.	45.0271 Ac.	29,380 S.F.	29,380 S.F.
Building Coverage:		Sec. 350-85.	15 %, Max.	261,519 S.F./ 13.33%	261,519 S.F./ 13.33%	4,560 S.F./15.52%	4,560 S.F./15.52%
Building Height:		Sec. 230-113.C.	45 FT.	<45 FT.	<45 FT.	One Sty/23.3 FT.	One Sty/23.3 FT.
Building Setbacks:							
Front Yard		Sec. 350-86.A.	50 FT.	53.1 FT.	53.1 FT.	213.1 FT.	213.1 FT.
Side Yard		Sec. 350-86.B.	50 FT.	N/A	N/A	N/A	N/A
Rear Yard		Sec. 350-86.C.	100 FT.	124.7 FT.	124.7 FT.	N/A	N/A
Parking Setbacks:							
Front & Side Yards		Sec. 350-86.D.	50 FT.	50 FT.	50 FT.	50 FT.	50 FT.
Impervious Coverage:		Sec. 350-87.	60 %, Max.	1,022,515 S.F./ 52.13%	1,021,950 S.F./ 52.11 %	28,108 S.F./ 95.7%	27,543 S.F./ 93.8%

GROSS LEASABLE FLOOR AREA

(WITHOUT FUEL CANOPY AS LEASABLE AREA)

MAXIMUM PERMITTED BY DECLARATIONS OF COVENANTS, CONDITIONS, AND RESTRICTIONS:	265,000 S.F.
EXISTING LEASABLE FLOOR AREA:	254,630 S.F.

PARKING LOT LANDSCAPE AREA:

EXISTING PARKING AREA = 520,186 S.F.
EXISTING LANDSCAPING WITHIN PARKING AREAS:
50,458 S.F. = 9.7% OF TOTAL PARKING AREA
PROPOSED LANDSCAPING WITHIN PARKING AREAS:
50,414 S.F. = 9.7% OF TOTAL PARKING AREA

PARKING TABULATION: THE MARKETPLACE AT HUNTINGDON VALLEY					
USE	CURRENT DATA (S.F.)	PROPOSED AREA (S.F.)	PARKING SPACE REQ'D	CURRENT SPACES	PROPOSED SPACES
RETAIL	135,674	132,974 (-2,700 S.F.)	1 SPACE PER 200 S.F.	678	665
RESTAURANT	24,998	27,698 (+2,700 S.F.)	1 SPACE PER 50 S.F.	500	554
OFFICE/PERSONAL	22,891	22,891	1 SPACE PER 200 S.F.	1156	115
FITNESS CENTER	41,900	41,900	1 SPACE PER 200 S.F.	210	210
MEDICAL	8,746	8,746	1 SPACE PER 100 S.F.	88	88
FUEL KIOSK	225	225	1 SPACE PER 200 S.F.	2	2
MOVIE THEATER	19,842	19,842	1 SPACE PER 3 FIXED SEATS	165	165
FUTURE RETAIL	3,250	0	1 SPACE PER 200 S.F.	16	0
WALK-THRU	354	354	0 SPACES REQUIRED	0	0
GUARD ROOM	167	0	1 SPACE PER 200 S.F.	1	0
TOTALS	258,047	254,630	PARKING REQUIRED	1775	1798
EXISTING SPACE ALLOCATION: 1,298 PARKING SPACES 50 ADA PARKING SPACES		EXISTING SPACE ALLOCATION: 1,302 PARKING SPACES 50 ADA PARKING SPACES		SHARED PARKING RATIO 75%	1331
1,348 TOTAL PARKING SPACES		1,352 TOTAL PARKING SPACES		PARKING PROVIDED	1348
				EXTRA PARKING	+17
					+4

ZONING HEARING BOARD ACTION: SPECIAL EXCEPTION GRANTED ON DECEMBER 28, 1989:

1. Sec. 20.12 PARKING 5.(c) – FOR THE REDUCTION OF TOTAL PARKING SPACES BY 25 PERCENT DUE TO JOINT USE OF COMMON PARKING AREAS.

PA ONE CALL LIST OF UNDERGROUND USERS UPPER MORELAND TOWNSHIP Serial No. 20220602518			Date Contacted: 3/09/2022
NAME OF USER	USERS ADDRESS	CONTACT PERSON	
Abington Township	1176 Old York Road Abington, PA 19001	Tim Clark tclark@abington.org	
Comcast	4400 Wyone Avenue Philadelphia, PA 19140	Robert Harvey bob_harvey@cable.comcast.com	
PECO ENERGY c/o USCI	450 S. Henderson Road, Suite B King of Prussia, PA 19406	Nikkia Simpkins nikkiasimpkins@uscllc.com	
Abington Township Wastewater	1000 Fitzwatertown Road Abington, PA 19001	George Wrigley gwrigley@abington.org	
Aqua Pennsylvania, Inc.	762 W. Lancaster Avenue Bryn Mawr, PA 19010	James Thornton jthornton@aquoamerica.com	
Verizon Pennsylvania, LLC	1050 Virginia Drive Fort Washington, PA 19034	Darline Leppard Johnson laura.d.lippincott@one.verizon.com	

RETAIL CONVERSION TO CHIPOTLE SITE DATA:

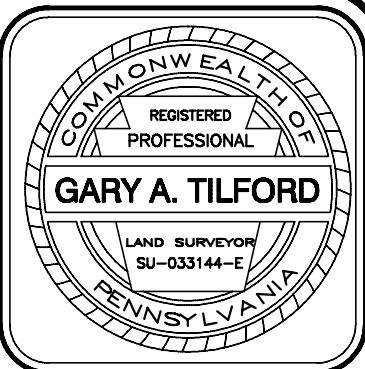
CHIPOTLE SITE AREA = 29,380 S.F.

EXISTING CONDITIONS:

BUILDING ROOF COVER	= 4,560 S.F.
BUILDING FOOTPRINT	= 3,000 S.F.
BUILDING LEASE AREA	= 2,700 S.F.
GREEN AREA	= 1,272 S.F.
IMPERVIOUS COVERAGE	= 28,108 S.F.
PARKING GREEN AREA	= 1,176 S.F.
PARKING SPACES	= 28 PARKING SPACES.

PROPOSED CONDITIONS:

BUILDING ROOF COVER	= 4,560 S.F.
BUILDING FOOTPRINT	= 3,000 S.F.
BUILDING LEASE AREA	= 2,700 S.F.
GREEN AREA	= 1,837 S.F.
IMPERVIOUS COVERAGE	= 27,543 S.F.
PARKING GREEN AREA	= 1,132 S.F.
PARKING SPACES	= 32 PARKING SPACES.



COUNTY PARCEL NO.
59-00-15925-00-9

BLOCK - UNIT
59-001-011

SITE ADDRESS
2000 COUNTY LINE RD
HUNTINGDON VALLEY,
PA 19006

DEED BOOK PAGE
5473-02273

RECORD OWNER
NEW CENTURY ASSOCIATES
GROUP, LP
c/o BRIAN REGEL, MANAGING PARTNER
2010 COUNTY LINE ROAD
HUNTINGDON VALLEY, PA 19006
215-355-9513

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
110 KEYSTONE DRIVE
MONTGOMERYVILLE, PA 18936
PHONE: 215-887-2165
FAX: 215-576-7791
E-MAIL: starf@ceshoemaker.com

DATE	NO	REVISION	BY

THE MARKETPLACE AT HUNTINGDON VALLEY

PROJECT NOTES
PREPARED FOR
NEW CENTURY ASSOCIATES
GROUP, L.P.
2000 COUNTY LINE ROAD
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE
MAY 24, 2022

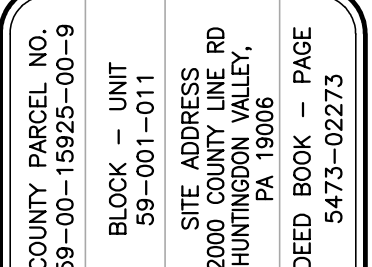
DWG NO.
UP. MORL.-1-4061

JOB NO.
26623

SHEET NO.
3 OF 10



PA ONE CALL LIST OF UNDERGROUND USERS UPPER MORELAND TOWNSHIP Serial No. 20220602518			Date Contacted: 3/09/2022
NAME OF USER	USERS ADDRESS	CONTACTED PERSON	
Abington Township	1176 Old York Road Abington, PA 19001	Tim Clark tclark@abington.org	
Comcast	4400 Wyane Avenue Philadelphia, PA 19140	Robert Harvey bob_harvey@cable.comcast.com	
PECO ENERGY c/o USCI	450 S. Henderson Road, Suite B King of Prussia, PA 19406	Nikkia Simpkins nikkiasimpkins@uscellc.com	
Abington Township Wastewater	1000 Fitzwattertown Road Abington, PA 19001	George Wigley gwigley@abington.org	
Aqua Pennsylvania, Inc.	762 W. Lancaster Avenue Bryn Mawr, PA 19010	James Thornton jthornton@aquamerica.com	
Verizon Pennsylvania, LLC	1050 Virginia Drive Fort Washington, PA 19034	Darlene Leppner Johnson laurel.d.leppincott@one.verizon.com	



RECORD OWNER
NEW CENTURY ASSOCIATES
GROUP, LP
BRIAN REGL, MANAGING PARTNER
2010 COUNTY LINE ROAD
HUNTINGDON VALLEY, PA 19006
215-355-9513

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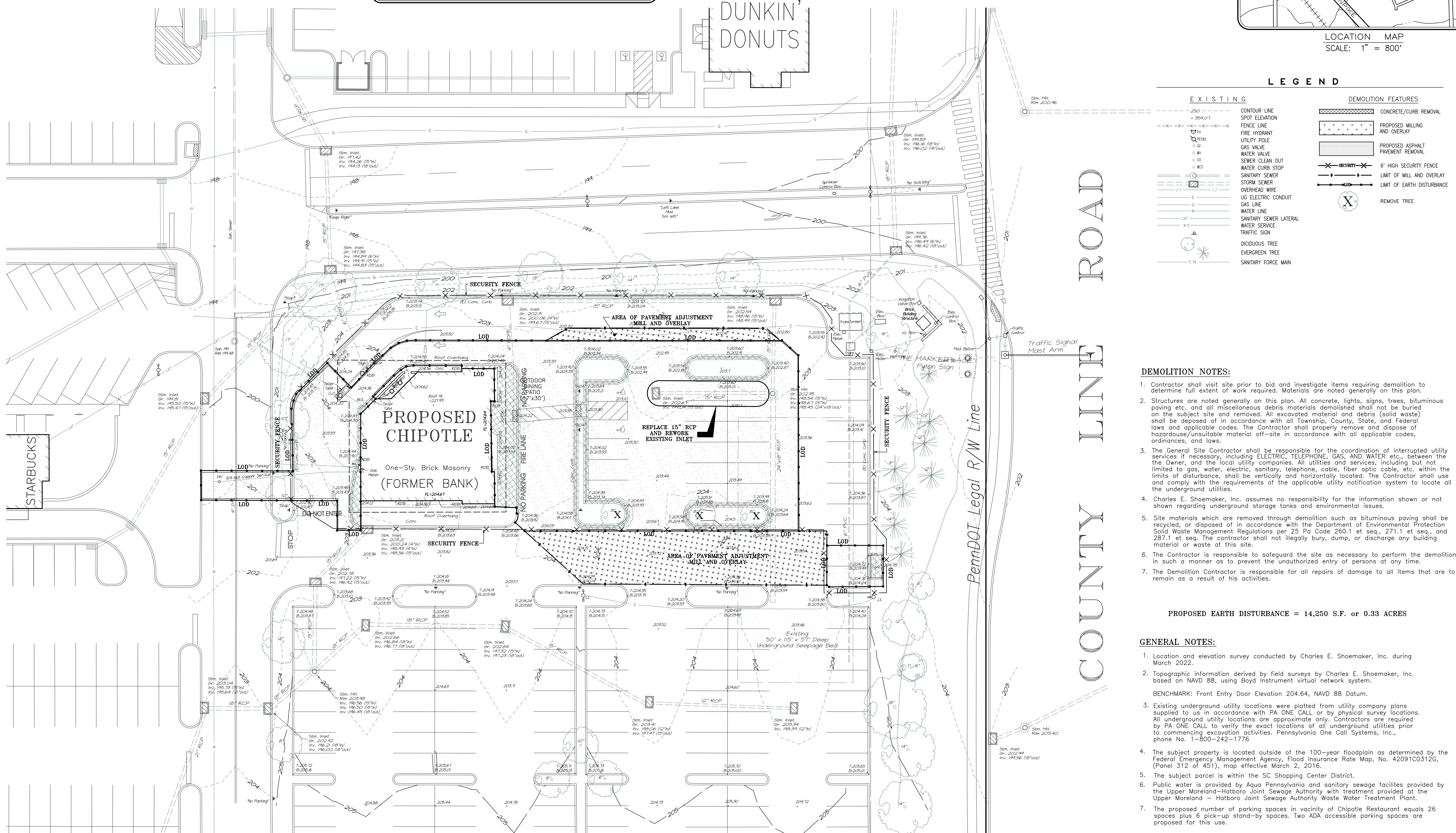


SCALE 1" = 20'

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DEMOLITION PLAN
PREPARED FOR
NEW CENTURY ASSOCIATES
GROUP, L.P.
2000 COUNTY LINE ROAD
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE	MAY 24, 2022
DWG NO.	UP. MORL.-1-4054
JOB NO.	26623
SHEET NO.	4 OF 10



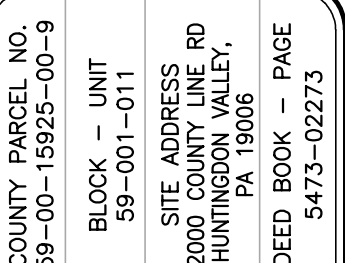
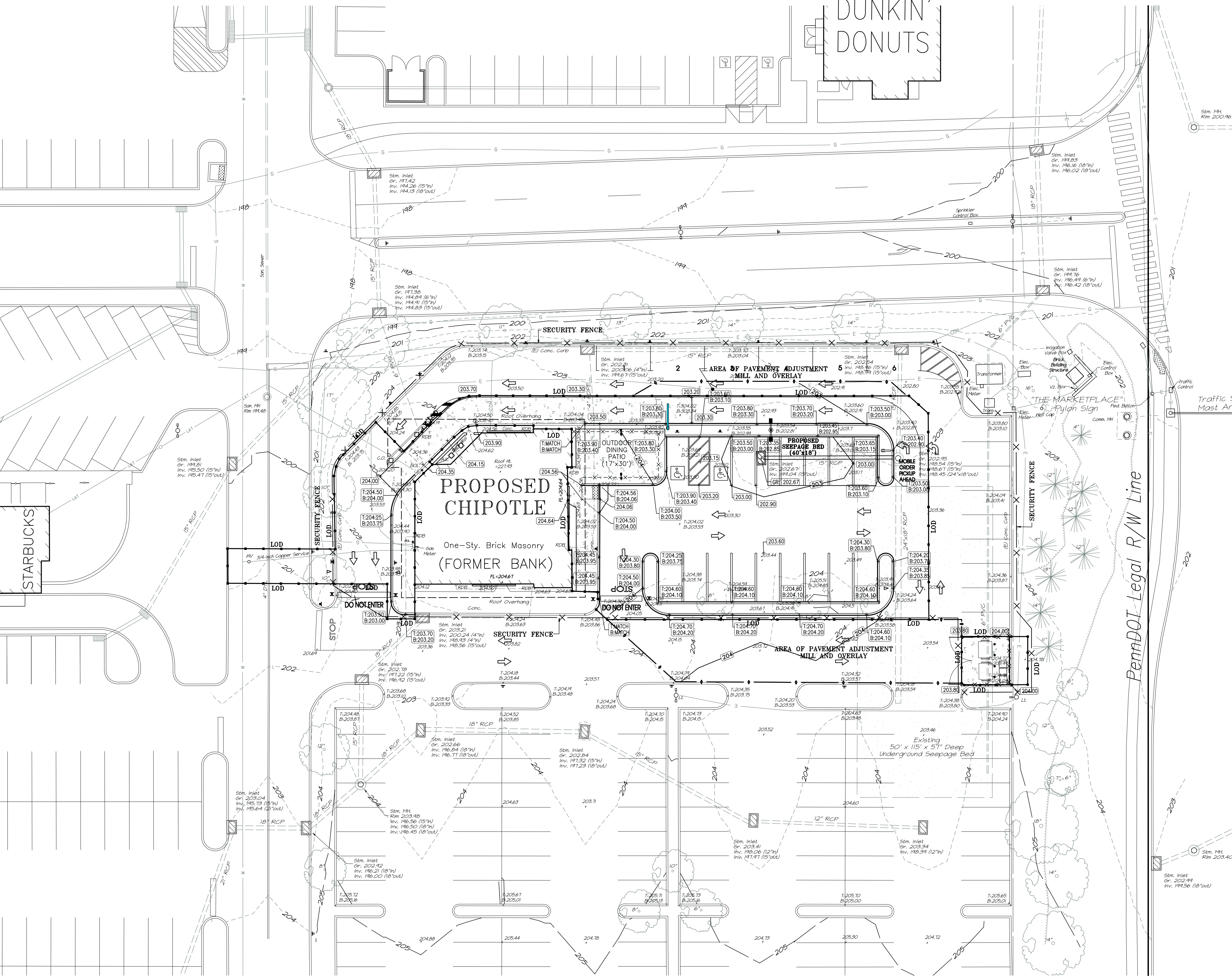
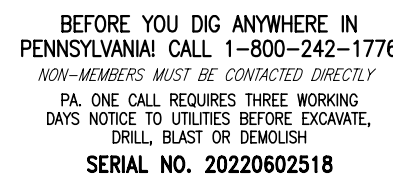
DEMOLITION NOTES:

1. Contractor shall visit site prior to bid and investigate items requiring demolition to determine full extent of work required. Materials are noted generally on this plan.
2. Structures are noted generally on this plan. All concrete, lights, signs, trees, bituminous paving etc. and all miscellaneous debris materials demolished shall not be buried on the subject site and removed. All excavated material and debris (solid waste) shall be disposed of in accordance with all Township, County, State, and Federal laws and applicable codes. The Contractor shall properly remove and dispose of hazardous/unusable material off-site in accordance with all applicable codes, ordinances, and laws.
3. The General Site Contractor shall be responsible for the coordination of interrupted utility services if necessary, including ELECTRIC, TELEPHONE, GAS, AND WATER etc., between the Contractor and the utility companies. The Contractor shall include but not be limited to gas, water, electric, sanitary, telephone, cable, fiber optic cable, etc. within the limits of disturbance, shall be vertically and horizontally located. The Contractor shall use and comply with the requirements of the applicable utility notification system to locate all the underground utilities.
4. Charles E. Shoemaker, Inc. assumes no responsibility for the information shown or not shown regarding underground storage tanks and environmental issues.
5. Site materials which are removed through demolition such as bituminous paving shall be recycled, or disposed of in accordance with the Department of Environmental Protection Solid Waste Management Regulations - 25 Pa Code 260.1 et seq., 271.1 et seq., and 272.1 et seq. The Contractor shall not illegally bury, dump, or discharge any building material or waste at this site.
6. The Contractor is responsible to safeguard the site as necessary to perform the demolition in such a manner as to prevent the unauthorized entry of persons at any time.
7. The Demolition Contractor is responsible for all repairs of damage to all items that are to remain as a result of his activities.

PROPOSED EARTH DISTURBANCE = 14,250 S.F. or 0.33 ACRES

GENERAL NOTES:

1. Location and elevation survey conducted by Charles E. Shoemaker, Inc. during March 2022.
2. Topographic information derived by field surveys by Charles E. Shoemaker, Inc. based on NAVD 88, using Body Instrument virtual network system.
BENCHMARK: Front Entry Door Elevation 204.64, NAVD 88 Datum.
3. Existing underground utility locations were plotted from utility company plans supplied to us in accordance with PA ONE CALL or by physical survey locations. All underground utility locations are approximate only. Contractors are required by PA ONE CALL to verify the exact locations of all underground utilities prior to commencing excavation activities. Pennsylvania One Call Systems, Inc., phone No. 1-800-242-1776
4. The subject property is located outside of the 100-year floodplain as determined by the Federal Emergency Management Agency, Flood Insurance Rate Map, No. 42091C0312G, (Panel 312 of 451), map effective March 2, 2016.
5. The subject parcel is within the SC Shopping Center District.
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215-355-9513

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
110 KEYSTONE DRIVE
MONTGOMERY, PA 15936
PHONE: 215-867-2165 FAX: 215-576-7791
E-MAIL: charles@shoemaker.com

[illegible]

THE MARKETPLACE AT HUNTINGDON VALLEY

GRADING PLAN
PREPARED FOR
NEW CENTURY ASSOCIATES
GROUP, L.P.
2000 COUNTY LINE ROAD
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE
MAY 24, 2022

DWG. NO.
UP. MORL.-1-4055

JOB NO.
26623

SHEET NO.
5 OF 10

EXISTING	PROPOSED
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
FENCE LINE	FENCE LINE
FIRE HYDRANT	FIRE HYDRANT
UTILITY POLE	UTILITY POLE
GAS VALVE	GAS VALVE
WATER VALVE	WATER VALVE
SEWER CLEAN OUT	SEWER CLEAN OUT
WATER CURB STOP	WATER CURB STOP
SANITARY SEWER	SANITARY SEWER
STORM SEWER	STORM SEWER
OVERHEAD WIRE	OVERHEAD WIRE
UG ELECTRIC CONDUIT	UG ELECTRIC CONDUIT
GAS LINE	GAS LINE
WATER LINE	WATER LINE
SANITARY SEWER LATERAL	SANITARY SEWER LATERAL
WATER SERVICE	WATER SERVICE
TRAFFIC SIGN	TRAFFIC SIGN
DECIDUOUS TREE	DECIDUOUS TREE
EVERGREEN TREE	EVERGREEN TREE
SANITARY FORCE MAIN	SANITARY FORCE MAIN

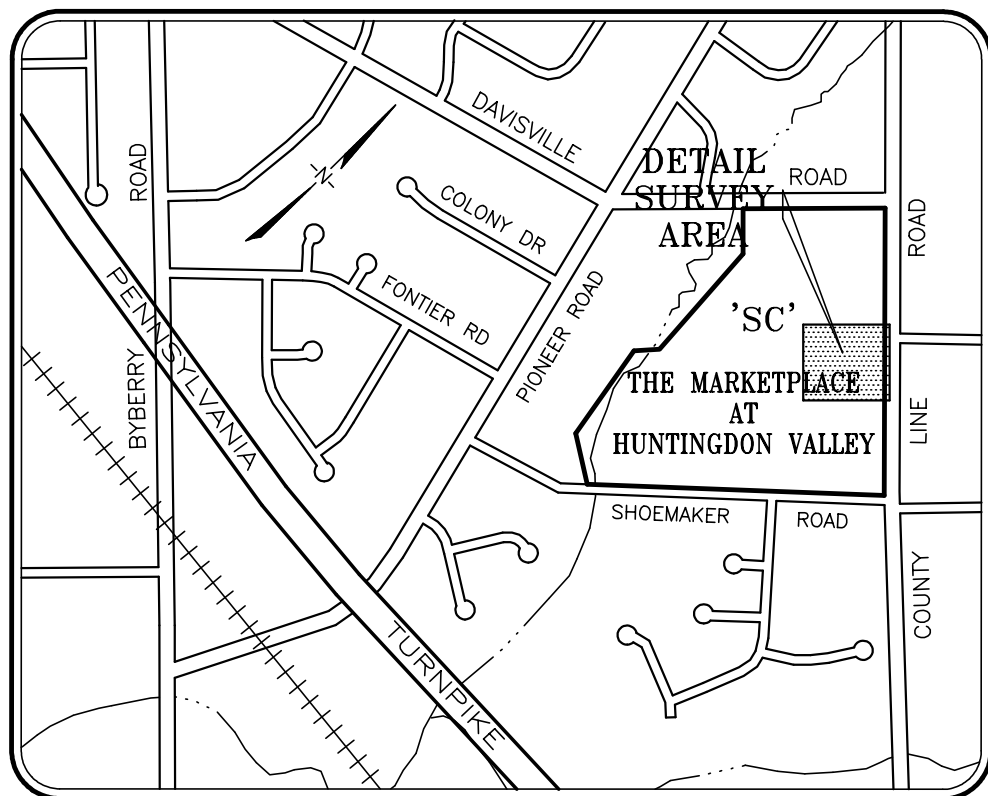
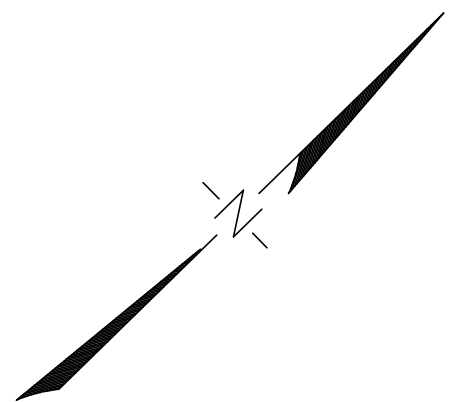
1. Location and elevation survey conducted by Charles E. Shoemaker, Inc. during March 2022.
2. Topographic information derived by field surveys by Charles E. Shoemaker, Inc. based on NAVD 88, using Boyd Instrument virtual network system.

BENCHMARK: Front Entry Door Elevation 204.64, NAVD 88 Datum.

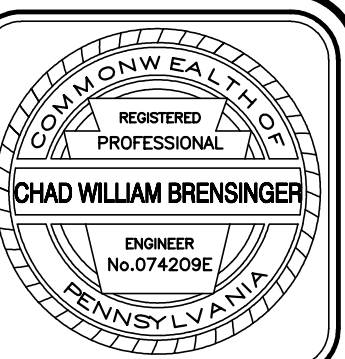
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4. The subject property is located outside of the 100-year floodplain as determined by the Federal Emergency Management Agency, Flood Insurance Rate Map, No. 42091C0312G, (Panel 312 of 451), map effective March 2, 2016.
5. The subject parcel is within the SC Shopping Center District.
6. Public water is provided by Aqua Pennsylvania and sanitary sewage facilities provided by the Upper Merion Joint Sewage Authority with treatment provided at the Upper Merion – Harbor Jo Joint Sewage Authority Waste Water Treatment Plant.
7. The proposed number of parking spaces in vicinity of Chipotle Restaurant equals 26 spaces plus 6 pick-up stand-by spaces. Two ADA accessible parking spaces are proposed for this use.



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
NON-RESIDENTS MUST BE CONTACTED DIRECTLY
PA ONE CALL REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE EXCAVATE, DRILL, BURN OR TOMBSTONE
SERIAL NO. 20220602518



LOCATION MAP
SCALE: 1" = 800'



COUNTY PARCEL NO. 59-00-100-15925-00-9
BLOCK - UNIT 59-001-011
SITE ADDRESS 2000 COUNTY LINE RD HUNTINGDON VALLEY, PA 19006
DEED NO. 1906 PAGE 5473-02273

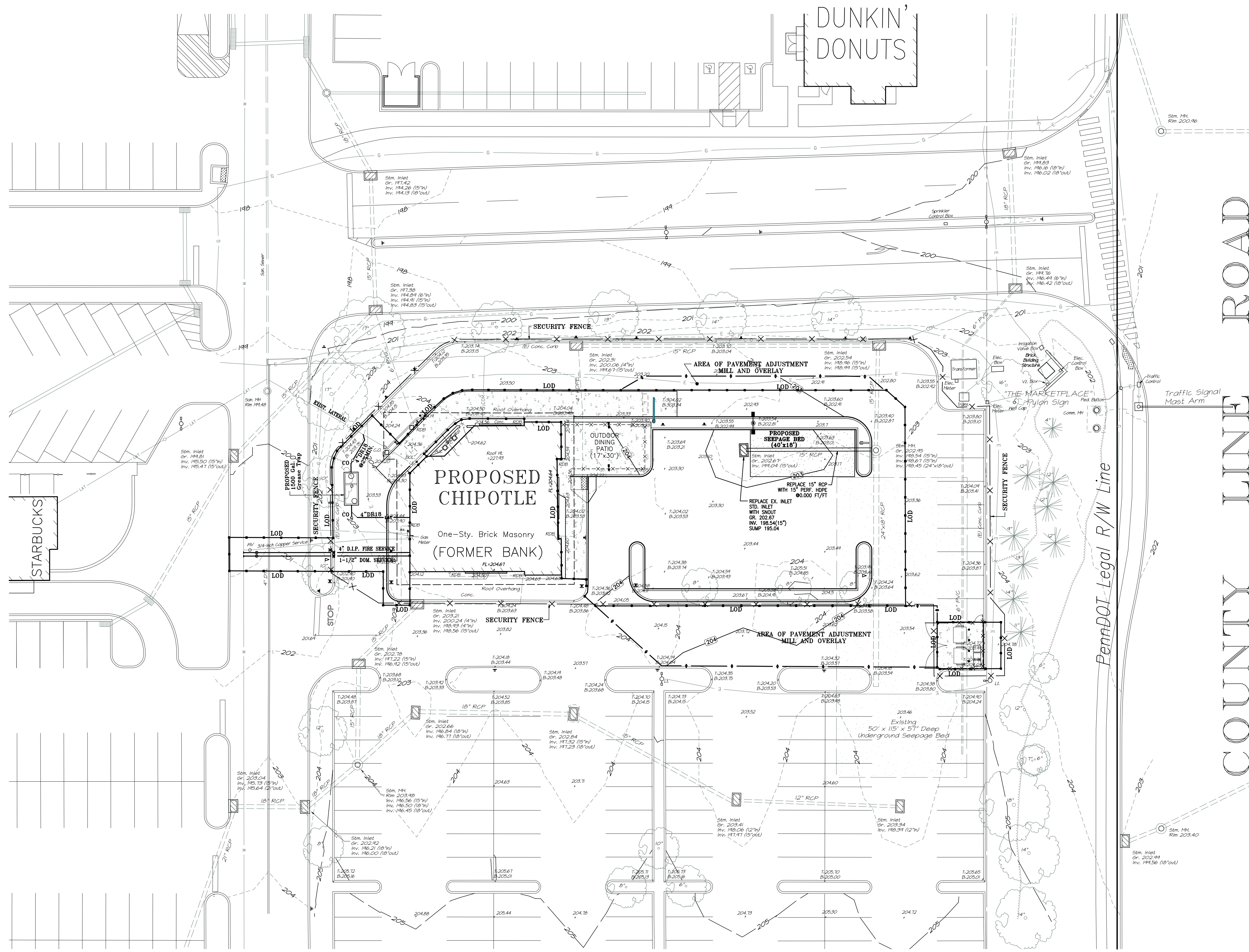
RECORD OWNER
NEW CENTURY ASSOCIATES GROUP, LP
c/o BRIAN REGU, MANAGING PARTNER
HUNTINGDON VALLEY, PA 19006
215-355-9513

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
110 KEYSTONE DRIVE
MONTGOMERY, PA 19366
PHONE: 215-887-2168 FAX: 215-578-7791
E-MAIL: ceshoemaker.com
SCALE 1" = 20'

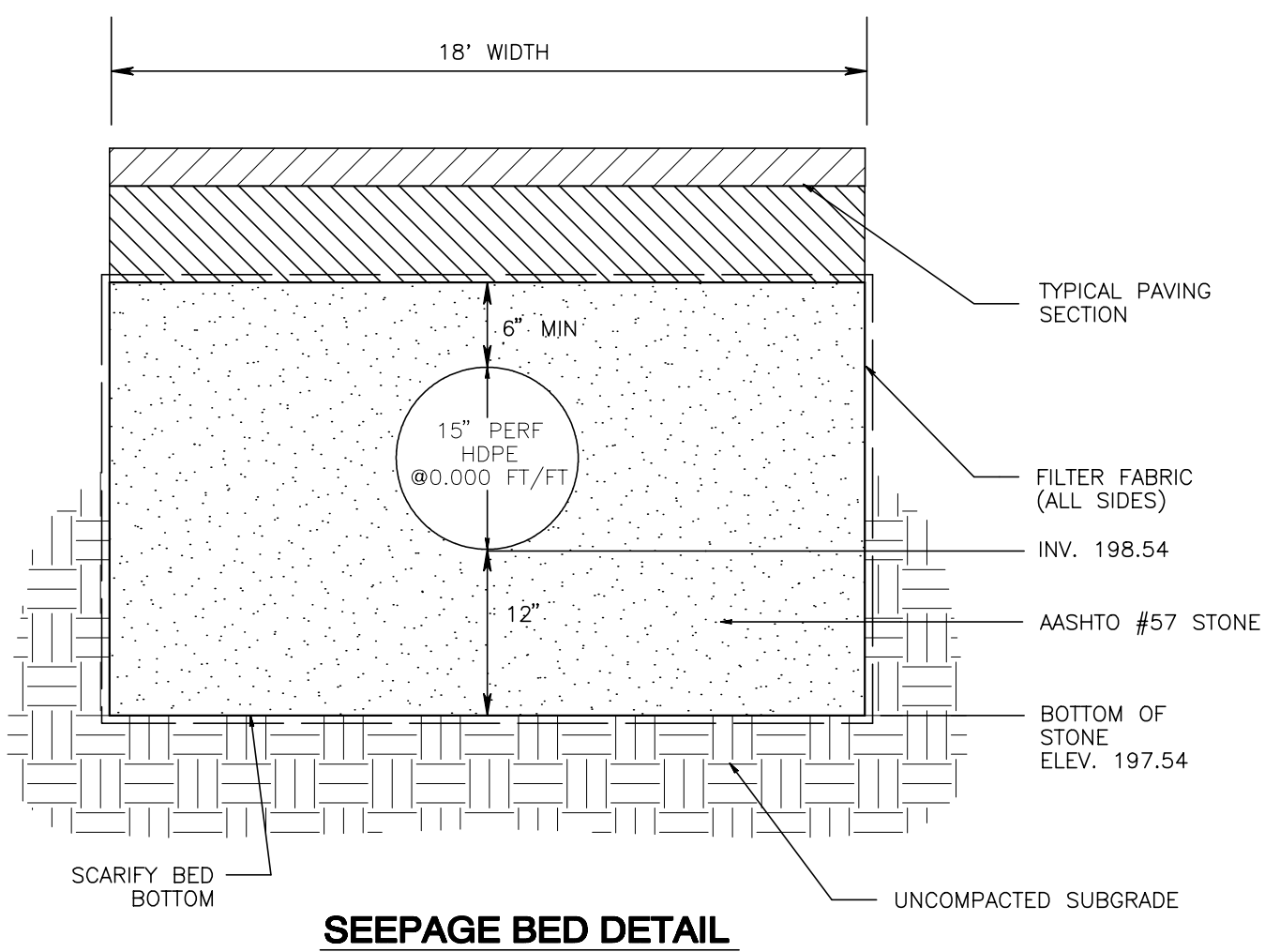
DATE	NO	REVISION	BY

THE MARKETPLACE AT HUNTINGDON VALLEY
UTILITY PLAN
PREPARED FOR
NEW CENTURY ASSOCIATES GROUP, L.P.
2000 COUNTY LINE ROAD
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE MAY 24, 2022
DWG NO. UP. MORL-1-4056
JOB NO. 26623
SHEET NO. 6 OF 10



EXISTING		PROPOSED	
--- 250 ---	CONTOUR LINE	--- 250 ---	CONTOUR LINE
--- 354.07 ---	SPOT ELEVATION	--- 359.07 ---	SPOT ELEVATION
--- X --- X --- X --- X --- X ---	FENCE LINE	--- LAT ---	SAN. LATERAL
--- 15" RCP ---	UTILITY POLE	--- LAT ---	WATER SERVICE
--- 15" RCP ---	GAS VALVE	--- LAT ---	SECURITY FENCE
--- 15" RCP ---	WATER VALVE	--- LAT ---	LIMIT OF MILL & OVERLAY
--- 15" RCP ---	SEWER CLEAN OUT	--- LAT ---	LIMIT OF EARTH DISTURBANCE
--- 15" RCP ---	WATER CURB STOP		
--- 15" RCP ---	SANITARY SEWER		
--- 15" RCP ---	STORM SEWER		
--- 15" RCP ---	OVERHEAD WIRE		
--- 15" RCP ---	UG. ELECTRIC CONDUIT		
--- 15" RCP ---	GAS LINE		
--- 15" RCP ---	WATER LINE		
--- 15" RCP ---	SANITARY SEWER LATERAL		
--- 15" RCP ---	WATER SERVICE		
--- 15" RCP ---	TRAFFIC SIGN		
--- 15" RCP ---	DIOXYDUS TREE		
--- 15" RCP ---	EVERGREEN TREE		
--- 15" RCP ---	SANITARY FORCE MAIN		
--- 15" RCP ---	LIGHT STD.		



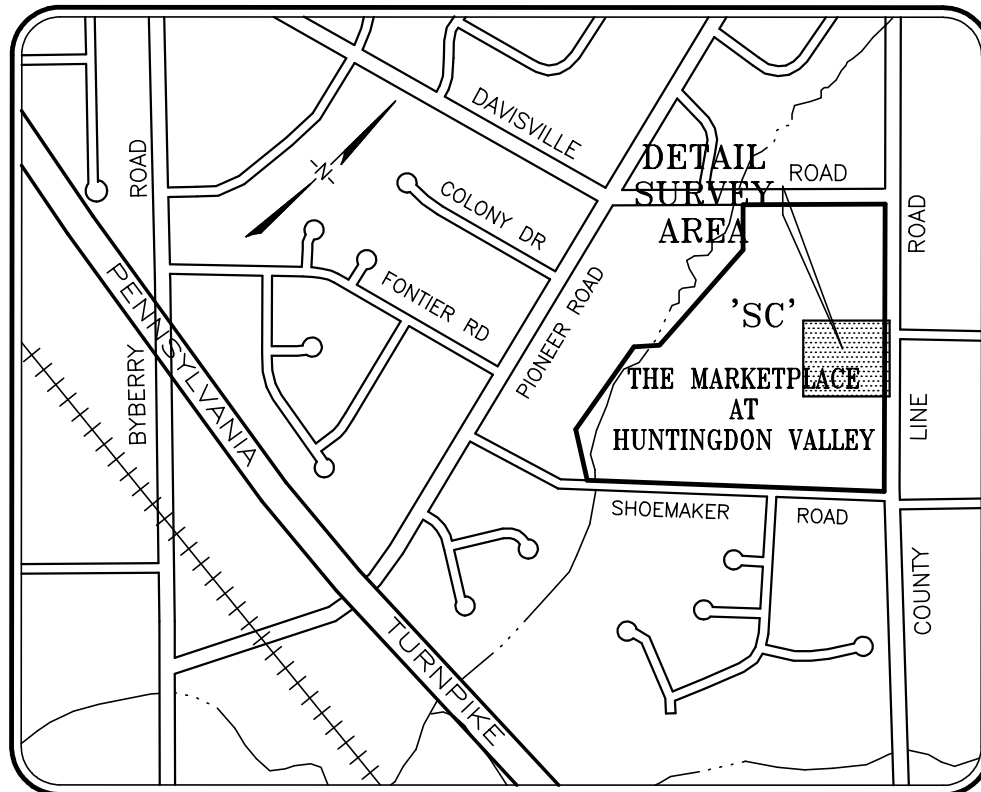
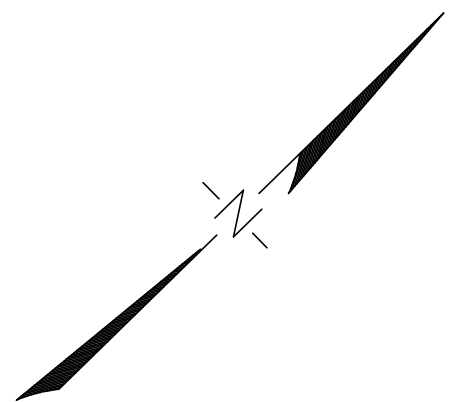
WATER QUALITY INLET/SEEPAGE BED CONSTRUCTION SEQUENCE:
1. Excavate proposed bed area as delineated on the Utility Plan and scarify bed bottom.
2. Install filter fabric on sides of excavated areas.
3. Install 1/2" stone base.
4. Install 15" perforated HDPE pipe and backfill with #57 stone.
5. Install fabric on top of stone.
6. Install water quality structure per manufacturer. Seal as required to prevent sediment laden water from entering the system until site is stabilized.
7. Place and compact appropriate fill & pave to finish grades.
8. Inlet sediment protection should be immediately placed on all inlets if not already present.

GENERAL NOTES:

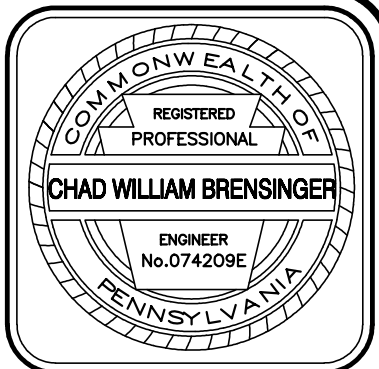
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SERIAL NO. 20220602518



LOCATION MAP
SCALE: 1" = 800'



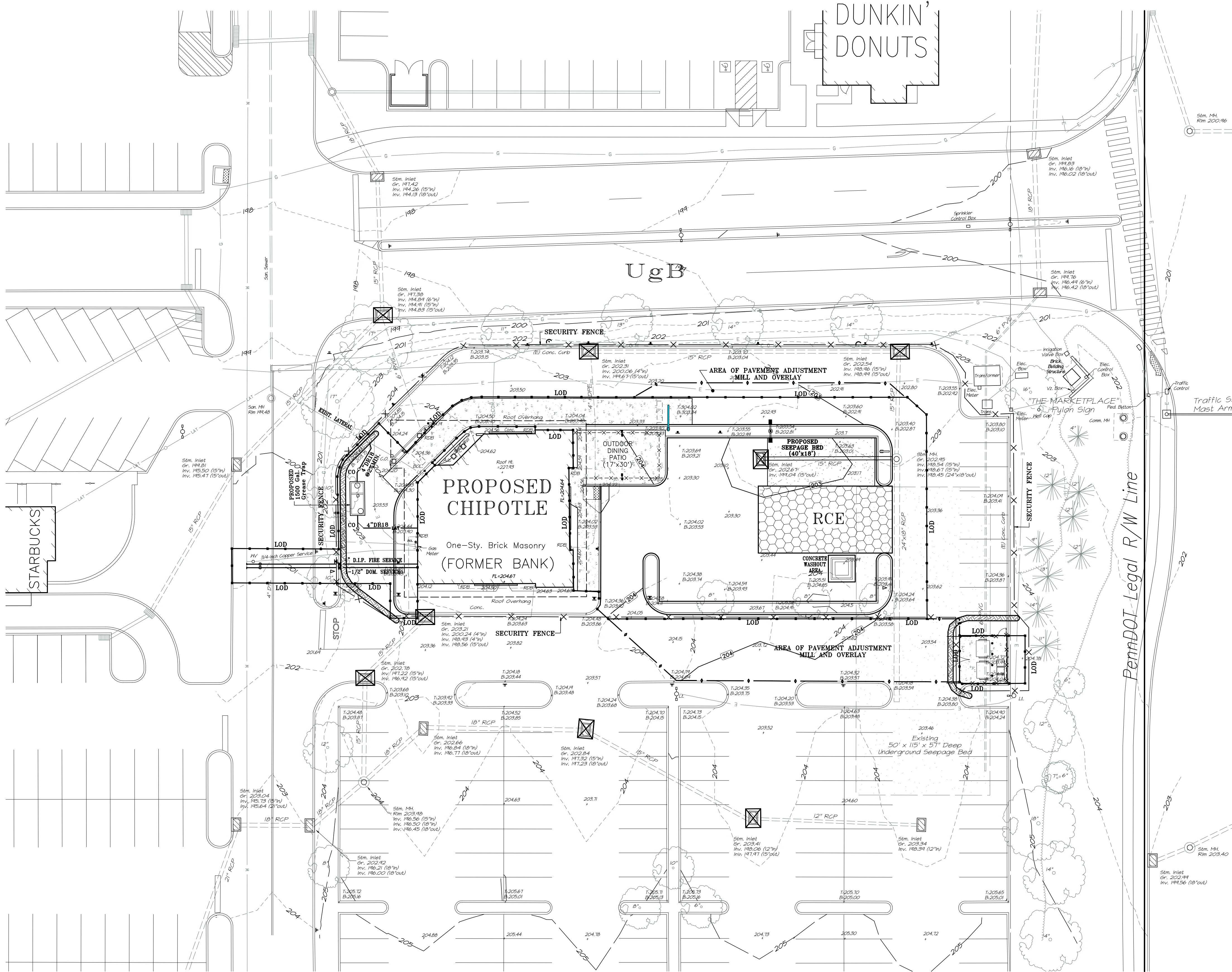
COUNTY PARCEL NO. 59-00-100-00-9
BLOCK - UNIT 59-001-011
SITE ADDRESS 2000 COUNTY LINE RD HUNTINGDON VALLEY, PA 19006
DEED PG. 1906 PAGE 5473-02273
RECORD OWNER NEW CENTURY ASSOCIATES GROUP, LP
c/o BRIAN REG. MANAGING PARTNER HUNTINGDON VALLEY, PA 19006 215-355-9513

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
110 KEYSTONE DRIVE
MONTGOMERYVILLE, PA 18936
PHONE: 215-887-2168 FAX: 215-578-7791
E-MAIL: charles@shoemaker.com
SCALE 1" = 20'

DATE	NO.	REVISION	BY

THE MARKETPLACE AT HUNTINGDON VALLEY
EROSION CONTROL PLAN
PREPARED FOR
NEW CENTURY ASSOCIATES GROUP, L.P.
2000 COUNTY LINE ROAD
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE MAY 24, 2022
DWG NO. UP. MORL-1-4057
JOB NO. 26623
SHEET NO. 7 OF 10



EXISTING	PROPOSED
250' - 350' 0.1	385' - 402.96
SPOT ELEVATION	SPOT ELEVATION
FENCE LINE	TOP & BOTTOM CURB ELEVATION
FIRE HYDRANT	SAN LATERAL
UTILITY POLE	WATER SERVICE
WATER VALVE	LIGHT STD.
SEWER CLEAN OUT	PROPOSED ADA DETECTABLE WARNING SURFACE
WATER CURB STOP	SECURITY FENCE
SANITARY SEWER	LIMIT OF MILL & OVERLAY
OVERHEAD WIRE	LIMIT OF EARTH DISTURBANCE
UG ELECTRIC CONDUIT	6" CONC. FILLED STEEL BOLLARD
GAS LINE	TRAFFIC SIGN
WATER LINE	12" COMPOST SILT SOCK
SANITARY SEWER LATERAL	STORM INLET FILTER
WATER SERVICE	ROCK CONSTRUCTION ENTRANCE
TRAFFIC SIGN	
DECIDUOUS TREE	
EVERGREEN TREE	
SANITARY FORCE MAIN	
LIGHT STD.	

PROPOSED EARTH DISTURBANCE = 14,250 S.F. or 0.33 ACRES

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- Soil classification taken from the USDA-NRCS Sole Survey of Montgomery County, PA, version 16, September 1, 2021.
Soils in vicinity of Chipotle site improvements are classified as:
UgB - Urban Land, 0 to 8 percent slopes:

TEMPORARY SEEDING REQUIREMENTS

FOR OPENING SEEDING (UP TO JUNE 15)

Annual Ryegrass
or spring oats
or spring oats plus ryegrass,
or winter wheat,
or winter rye

Annual Ryegrass,
or Japanese or foxtail millet,
or sudangrass,
or spring oats,
or winter wheat,
or winter rye

FOR LATE OPENING AND SUMMER SEEDING (JUNE 16 to AUGUST 15)

Annual Ryegrass,
or Japanese or foxtail millet,
or sudangrass,
or spring oats,
or winter wheat,
or winter rye

FOR LATE SUMMER AND FALL SEEDING (AUGUST 16 to LATE OCTOBER)

Annual Ryegrass,
or winter rye,
or spring oats,
(can be used but winter kills)

SEEDING RATE (lb./Ac.)

40 (3 bu.)
64 oats (2 bu.) plus
9 annual or
perennial ryegrass
180 (3 bu.)
168 (3 bu.)

40 (3 bu.)
35 (3 bu.)
35 (3 bu.)
96 (3 bu.)
180 (3 bu.)
168 (3 bu.)

40 (3 bu.)
180 (3 bu.)
96 (3 bu.)

- Upon completion of an earth disturbance activity or any stage or phase of an activity, the site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sedimentation. During the non-growing season, October 15 through March 15, mulch must be applied at the recommended rates. Temporary seeding shall be performed after the end of the non-growing season. Disturbed areas which are not at finish grade and which will be disturbed one year shall be seeded and mulched within 30 days of grading. Temporary seeding mixture and mulch. Disturbed areas which are either at finish grade or will not be redisturbed within one year must be seeded and mulched with permanent seed mixture and mulch.
- MULCHING: Mulches alone help protect areas from erosion. Mulches also provide initial protection if area is to be seeded later. Use hay or straw at a rate of 3 tons per acre.
- SITE PREPARATION: Apply 1 ton of agricultural-grade limestone per acre, plus fertilizer at the rate of 50-50-50 (50 pounds of N, 50 pounds of P2O5, and 50 pounds of K2O) per acre, and work in where possible.
- Topsoil stockpiles must be seeded and mulched immediately.

PERMANENT SEEDING REQUIREMENTS

NO.	SPECIES	SEEDING RATE	NO.	SPECIES	SEEDING RATE
2	Tall Fescue, or Kentucky Bluegrass, plus Redtop, or Perennial Ryegrass	75 lb./Ac. 30 lb./Ac. 3 lb./Ac. 20 lb./Ac.	10	Birdfoot Trefoil, plus Tall Fescue, plus Tall Fescue	10 lb./Ac. 60 lb./Ac. 60 lb./Ac.

NOTES

- Seeding rates are for pure live seed, seeding rate shall be adjusted by percent germination.
- Mixture No. 2 is suitable for frequent mowing. Do not cut shorter than 4 inches.
- Keep Redtop seeding rate to that indicated. This species has small seeds and is very competitive.
- Division channels, detention basins, and sediment traps or berms shall be seeded and mulched immediately.
- Due to the absence of soil tests, the site shall be prepared by the application of at least 6 tons of agricultural grade limestone and 100-200-200 (100 pounds of N, 200 pounds of P2O5, and 200 pounds of K2O) per acre. Work one inch and fertilizer into the soil deeply where possible.
- After seeding, mulch with hay or straw at a rate of 3 tons per acre.
- For best results, grass and legume seedings should be made in spring (March, April, and early May). However, through proper choice of seed mixtures, seed specifications, and establishment techniques, disturbed sites can be seeded almost any time from spring to fall. Legume seedings need a growing period of at least ten to twelve weeks to produce seedlings sufficiently large and hardy to survive the winter. Grasses generally require at least four to six weeks of growth prior to hard frosts. It is suggested that legumes be seeded before August 15 in southeastern Pennsylvania (corn maturity zone 4).
- Graded areas should be scarified or otherwise loosened to a depth of 3" to 6" prior to topsoil placement to permit bonding of the topsoil. The depth of topsoil replaced should be equal to the predevelopment depths or at least 6". Soil tests are also recommended to determine actual lime and fertilizer needs.

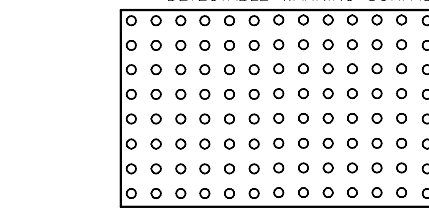
RECOMMENDED SEED MIXTURES FOR VARIOUS AREAS

AREA	MIXTURE
Slopes and banks (unmowed)	2 or 10
Drainage swales	2, 3 or 4
Utility Right-of-Way	3
Lawns	2, 3 or 10

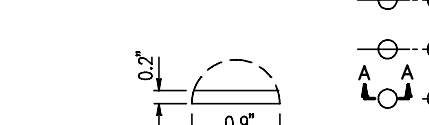
MULCHING REQUIREMENTS

All conservation and erosion control areas, whether seeded with a drill, broadcasted, or hydroseeded, should be mulched to reduce soil erosion and to aid seed germination and seedling establishment. Grass hay and cereal straw are preferred mulches and should be applied to produce a loose layer 0.75 to 1 inch deep. Generally, 3 tons of mulch per acre are sufficient. As a guideline, a thickness of five to six overlapping straw or hay stems is acceptable for mulching. Straw or hay should not be chopped or finely broken during application. On steep slopes, hay rather than straw mulch is recommended. CAUTION: Hay mulch may introduce undesirable weeds; use clean mulch if weeds might be a problem. Long straws and stems are more readily anchored in place and afford seedling plants more protection than does chopped straw or hay. Mulches of hay or straw may be tied down with commercial netting of various types or with esophot emulsion or culbaco applied at a rate of 100 to 150 gallons per acre. Application of cellulose, fiber over straw or hay mulch at a rate of 800 to 1000 pounds per acre also is an excellent way to tack or hold the mulch in place.

DETECTABLE WARNING SURFACE (DWS)



SECTION A-A



NOTES

- DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT SURFACES, EITHER BY COLOR OR BY CONTRASTING COLOR.
- THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WARNING SURFACE.

TRUNCATED DOME DETAIL

NTS

WHITE BORDER

8" DIA.

BLUE BACKGROUND

67.5"

WHITE SYMBOL

ALL LINES 5" WIDE

18"

BACK OF WALK

HANICAPPED PARKING SIGN

CURB LINE

4" BLUE PAINT LINE

MAX. 2% SLOPE IN ANY DIRECTION

INTERNATIONAL SYMBOL OF ACCESSIBILITY BLUE PAINT

8"

5"

8"

(VAN ACCESS.)

HANDICAP PARKING SPACE MARKINGS

NTS

NOTES

- PROVIDE PAINTED WHEELCHAIR SYMBOL AT EACH DESIGNATED HANDICAP PARKING SPACE. CENTER SYMBOL IN STALL.

HANDICAP WHEELCHAIR SYMBOL

NTS

6"-8" ABOVE GROUND

5'-0" MIN. ABOVE GROUND

8"

5"

8"

(VAN ACCESS.)

18"

BACK OF WALK

HANICAPPED PARKING SIGN

CURB LINE

4" BLUE PAINT LINE

MAX. 2% SLOPE IN ANY DIRECTION

INTERNATIONAL SYMBOL OF ACCESSIBILITY BLUE PAINT

8"

5"

8"

(VAN ACCESS.)

18"

BACK OF WALK

HANICAPPED PARKING SIGN

CURB LINE

4" BLUE PAINT LINE

MAX. 2% SLOPE IN ANY DIRECTION

INTERNATIONAL SYMBOL OF ACCESSIBILITY BLUE PAINT

8"

5"

8"

(VAN ACCESS.)

CONCRETE WASHOUT CONTAINMENT AREA - BERMED

FOR 100 TO 400 WATER TONS PER HOUR

CONCRETE WASHOUT CONTAINMENT AREA - EXCAVATED

FOR 100 TO 400 WATER TONS PER HOUR

MINIMUM CONTAINMENT VOLUME = 6 CUBIC FEET FOR EVERY 10 CUBIC YARDS OF CONCRETE POURED DURING CLEANOUT INTERVAL

SAND BAG OR SOLE TO BE USED AS WEIGHT

POLY LINER

51 SLOPE

3:1 SLOPE

STREET

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NOTES

- PERFORM WASHOUT OF CONCRETE TRUCKS OR PUMPS OFFSITE OR IN DESIGNATED AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS OR STREAMS.
- FOR ON-SITE WASHOUT:
 - LOCATE WASHOUT AREA AT LEAST 50 FEET FROM STORM DRAINS, OPEN DITCHES, WATER BODIES OR STEEP SLOPES. WASHOUT LOCATIONS MUST BE SITED AS NECESSARY TO ENSURE THAT CONCRETE TRUCK DRIVERS UTILIZE PROPER PRACTICES.
 - CONTAIN RUNOFF BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH TO HANDLE FOR LIQUID AND SOLID WASTE. ALLOW ADEQUATE FREEBOARD FOR STRUCTURAL STABILITY.
 - WASH OUT WASTES INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET. BE BROKEN UP AND THEN DISPOSED OF PROPERLY. BE SURE THAT THE STORMWATER COLLECTION SYSTEM IS PROTECTED BY A SEDIMENT TRAP OR SIMILAR PRACTICE.
 - DO NOT WASH DRAINAGE FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET OR STORM DRAIN SYSTEM. COLLECT AND RETURN SHEEPINGS TO AGGREGATE BASE STOCKPILE OR DISPOSE AS WASTE.
 - CLEAN OUT WHEN CONCREMENT AREA IS 80% FULL TO CAPACITY. DISPOSE OF HARDENED CONCRETE IS CEMENTACEOUS WASTE IN ACCORDANCE WITH ALL LAWS.

CONCRETE WASHOUT AREA

NTS

WELL VEGETATED, GRASSY AREA

DISCHARGE HOSE

CLAMPS

PUMP

INTAKE HOSE

HEAVY DUTY LIFTING STRAPS (RECOMMENDED)

PLAN VIEW

WELL VEGETATED, GRASSY AREA

DISCHARGE HOSE

CLAMPS

PUMP

INTAKE HOSE

ELEVATION VIEW

NOTES

- LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "Y" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 120 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

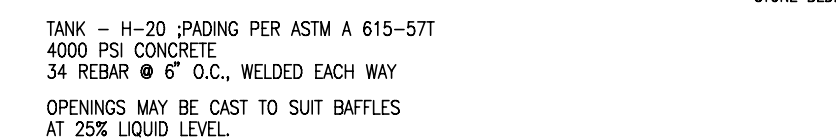
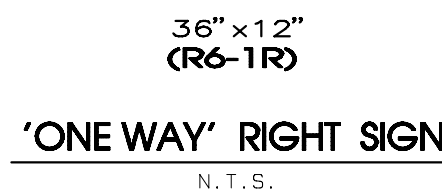
PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4684	60 LB/IN
GRAB TENSILE	ASTM D-4682	200 LB
PUNCTURE	ASTM D-4683	110 LB
MILLEN BURST	ASTM D-3186	350 PSI
UV RESISTANCE	ASTM D-4355	70%
ADD % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN SIX FOR SLOPES EXCEEDING SIX CLEAN ROCK OR OTHER NON-PROBABLE AGGREGATE-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN NO OR EY WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

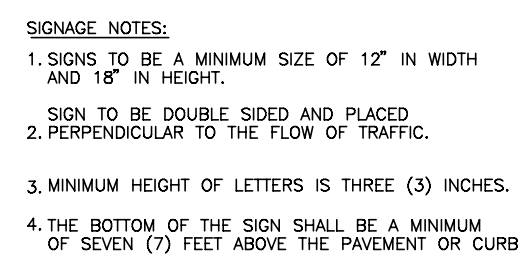
THE PUMP DISCHARGE HO



* DIMENSION: TO BE DETERMINED BASED UPON CAPACITY AND STRUCTURAL REQUIREMENTS

1. ONLY WHEN FITTINGS SHALL DISCHARGE THROUGH THE PROPOSED GRASE TRAP.
2. 1,500 GALLON GRASE TRAP MANUFACTURED BY A.C. MILLER OR EQUIVALENT TO BE INSTALLED PER UPPER MORELAND - HATBORO JUNT SEWAGE AUTHORITY STANDARDS.
3. THE GRASE TRAP INTERNAL PIPING SHALL BE INSTALLED PER UHMSA STANDARDS.
4. ALL EXTERNAL LATERAL PIPING SHALL BE 4" or 6" DR18 PIPE WITH A MINIMUM SLOPE OF 1/8" PER FOOT.
5. WHEN LOCATED IN DRIVEWAYS OR PAVED AREAS, GRASE TRAP SHALL BE DESIGNED FOR APPROPRIATE LOAD BEARING CONDITIONS. GRASE TRAP SHALL BE CAPABLE OF WITHSTANDING HS-20 LOADING.
6. ALL PIPE PENETRATIONS SHALL BE WATERPROOF.
7. GRASE TRAP SHALL BE PROVIDED WITH GAS-TIGHT MANHOLE COVERS, IN ACCORDANCE WITH AUTHORITY STANDARD SPECIFICATIONS.
8. PRECAST CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH 4000 PSI.
9. EXTERIOR CONCRETE SURFACES BELOW GRADE SHALL HAVE 2 COATS OF BITUMINOUS C/P-SL.
10. SPECIFIC SEALANT TAP AT CONCRETE INSECT TO CONCRETE WALT INTERFACE SHALL BE 1/4" MINIMUM. JOINT SHALL BE SEALED WITH BUTY, RUBBER SEALANT (KENT SEAL #2 OR APPROVED EQUIVALENT) AND THE EXTERIOR OF THE JOINT SHALL BE SEALED WITH NON-SHRINK GROUT IN CONFORMANCE WITH THE UHMSA STANDARD SPECIFICATION DETAIL.
11. TANK SHALL BE TESTED FOR WATER TIGHTNESS BY FILLING FOR 24 HRS. TO 50%N, THEN TOPPED OFF, AND THEN WATCHED FOR 24 HRS. NO DROP IN WATER IS ALLOWED.
12. CAST IRON SHALL BE BOLTED TO CONCRETE WITH MASTIC TAP (KENT SEAL OR APPROVED EQUIVALENT) AND SEALANT.
13. MINIMUM EARTH COVER = 5.0 FEET, HS-20 LOADING.
14. INLET AND OUTLET EQUIPPED WITH PIPE SEALS.

1,500 GALLON (2 COMPARTMENT) TANK
GREASE TRAP/OIL SEPARATOR DETAIL
N.T.S.



PAVEMENT MARKING NOTES:

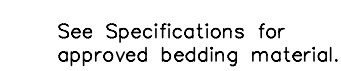
1. MINIMUM WIDTH OF ANY PART OF A LETTER IS FOUR (4) INCHES.
2. MINIMUM HEIGHT OF LETTER IS THIRTY-SIX (36) INCHES.
3. MINIMUM LENGTH OF MESSAGE IS FIFTY (50) INCHES.
4. WHERE A CURB ACTS AS A BOUNDARY TO A FIRE LANE, CURB TO BE PAINTED YELLOW.

COLORS LEGEND:
Legend & Border: RED (NON-REFLECTORIZED)
Background: WHITE (REFLECTORIZED)




SANITARY SEWER CONSTRUCTION NOTES:

1. All utilities (including but not limited to water, gas, electric, phone, etc.) shall have a minimum of 18 inches of vertical clearance and 10 feet of horizontal clearance with the sanitary lines, or whatever is required by the individual utility, whichever is greater.
2. Sanitary lines shall be located below water lines.
3. All building sewer to be tested per Township Code.
4. Cleanouts required one per 50 feet of pipe and at every bend.
5. Cleanouts in non-paved areas shall be East Jordan #1574, Neenah Foundry R-175-A2, or approved equal. Cleanout cap protection casting shall have a minimum of 2-inch of separation between cleanout threaded plug and casting.



(Use within 5' of building only)

TWO-WAY CLEANOUT



8'-0"

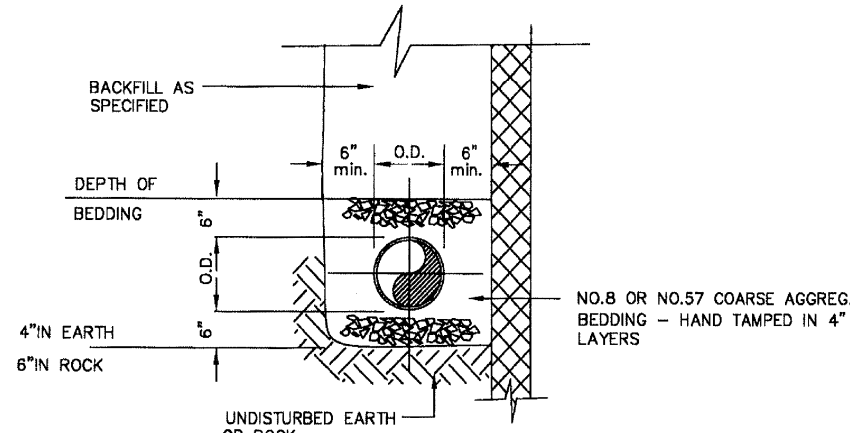
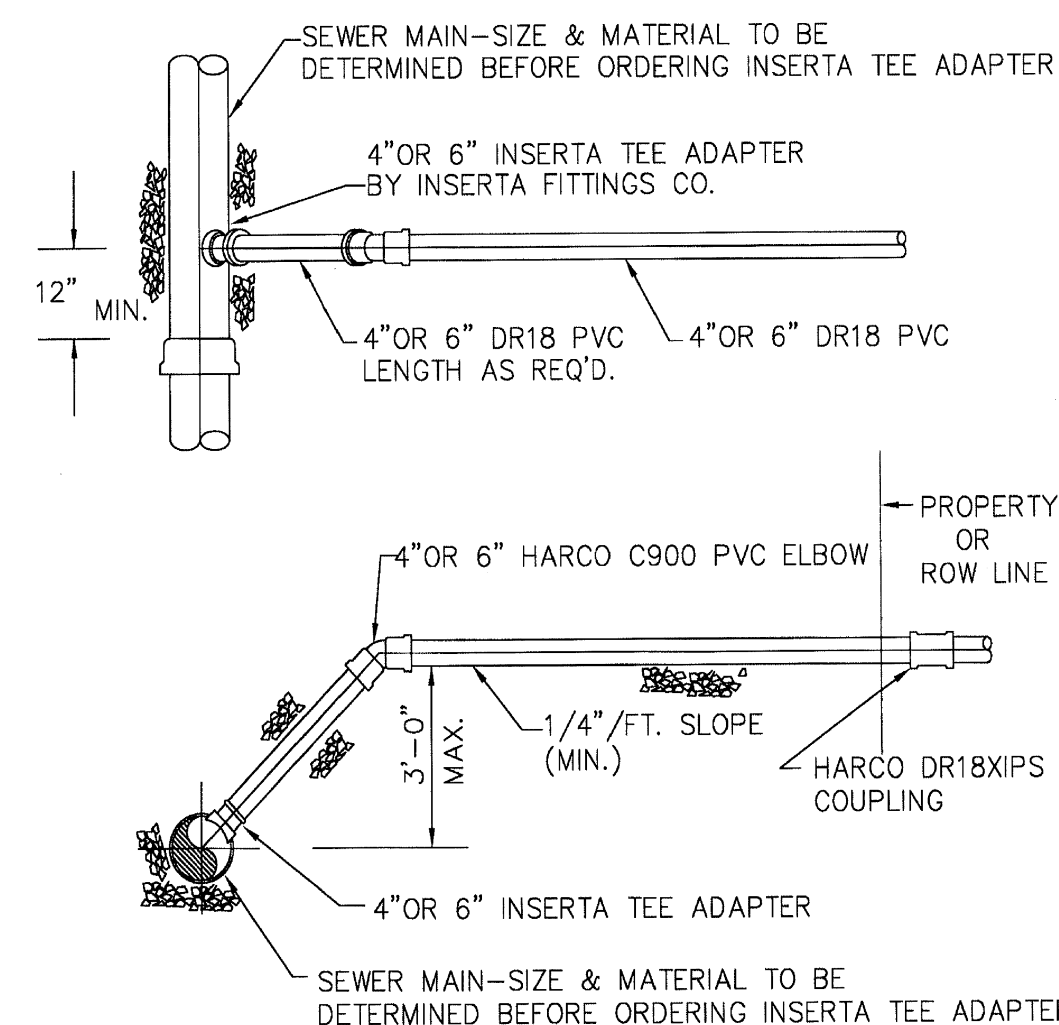
(WHITE)

PAVEMENT LETTERING DETAIL

N. T. S.



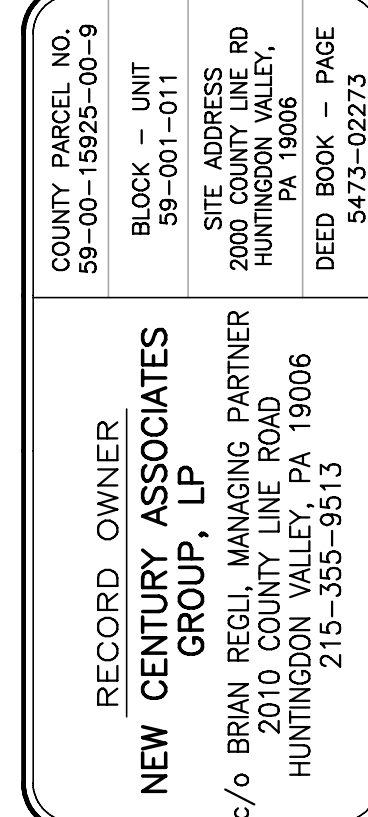
NOTE:
INSERTA TEE IS A THREE PIECE SERVICE CONNECTION CONSISTING
OF A PVC HUB, RUBBER SLEEVE AND STAINLESS STEEL BAND.
INSERTA TEE IS COMPRESSION FIT INTO THE CORED WALL OF A
MAINLINE. INSTALL STRICTLY PER MANUFACTURER'S RECOMMENDATIONS.



- NOTES: 1. ALL BUILDING SEWER TO BE TESTED PER TOWNSHIP CODE
2. CLEAN-OUT REQUIRED ONE PER 50 FEET OF PIPE AND AT EVERY BEND
3. CLEANOUT IN NON-PAVED AREAS SHALL BE EAST JORDAN #1574, NEEHAH FOUNDRY R-1975-A2, OR APPROVED EQUAL. CLEANOUT CAP PROTECTION CASTING SHALL HAVE A MIN. OF 2-INCH OF SEPARATION BETWEEN CLEANOUT THREADED PLUG AND CASTING.

BUILDING SEWER CONNECTION
(SINGLE CLEAN-OUT, NO TRAP)

UMHJSA DWG 027 - BUILDING SEWER CONNECTION



CHARLES E. SHOEMAKER, INC.

ENGINEERS & SURVEYORS
110 KEYSTONE DRIVE
MONTGOMERYVILLE, PA 18936
PHONE: 215-887-2165 FAX: 215-576-7791
E-MAIL: staff@ceshoemaker.com

SCALE: AS NOTED

[illegible]

THE MARKETPLACE AT HUNTINGDON VALLEY

CONSTRUCTION DETAILS
PREPARED FOR
NEW CENTURY ASSOCIATES
GROUP, L.P.
2000 COUNTY LINE ROAD
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE
MAY 24, 2022

DWG NO.
UP. MORL-1-4060

JOB NO.
26623

SHEET NO.
10 OF 10



June 30, 2022

File No. 22-06005

Paul Purtell, Code Enforcement Director
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

Reference: 2010 County Line Road
The Marketplace at Huntingdon Valley - Chipotle
Land Development Review 1

Dear Paul:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the submitted land development plans for the above-referenced project. Upon review, we offer the following comments for consideration by Upper Moreland Township.

I. Submission

- A. Marketplace Site Plan prepared by Charles E. Shoemaker, Inc., dated May 24, 2022, consisting of sheets 1 to 10 of 10.
- B. Stormwater Management Narrative, prepared by Charles E. Shoemaker, Inc., dated May 24, 2022.

II. General Information

The subject property is located at 2010 County Line Road within the Township's SC – Shopping Center Zoning District and contains 45 acres. The commercial property is mixed use and contains multiple retail stores, grocery store, movie theater, pharmacy, gym, gas station, and three restaurants. The Applicant is proposing to construct a 3,000 square-foot restaurant to replace the existing bank. Additional improvements include new pavement, curb, and landscaping. To handle runoff from the proposed improvements, the Applicant is proposing to install an underground seepage bed within the parking area.

III. Review Comments

A. Zoning Ordinance

We have identified no issues with the proposed plan with respect to the requirements and provisions of the current Upper Moreland Township Zoning Ordinance (Chapter 350).

B. Subdivision and Land Development Ordinance (SALDO)

We have identified the following issues with respect to the requirements and provisions of the current Upper Moreland Township Subdivision & Land Development Ordinance (Chapter 300):

1. §300-14.G – The Board of Commissioners (Board) may grant modification to the requirements of this ordinance provided the Applicant proves undue hardship. Any waivers should be formally requested from the Township unless the plans are revised to address all comments of this letter relative to the SALDO and Stormwater Ordinances. The Record Plan should list the waivers, applicable section numbers, and the date granted as applicable, including any conditions.

2. §300-17.H – No less than a five-foot radius of curvature should be provided for all curb lines in parking areas. The curb radii for the proposed parking area should be revised to meet the requirements of this section or a waiver requested.
3. §300-17.J – A detail should be provided for the proposed mill & overlay showing a tack coat being applied between the milled surface and new asphalt.
4. §300-18.A(3) – Additional spot elevations should be provided on the Grading Plan, Sheet 5, to show an accessible route from the proposed accessible parking spaces to the building entrance.
5. §300-19.A(7) – All curb should be installed with an 8-inch reveal. The plan proposes a 6-inch curb reveal. The plan should be revised to meet the requirements of this section, or a waiver requested.
6. §300-26 – The plans should be submitted to the Upper Moreland – Hatboro Joint Sewer Authority for review. Also, the required PA DEP Planning Module Application must be submitted to the Authority for review and signature if additional sewage flows are proposed as part of the project.
7. §300-27 – The plans should be submitted to Aqua PA for review and a copy of the agreement with Aqua PA provided upon receipt.
8. §300-29 – The plan proposes lighting within the parking area. A lighting plan should be added to the plan set showing the photometric levels of the proposed light, in addition to any proposed building wall-mounted lights to ensure adequate illumination levels within the pedestrian areas. Details for all proposed light fixtures, poles, and foundations should be added to the plan.
9. §300-32 – We defer to the Township's Fire Marshal for review and approval of the plans. Approval from the Fire Marshal is required prior to recording of the plan. A truck circulation plan should also be added to the plans to ensure emergency vehicles can safely navigate the revised parking layout.
10. §300-39 – We defer review of the plans with respect to the landscaping requirements of the Ordinance to McCloskey & Faber.
11. §300-52(C)(1) – The location of all existing and proposed utilities, sanitary sewers, and water lines within 400 feet of property lines should be added to the plans or a waiver requested.
12. §300-53.C – A note should be added within the List of Drawings on Sheet 1 stating the remaining plan sheets, which are not being recorded, on file at Upper Moreland Township, shall be considered part of the final record plan as if recorded with same.
13. §300-59 – The Applicant is required to post financial security to guarantee the construction of the proposed improvements. An Engineer's Opinion of Probable Cost should be submitted to our office for review and approval.
14. A Construction Sequence should be added to the Erosion Control Plan, Sheet 7.
15. A detail should be provided for the proposed trash enclosure clarifying the proposed screen fencing and cross-section of the concrete dumpster pad.
16. Sidewalks exist along the east side of the main entrance drive in the vicinity of the Dunkin Donuts but there would be no safe pedestrian access to the proposed Chipotle. The Applicant should discuss the prospect of and/or challenges to providing sidewalk access to the proposed restaurant.
17. The Applicant is responsible for all other required approvals, permits, etc. (i.e. MCPC, MCD, PADEP, PennDOT, Municipal Authority, Fire Marshal, etc.) Copies of these permits or approvals shall be forwarded to the Township.

C. Stormwater Management Ordinance

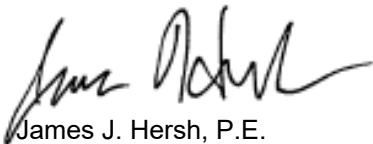
We have identified the following issues with the proposed plan with respect to the requirements and provisions of the current Upper Moreland Township Stormwater Management Ordinance (Chapter 287):

1. §287-18.K – Storage facilities should drain the volume control and rate control capacities over a period not less than 24 hours and not more than 72 hours. Dewatering calculations should be added to the Narrative to show compliance with the requirements of this section.
2. §287-18.W – We offer the following comments with respect to the proposed underground seepage bed:
 - a. The top of stone elevation should be added to the Seepage Bed Detail to determine the proposed cubic feet of volume provided by the BMP.
 - b. The plan should specify perforated pipe within the proposed BMP and solid pipe outside the proposed BMP.
 - c. Protective fencing should be proposed around the underground BMP to protect the area from compaction during construction.
3. §287-22.A – A minimum soil depth of 24 inches shall be provided between the bottom of the proposed BMP and any limiting zone. Infiltration Testing should be complete to ensure no limiting zones exist above the bottom of the BMP. The Report should be forwarded to our office for review and approval.
4. §287-23 – The provided Worksheet 4 should be revised to include the proposed BMP volume credit to confirm compliance with the requirements of this section.
5. §287-31 – The Record Plan should indicate the maintenance and ownership of the stormwater facilities will be the responsibility of the lot owner. The maintenance schedule and guidelines should be provided on the Utility Plan, Sheet 6. Lastly, a Stormwater Maintenance Agreement will be prepared by the Township Solicitor and executed prior to the plans being recorded.
6. §287-36 – The location of the proposed roof drains should be noted on the plan. We recommend the proposed drains be connected to the underground seepage bed, as opposed to discharging over pedestrian walkways. The pipe invert, size, material, slope, etc. should be noted on the plan.

In order to expedite the review process of the resubmission of the plan, the Applicant should submit a response letter which addresses each of the above comments. Changes that have been made to the application that are unrelated to the review comments should also be identified in the response letter. Additional review comments not referenced in this letter may be made upon review of the revised plan submission.

If you have any questions regarding the above, please contact this office.

Sincerely,



James J. Hersh, P.E.
Senior Project Manager
Gilmore & Associates, Inc.

JJH/dr/sl

cc: Mathew Candland, Township Manager
Sean Kilkenny, Esq., Township Solicitor
Kim Flanders, RLA, McCloskey & Faber, PC
Chad Dixon, P.E., McMahon & Associates
Chad Brensinger, P.E., Charles E. Shoemaker, Inc.
Brian Regli, New Century Associates Group, LP



McCloskey & Faber, P.C.

Landscape Architecture • Land Planning • Graphic Design

June 23, 2022

Mr. Paul E. Purtell
Director, Code Enforcement
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

Reference: First Landscape Plan Review for **Chipotle, 2010 County Line Road, The Marketplace at Huntingdon Valley**, Upper Moreland Township, Montgomery County, PA; M&F No. 215

Dear Mr. Purtell:

We are in receipt of an application and ten-sheet Land Development Plan submission dated May 24, 2022, and prepared by Charles E. Shoemaker, Inc. The drawings were received by our office on June 6, 2022. Existing site conditions were observed on June 7, 2022.

The applicant proposes to construct a Chipotle restaurant with associated parking within the existing parking lot (former Bank) at The Marketplace at Huntingdon Valley shopping center. The site is located in the SC Shopping Center District. We have the following comments and recommendations:

GENERAL REQUIREMENTS (Article 5, Section 300-40)

1. Landscape Plans shall be prepared sealed and signed by a Landscape Architect registered in the Commonwealth of Pennsylvania. (Section 300-40 C.) Due to the small size of this development, we are not opposed to a *waiver* of this requirement, if requested, and contingent on Applicant satisfactorily addressing the comments noted below.

LANDSCAPE PLAN REQUIREMENTS (Article 5, Section 300-42)

1. A Landscape Plan is required and was not included with the submission. (Section 300-41.) In addition to the proposed Landscape design, plan requirements are to include a plant schedule, notes, details, and specifications:
 - All plant materials shall be guaranteed by the developer for eighteen (18) months following final written approval by the Landscape Architect or Township engineer. (Section 300-40 G.) A note stating this is to be added to the plan.
 - The plant schedule is to be provided and to include minimum caliper and planting *height* and *spread* for trees and *height* and *spread* for shrubs at installation. (Section 300-42 K.)

McCloskey & Faber, P.C.

Mr. Paul Purtell, Director, Code Enforcement

2010 County Line Road - Chipotle

June 23, 2022

Page 2

- The plant schedule is to indicate Native species plant material intended to satisfy minimum native species requirements. (Section 300-42 K. and Table 3)
 - Planting Details and Specifications are to be added to the plan. (Sections 300-42. M., and P.)
 - Tree stakes are to be installed for a period of twelve months and are to be removed prior to the End of Guarantee. A note is to be added to the plan. (Section 300-42 M.)
2. A detailed landscape cost estimate is to be included with the final landscape plan submission for determination of the escrow fund. The estimate is to include the guarantee as well as the labor, material, installation and maintenance cost. (Section 300-42 Q.) Estimate is to identify Shade tree caliper size and minimum height for Ornamental trees, Evergreen trees, and shrubs at the time of planting that meet or exceed minimum required sizes. It is to be sent to the Township Engineer with a copy to this office.
 3. It appears that the proposed Security Fences, understood to be temporary during construction, to surround the development area will satisfy the requirements for protection of existing trees to remain adjacent to the proposed construction. (Section 300-42 R.)
 4. Except for one existing tree not shown near the driveway, it appears that the information provided on the Demolition Plan (Sheet 4 of 10) meets the requirement of Section 300-42 H. that all trees with trunks eight (8) inch in caliper or greater are to be shown on the plan. The plans are to be revised to indicate this missing tree.

PLANTING REQUIREMENTS (Article 5, Section 300-43)

A. Street Trees (Section 300-43, A.)

1. The street tree requirement will be met by the preservation of existing trees. (Section 300-43, A.)

B. Screen Buffer (Section 300-43, C.)

1. Construction details are to be provided for the screening fence associated with the proposed trash enclosure. (Section 300-43 C. (2) (b))

C. Parking Area Landscaping (Section 300-43, D.), Individual Lot Landscaping (Section 300-43, G.) and Additional landscaping for shopping centers (Section 300-43, E.)

1. It is assumed that the existing landscaping to be removed are plantings that were required trees per previous development of this site. As such, the equivalent amount of plantings removed should be replaced.

McCloskey & Faber, P.C.

Mr. Paul Purtell, Director, Code Enforcement

2010 County Line Road - Chipotle

June 23, 2022

Page 3

2. Planting end islands are to be a minimum of 15 feet wide and 20 feet long. A minimum of one single trunked shade tree is to be placed in each island. (Section 300-43 D. (1) (d)) Six (6) foot end islands are proposed. Therefore, it appears that a ***waiver*** from these requirements will be necessary.

REPLACING TREES DESTROYED BY DEVELOPMENT (Article 5, Section 300-45)

1. Trees proposed to be removed are assumed to be Parking Lot landscaping and Individual Lot Landscaping that were required trees per the previous development of this site. As such, as noted above, we recommend that the Applicant, at a minimum, be required to replace the quantity of trees removed. If this approach is taken, we would not be opposed to a ***waiver*** of replacement tree requirements.

The above Landscape Plan review is based on our review of the drawings submitted. It is recommended that the Applicant and their Landscape consultant review and address the recommendations listed in this letter. Further comments may be forthcoming following our review of the revised drawings addressing the above comments.

We trust that this landscape plan review letter responds to your request and satisfactorily addresses the landscape ordinance requirements that are apparent to us at this time. If you or the Township have any questions, or require clarification, please contact me.

Very truly yours,



Kimberli J. Flanders, R.L.A.

Assistant to Township Landscape Architect

cc: Matt Candland, Township Manager, Upper Moreland Township (email)
David Elsier – Upper Moreland Township (email)
Jim Hersh, P.E. – Township Engineer (email)
Sean Kilkenny, Esq. and Alex Baumlér – Township Solicitor (email)
Gary Tilford, Project Surveyor (email)
Chad Brensinger, Project Engineer (email)
Brian Regli, Managing Partner, New Century Associates (email)
James R. Faber, ASLA, Township Landscape Architect (email)



June 29, 2022

Mr. Paul Purtell
Director of Code Enforcement
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

RE: **Traffic Review #1 – Land Development Plans**

The Marketplace at Huntingdon Valley Shopping Center Modifications – Proposed Chipotle
Upper Moreland Township, Montgomery County, PA
McMahon Project No. 822595.11

Dear Paul:

Per the request of the Township, McMahon Associates, Inc. (McMahon) has prepared this letter that summarizes our initial traffic engineering review of the proposed modifications to the Marketplace at Huntingdon Valley Shopping Center in Upper Moreland Township, Montgomery County, PA. Based on our review of the plans submitted for review, the proposed modifications will consist of converting the existing 2,700 square-foot bank with drive-thru lane, which is currently vacant, into a 2,700 square-foot Chipotle restaurant with drive-thru lane. Access to the site will continue to be provided via the existing accesses along County Line Road (S.R. 2038), Davisville Road (S.R. 2042), and Shoemaker Road.

The following document was reviewed and/or referenced in preparation of our traffic review:

1. Land Development Plans for The Marketplace at Huntingdon Valley - Chipotle, prepared by Charles E. Shoemaker, Inc., dated May 24, 2022.

Based on our review of the document listed above, McMahon offers the following comments for consideration by the Township and action by the applicant:

1. According to **Section 300-17.H** of the **Subdivision and Land Development Ordinance**, no less than a five-foot curb radius shall be permitted in parking areas. It appears as though some of the curb radii located in the parking area adjacent to the proposed Chipotle are less than five feet, thereby not satisfying the ordinance requirement.
2. The plans should be revised show a minimum of three ADA parking spaces in the immediate vicinity of the proposed Chipotle.
3. It is imperative that the drive-thru not impact on-site traffic operations. A narrative should be provided by the applicant on how the drive-thru service is to be operated, and if it is a pick-up drive-thru only for online orders placed before entering the property or if there is an intent to allow for drive-thru orders to be placed on the property/in the drive-thru lane. There would be a

significant difference in the drive-thru wait times for vehicles, and this should be clarified. In addition, the applicant must provide details on how Chipotle will address the drive-thru window queue should the success of the restaurant cause the drive-thru window queue to impact traffic operations on-site.

4. We recommend that a condition be placed on any approval of the project that the property owner will be responsible to remedy any traffic circulation and queuing operational problems that impact on-site traffic safety and efficiency.
5. Turning templates should be provided with future plan submissions demonstrating the ability of emergency vehicles, trash trucks, and the largest expected delivery vehicle to maneuver through the modified site area to ensure there are no geometric conflicts. Also, turning templates should be provided demonstrating the ability of a large SUV to maneuver entirely through the proposed drive-thru lane.
6. The Township Fire Marshal should review the emergency vehicle turning templates for accessibility and circulation needs of emergency apparatus. Ensure that any correspondence, including any review comments and/or approvals, is included in subsequent submissions.
7. The applicant should provide details on when deliveries will occur for the proposed Chipotle. Due to the smaller size of the area in the immediate vicinity of the proposed Chipotle and the potential of delivery vehicles to interfere with vehicles on-site, it is recommended that the applicant limit these services to outside normal operating hours.
8. Safe pedestrian access to the Chipotle should be evaluated by the applicant. , Potential pedestrian access options may include connecting to the existing sidewalk along the west side of the County Line Road (S.R. 2038) driveway or adding a sidewalk connection from County Line Road (S.R. 2038) directly to the Chipotle site either from the northeast corner of the intersection with Davisville Road (S.R. 2042) or along the east side of the County Line Road (S.R. 2038) driveway adjacent to the Chipotle site.
9. Review of the on-site ADA ramps has not been completed by our office, but these ramps must be designed by the applicant's engineers to comply with Federal/PennDOT design standards for ADA facilities.
10. The length of the pick-up/stand-by parking spaces located to the north of the proposed Chipotle should be labeled on the plans.
11. A "Stop" sign and stop bar should be shown on the plans on the driveway approach from the parking area to the east of the proposed Chipotle at its intersection with the drive aisle leading to the drive-thru lane.
12. "One-way" signs should be shown on the plans at the beginning of the drive-thru lane, as well as at the beginning of the one-way drive aisle to the east of the proposed Chipotle building.

13. The proposed development will be subject to the Township's Transportation Impact Fee of \$1,904 per "new" afternoon peak hour trip in accordance with the Township's *Transportation Impact Fee Ordinance*. The existing 2,700 square-foot bank with drive-thru would be expected to generate 37 "new" trips during the weekday afternoon peak hour. Since the drive-thru window feature for the proposed Chipotle is a relatively new concept for these types of restaurants, the estimated trip generation for that portion of the building was calculated using Land Use Code 934 (Fast Food Restaurant with Drive-Through Window) in ITE's publication, *Trip Generation Manual, 11th Edition*. The proposed 2,700 square-foot Chipotle will generate approximately 40 "new" trips during the weekday afternoon peak hour. Therefore, the proposed Chipotle is expected to generate an additional 3 "new" trips during the weekday afternoon peak hour over what the existing bank with drive-thru would generate, resulting in a transportation impact fee of \$5,712.
14. A PennDOT Highway Occupancy Permit is required for any modifications located within the right-of-way of County Line Road and Davisville Road, since County Line Road (S.R. 2038) and Davisville Road (S.R. 2042) are State Roadways. If the applicant pursues any work within the legal PennDOT right of way, the Township and our office must be copied on all correspondence and submissions to PennDOT, as well as invited to any meetings between the applicant and PennDOT.
15. A response letter must accompany the resubmission of the waiver of land development plans that addresses how each comment has been addressed and satisfied, and where each may be found in the materials being submitted.

We trust that this review letter responds to your request and satisfactorily addresses the traffic issues that are related to the proposed development apparent to us at this time. If you or the Township have any questions, or require clarification, please contact me.

Sincerely,



Chad Dixon, AICP, PP
Senior Project Manager

CED/BMJ

cc: Matthew Candland, Upper Moreland Township Manager
Jim Hersh, P.E., Gilmore & Associates

I:\eng\UPPERMO1\822595 - Chipotle\Project Management\Submissions\2022-06-01 LD Plans\Review\2022-06-29 Review Letter #1 - Chipotle (draft).docx

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

VALERIE A. ARKOOSH, MD, MPH, CHAIR
KENNETH E. LAWRENCE, JR., VICE CHAIR
JOSEPH C. GALE, COMMISSIONER



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY COURTHOUSE • PO Box 311
NORRISTOWN, PA 19404-0311
610-278-3722 • FAX: 610-278-3941
WWW.MONTCOPA.ORG

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

June 15, 2022

Mr. Paul Purtell, Director, Code Enforcement
Upper Moreland Township
117 Park Avenue
Willow Grove, Pennsylvania 19090-3215

Re: MCPC # 22-0152-001
Plan Name: Chipotle – The Marketplace
(1 lot comprising approximately 50 acres, impacting 0.05 acre)
Situate: County Line Road (cross street: Davisville Road)
Upper Moreland Township

Dear Mr. Purtell:

We have reviewed the above-referenced land development in accordance with Section 609 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on June 1, 2022. We forward this letter as a report of our review.

BACKGROUND

The applicant, New Century Associates, is proposing to redevelop an existing one-story building at the Huntingdon Valley Marketplace Shopping Center as a Chipotle restaurant. The site consists of an existing building, parking area with space for 28 cars, and a drive through facility. The proposal would demolish the existing parking area, parking lot islands, and drive through lanes associated with the existing building to construct a new parking area configuration, increasing the number of parking spaces to 32 spaces. In addition, an outdoor dining area is proposed. The site is located in the SC-Shopping Center Zoning District.

COMPREHENSIVE PLAN COMPLIANCE

MONTCO 2040 – The proposal is generally consistent with the county's comprehensive plan, *MONTCO 2040: A Shared Vision*, which shows the proposed area as "Community Mixed Use and Services Area". Community Mixed Use areas are designed to serve as local destinations for retail and services.

Upper Moreland 2040 Comprehensive Plan – The property is located in the Shopping Center future land use area. The comprehensive plan states that older shopping centers today represent extensive redevelopment opportunities. There should be an increased focus on creating lifestyle centers and enhanced building, site, and landscape design that attracts people for a variety of activities.



RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal and commends the applicant on the reuse of an existing building, which we encourage as a sustainable development practice. However, in the course of our review we have identified the following issues that the applicant and township may wish to consider prior to final plan approval. Our comments are as follows:

REVIEW COMMENTS

LANDSCAPING

A landscape plan was not submitted for the county to review; however, we wish to provide feedback on the proposed development's impact on shade tree coverage.

- A. Shade Trees. The proposed reconfiguration of the parking lot includes a 5-foot wide strip that would be located between the driveways and the parking area. Based on the plans provided, it appears that three trees would be removed during the redevelopment of the parking lot area.

Parking area landscaped islands are required in every 20 parking spaces in shopping centers and every 12 parking spaces for commercial uses (§ 300-43.D(2)). While the parking area that is associated with the proposed Chipotle would not be large enough to require a parking lot landscaped island, we nevertheless encourage the applicant and township to consider the importance of shade trees in parking areas. Trees provide shade for comfort and help to reduce the island effect that is produced by large paved areas, such as shopping center parking lots.

We recommend the applicant plant trees in the proposed 5-foot wide strips that would separate the driveways from the parking area. Specifically, we suggest that the applicant plant trees that work well in a constricted areas and have a somewhat upright branching habit. The following are two cultivars that we suggest would be appropriate for this area:

1. Zelkova serrata "Village Green" – Village Green Zelkova
2. Quercus phellos "QPSTA" – Hightower Willow Oak

VEHICULAR CIRCULATION

The applicant is proposing six pick-up stand-by parking spaces that would be located along the drive-through aisles. Would these spaces be intended for parallel parking, or would there be some sort of indicator for the people using those parking spaces to move forward sequentially? If they are meant to be used as parallel parking spaces, we recommend that the spaces be at least 22-feet long to ensure safe entry into the drive aisle.

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal but we believe that our suggested revisions will better achieve Upper Moreland's planning objectives for commercial development in shopping centers.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number (22-0152-001) on any plans submitted for final recording.

Sincerely,



Claire Warner, Community Planner II
cwarner@montcopa.org – 610-278-3755

c: Brian Regli, Applicant's Representative - bregli@Myrevere.com
Gerald Foley, Chair, Township Advisory Planning Agency
Matt Candland, Manager, Upper Moreland Township

Attachment A: Aerial Image of Site

Attachment B: Reduced Copy of Applicant's Proposed Site Plan

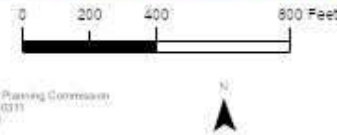
Attachment C: Reduced Copy of Applicant's Proposed Layout Plan

ATTACHMENTS A, B & C



Chipotle-The Marketplace
MCPC#220152001

Montgomery
County
Planning
Commission
Montgomery County Courthouse - Planning Commission
901 Box 311 Norristown PA 19380-0311
(610) 278-3723 (T) 610-278-3441
www.montgomeryplanning.com
Aerial photography provided by GeoEye







**Upper Moreland Township
Transportation Capital Improvements Prioritization
2022 Update**

2020 Prioritization List

1) Blair Mill Road (S.R. 2026) at Easton Road (S.R. 0611)

- Widening to extend the existing right turn lane on northbound Blair Mill Road to Gibraltar Road.
- Construction funding awarded by DCED MTF Grant

2) Maryland Road and Commerce Road.

- Improvements include the addition of a SB through lane on Commerce Road and an EB through lane on the Maryland Road departure to connect to the two through lanes along Maryland Road.
- Construction funding awarded by Montgomery County CTP Grant

3) Warminster Road Sidewalk

- Installation of sidewalk along south side of Warminster Road from Greenbelt Road to Mill Road.
- Construction funding provided by Montgomery County 2040 Grant

4) Computer Road Sidewalk.

- Installation of sidewalk along Computer Road from Maryland Road to Sam's Club driveway.
- Portions completed under development projects

5) Willow Grove Train Station Relocation.

- Improvements associated with the relocation of the Willow Grove Train Station, including access to Davisville Road, parking garage, etc.

6) Traffic Signal Upgrades

- Traffic signal equipment upgrades including battery back-up, emergency pre-emption, video detection, pedestrian signals, and pedestrian pushbuttons.
- Construction Funding awarded under Green Light Go Grant for four intersections along York Road.

**Upper Moreland Township
Transportation Capital Improvements Prioritization
2022 Update**

Potential Projects

- **Blair Mill Road (S.R. 2026) at Easton Road (S.R. 0611)** Widening on the north side of the intersection to provide two thru lanes in each direction.

***Recommendation:** Coordination with Horsham Township on Design and Potential Funding*

- **Terwood Road (S.R. 2033) and Edge Hill Road (S.R. 2044).** This is an intersection safety improvement which includes intersection realignment, reprofiling of Terwood Road, and installation of new traffic controls.

***Recommendation:** Finalize preliminary design and property owner coordination prior to submitting for grant. Potential Funding: PennDOT and DCED MTF, ARLE funding.*

- **County Line Road (S.R. 2038) and Blair Mill Road (S.R. 2026).** This is an intersection capacity improvement which includes the addition of a turn lane on Blair Mill Road and an eastbound right turn lane on County Line Road. It is anticipated that all improvements would be on the southwest corner (Hatboro LL).

***Recommendation:** Finalize conceptual design and estimate. Coordination with Horsham Township and Hatboro Borough. Potential Funding: PennDOT and DCED MTF.*

- **Easton Road (S.R. 0611) and Mill Road (S.R. 2026).** With the completion of the Turnpike improvements, intersection capacity improvements are possible to add double left turns from Mill Road onto southbound Easton Road. Also, possible right turn only restrictions for Sycamore Avenue per Route 611 Corridor Study.

***Recommendation:** Develop conceptual design and estimate.*

- **Warminster Road Sidewalk.** Installation of sidewalk from Surrey Lane to Byberry Road

***Recommendation:** Develop preliminary design plans to determine property impact.*

- **York Road School Zone.** Investigate to shorten school zone. Possible options include installation of sidewalk along west side of York from Fairhill to Brooks, road diet for York Road to reduce from 4-lane to 3-lane section.

**Upper Moreland Township
Transportation Capital Improvements Prioritization
2022 Update**

- **York Road (S.R. 00263) and Warmister Road\Mill Road (S.R. 2026).** Widening for two eastbound through lanes and northbound right turn lane. Existing creek may limit feasibility.

Potential Projects

- **Traffic Signal Upgrades.** Traffic signal equipment upgrades including battery back-up, emergency pre-emption, video detection, pedestrian signals, and pedestrian pushbuttons. Below are some suggested locations:
 1. Easton Road corridor – continue video detection replacement. Replace controller Units and connect to PennDOT Traffic Management Center
 2. Signalized Intersection upgrades – video detection, battery back-up, pedestrian enhancements.
- **Easton Road (S.R. 0611) Adaptive Signal System.** Traffic signal improvement project to install adaptive traffic signal technology at seven (7) traffic signals along Easton Road from Fitzwatertown Road to Blair Mill Road.
 1. Corridor is a Congested Corridor as identified by DVRPC
 2. Improvements may include selective equipment upgrades, video detection, and adaptive traffic signal technology.

Upper Moreland Township

Transportation Capital Improvements Prioritization

PREPARED BY



July 18, 2022

Transportation Solutions Building Better Communities



TRANSPORTATION CAPITAL IMPROVEMENTS - 2022 UPDATE

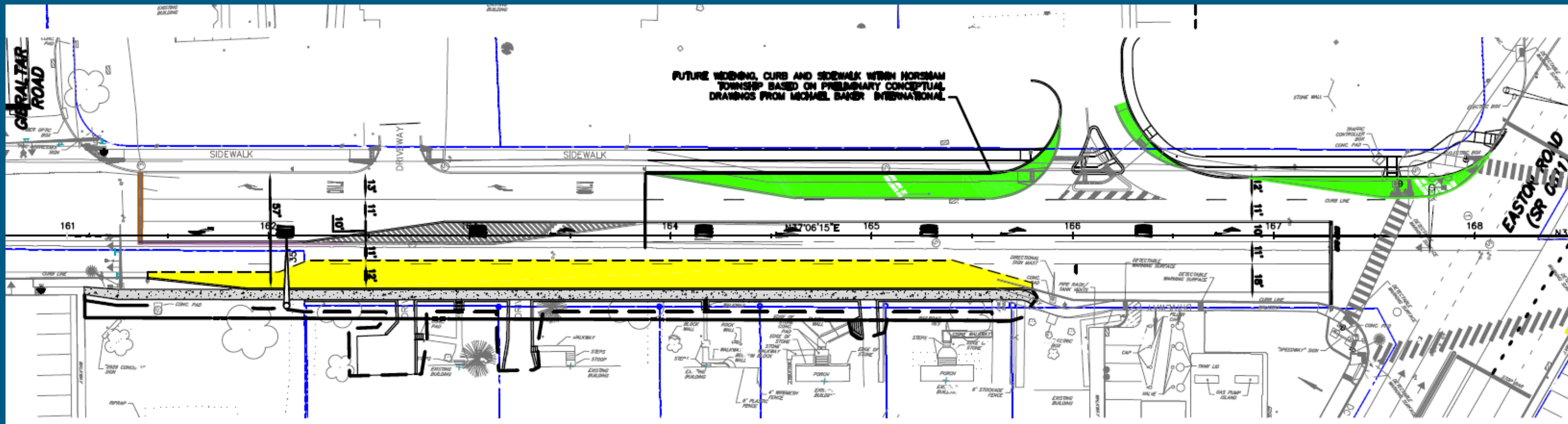
- Review of 2020 Priority List Projects
- Project Considerations for 2022 Update



2020 PRIORITY LIST

1) Blair Mill Road (S.R. 2026) at Easton Road (S.R. 0611)

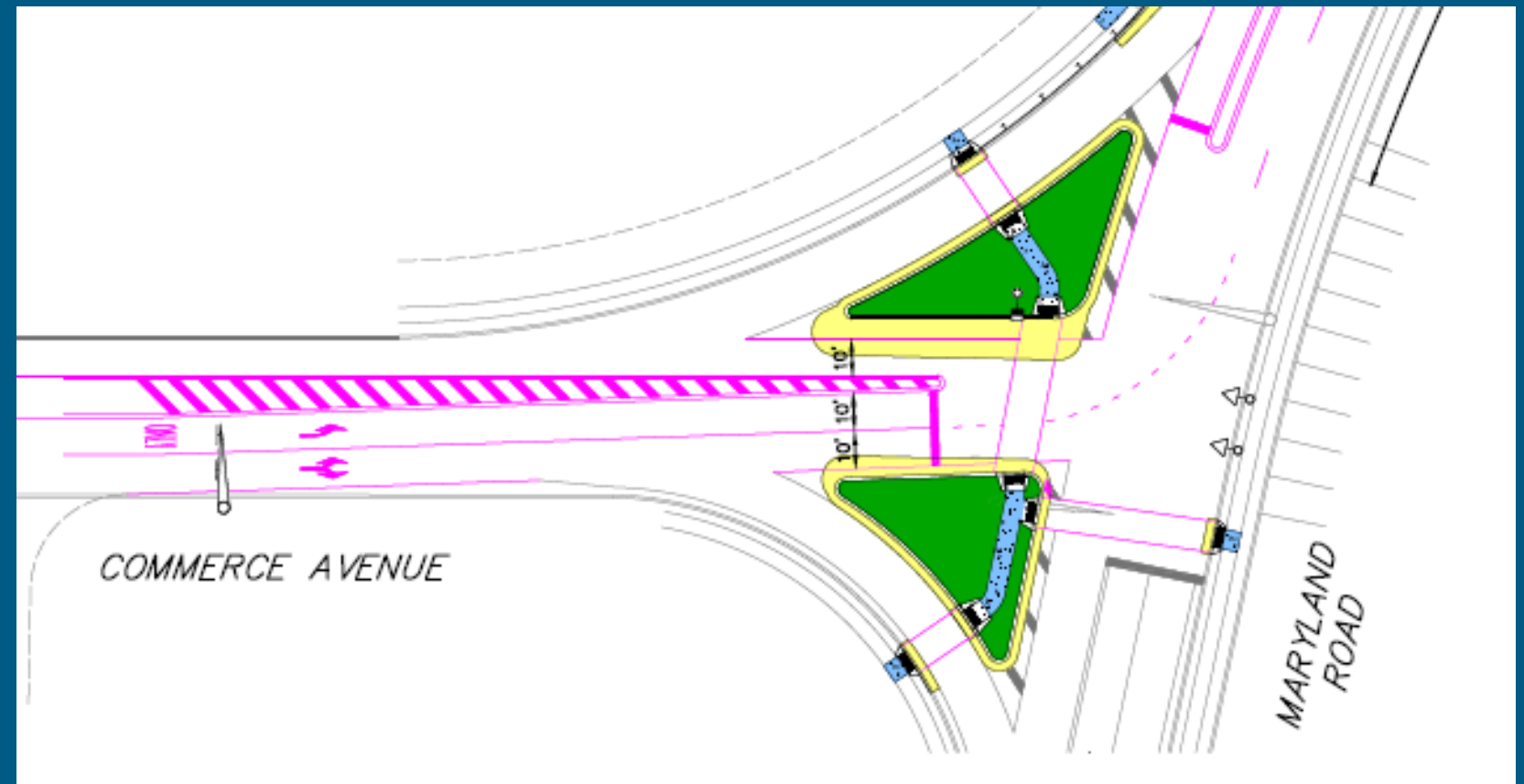
- Widening to extend the existing right turn lane on northbound Blair Mill Road to Gibraltar Road.
- Construction funding awarded by DCED MTF Grant



2020 PRIORITY LIST

2) Maryland Road and Commerce Road.

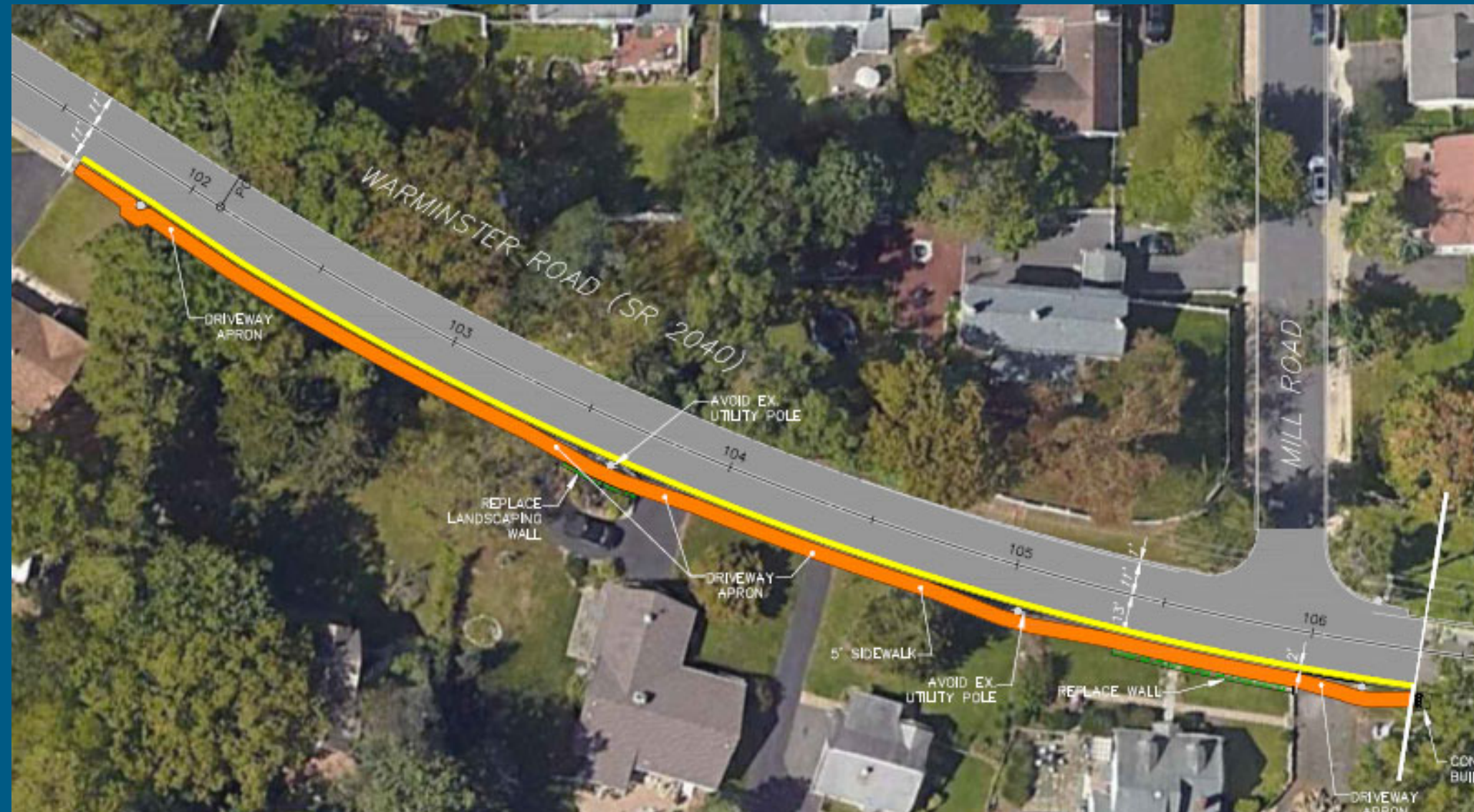
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- Construction funding awarded by Montgomery County CTP Grant



2020 PRIORITY LIST

3) Warminster Road Sidewalk

- Installation of sidewalk along south side of Warminster Road from Greenbelt Road to Mill Road.
- Construction funding provided by Montgomery County 2040 Grant



2020 PRIORITY LIST

4) Computer Road Sidewalk.

- Installation of sidewalk along Computer Road from Maryland Road to Sam's Club driveway.
- Portions completed under development projects

5) Willow Grove Train Station Relocation.

- Improvements associated with the relocation of the Willow Grove Train Station, including access to Davisville Road, parking garage, etc.

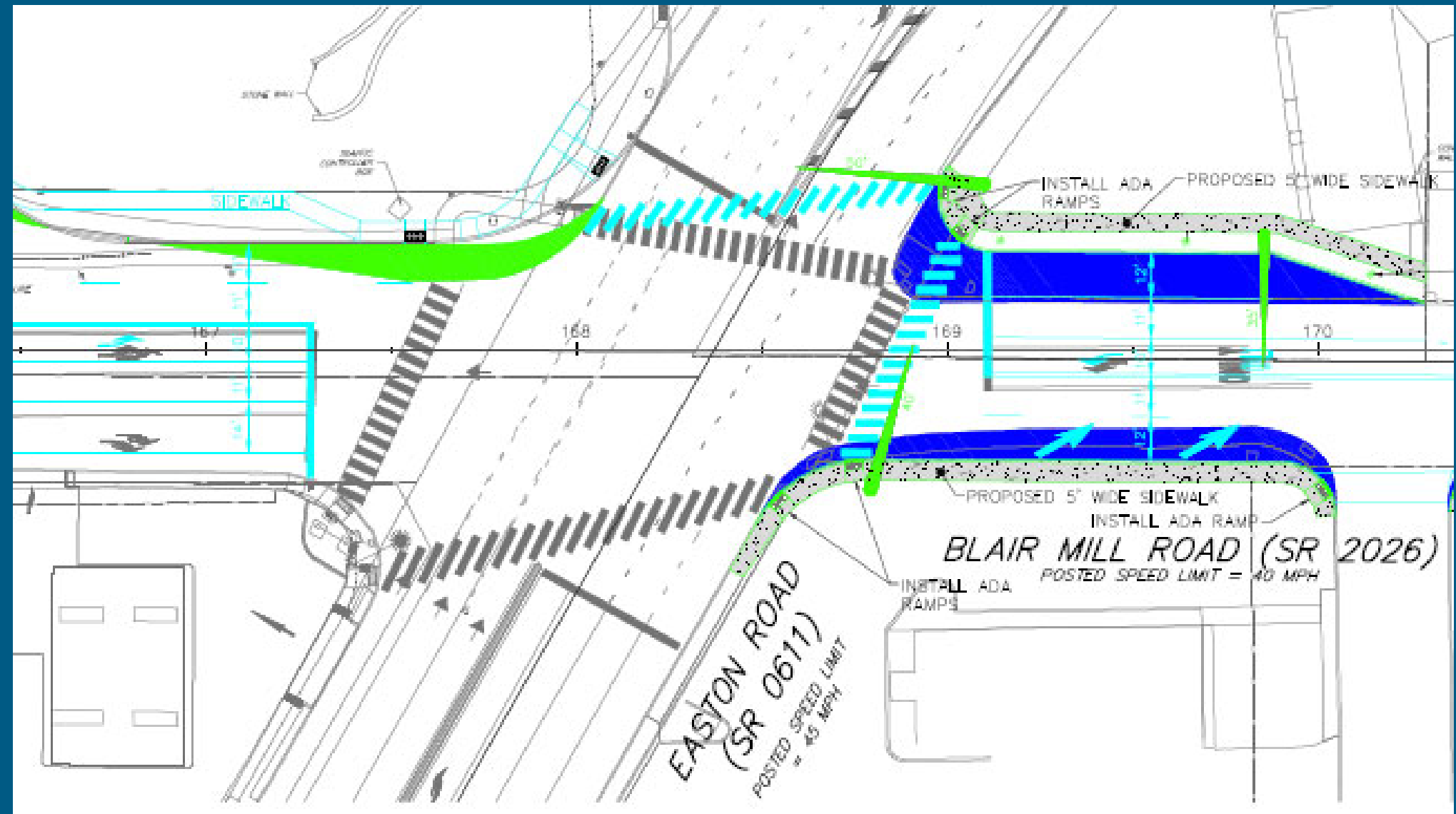
6) Traffic Signal Upgrades

- Traffic signal equipment upgrades including battery back-up, emergency pre-emption, video detection, pedestrian signals, and pedestrian pushbuttons.
- Construction Funding awarded under Green Light Go Grant for four intersections along York Road.

PROJECT CONSIDERATIONS

Blair Mill Road and Easton Road

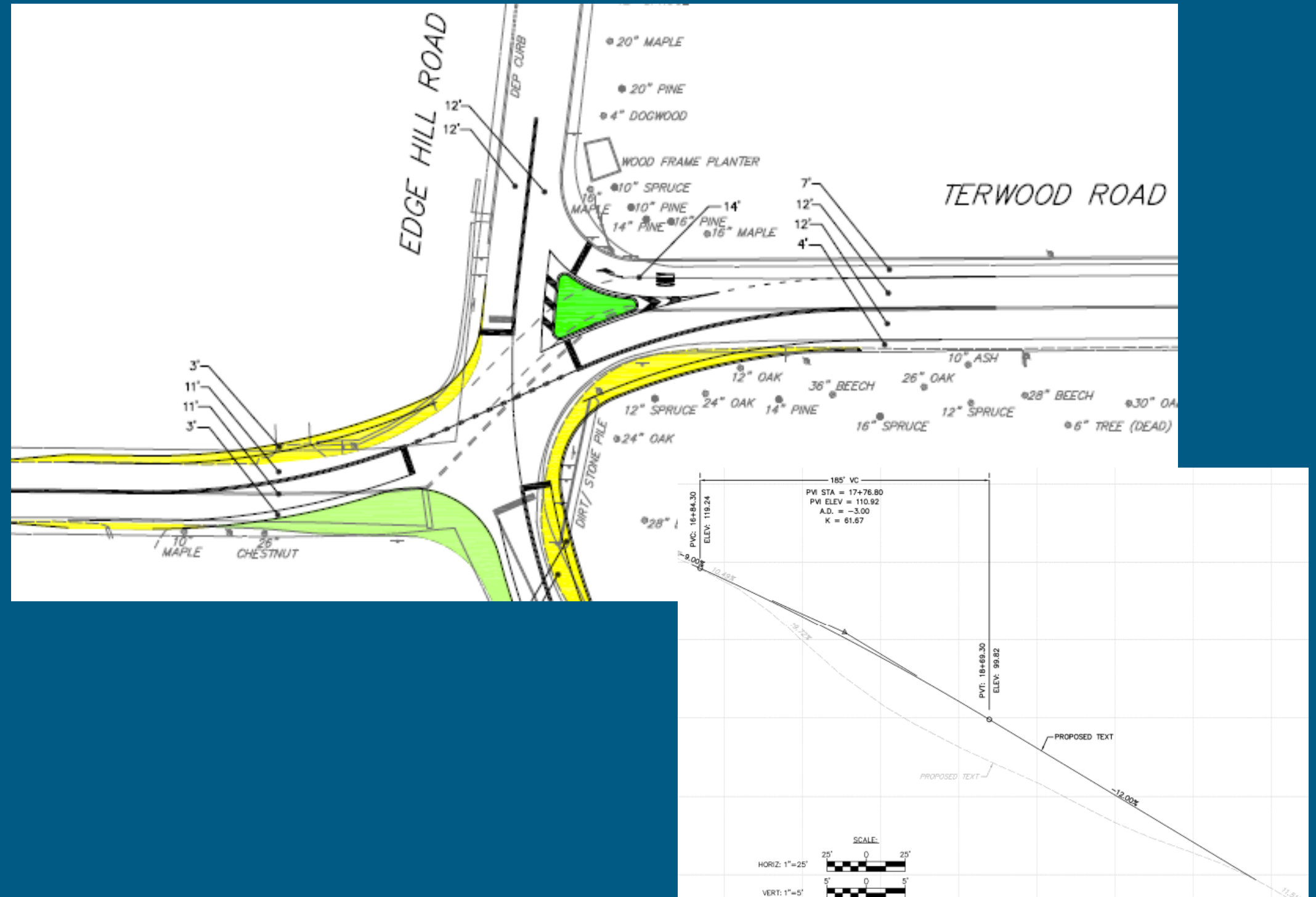
- Widening on the north side of the intersection to provide two thru lanes in each direction.
- Coordination with Horsham Township



PROJECT CONSIDERATIONS

Edge Hill Road and Terwood Road

- Intersection realignment
- Road Reprofilng
- Install New Traffic Controls



PROJECT CONSIDERATIONS

County Line Road and Blair Mill Road

- Install right turn lane on Blair Mill Road
- Install EB right turn lane on County Line Road
- Coordination with Horsham Township, Hatboro Borough, Hatboro LL



PROJECT CONSIDERATIONS

Warminster Road Sidewalk – Install sidewalk from Surrey Lane to Byberry Road

Easton Road and Mill Road\Sycamore Avenue – Install double left turns on Mill Road with completion of Willow Grove Interchange project

Old York Road – Reduce school zone length, Install sidewalk from Fairhill to Brooks, Road Diet for York Road

York Road and Warminster Road\Mill Road – Install additional EB thru lane and NB right turn lane.

TRAFFIC SIGNAL PROJECTS

- List of Upgrades identified for existing traffic signals
- Upgrades to Address
 - Replacement of equipment at end of life
 - Equipment consistency in the Township
 - Non-Invasive detection technology
 - Pedestrian upgrades
- Easton Road controller communication updates to connect to PennDOT TMC



FUNDING\COMPETITIVE GRANTS

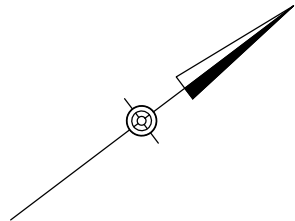
- Tips for Success - Plan Ahead
- Document and focus on your priorities
 - Plans/Studies
- Identify what you want to do
 - Concept Plans\Preliminary Design
 - Consider project phasing
- Identify how much money you need
 - Cost estimates
- Develop a funding strategy
 - Identify potential grant pursuits
 - Budget matching funds
- Identify partners and supporters



DISCUSSION \ QUESTIONS

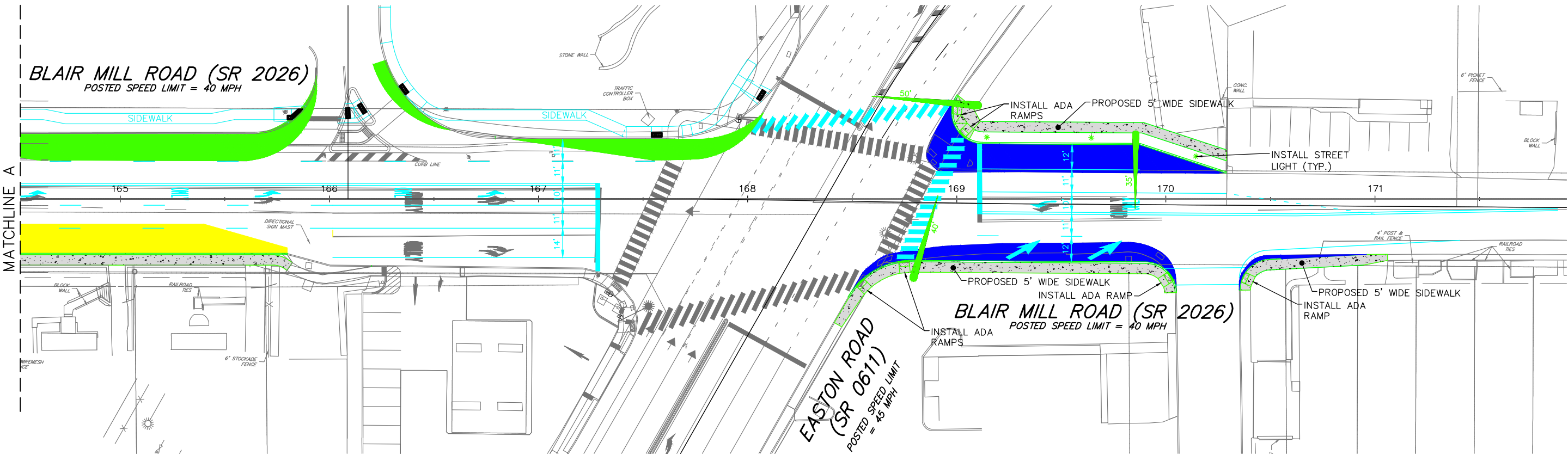
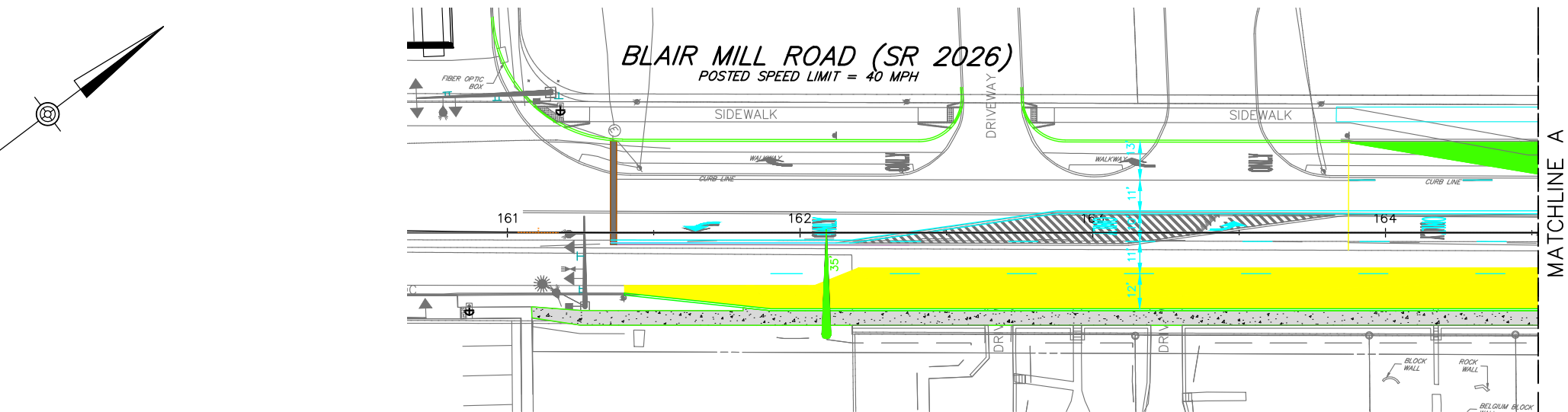
THANK YOU





DISTRICT	COUNTY	ROUTE	SECTION	SHEET	
6-0	MONTGOMERY	2026	—	1 OF 1	
REVISION NUMBER	REVISIONS			DATE	BY

WIDENING ALONG BLAIR MILL ROAD



LEGEND

	PROPOSED BITUMINOUS PAVEMENT WIDENING - UPPER MORELAND PROJECT - PHASE 1
	PROPOSED BITUMINOUS PAVEMENT WIDENING - UPPER MORELAND PROJECT - PHASE 2
	PROPOSED BITUMINOUS PAVEMENT WIDENING - HORSHAM PROJECT
	PROPOSED SIDEWALK
	PROPOSED LEGAL RIGHT-OF-WAY LINE
	PROPOSED LIMIT OF DISTURBANCE

- NOTES:
- THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY.
 - THE POSTED SPEED LIMIT ALONG SR 2026 IS 40 MPH.
 - BASE DRAWING TOPOGRAPHIC SURVEY WAS TAKEN FROM SURVEY DRAWINGS PROVIDED BY MICHAEL BAKER INTERNATIONAL AND SIGNAL PERMIT PLANS PREPARED BY TRAFFIC PLANNING AND DESIGN, INC. FUTURE WIDENING, CURB AND SIDEWALK WITHIN HORSHAM TOWNSHIP WERE TAKEN FROM A PRELIMINARY DRAWING PREPARED BY MICHAEL BAKER INTERNATIONAL.



425 COMMERCE DRIVE
SUITE 200
FT. WASHINGTON, PA 19034
TELE: (215) 283-9444
FAX: (215) 283-9447

835 SPRINGDALE DRIVE
SUITE 200
EXTON, PA 19341
TELE: (610) 594-9995
FAX: (610) 594-9565

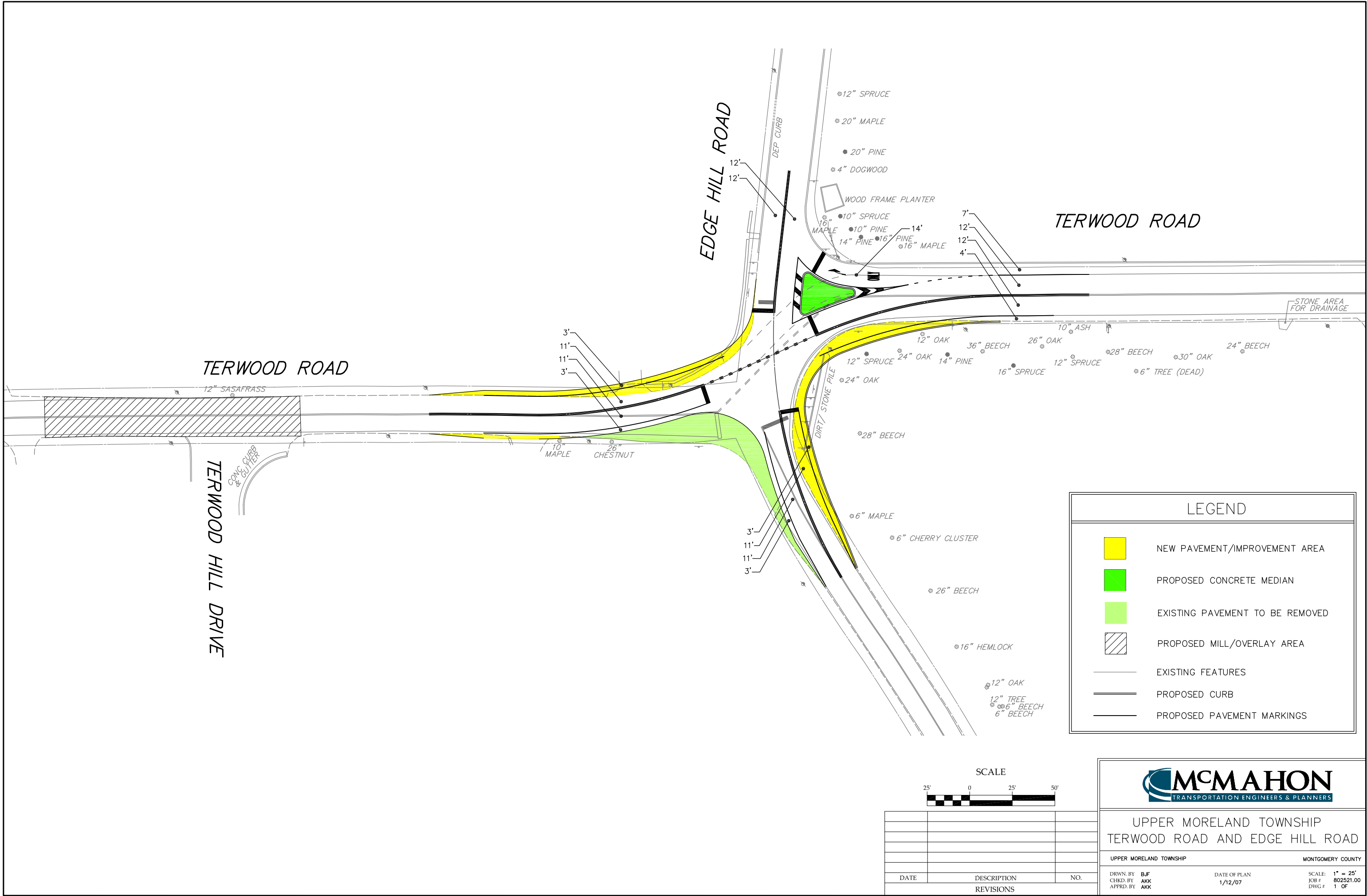
415 FALLOWFIELD ROAD
SUITE 301
CAMP HILL, PA 17011
TELE: (717) 975-0295
FAX: (717) 975-0294

DESIGN BY: AKK
DRAWN BY: EJR
CHECKED BY: AKK

JOB NO: 818821.2A
DWG: 821CPT01
DATE: 7/13/2020

UPPER MORELAND TOWNSHIP
117 PARK AVENUE
WILLOW GROVE, PA 19090
(215) 659-3100

BLAIR MILL ROAD WIDENING
BLAIR MILL ROAD (SR 2026) BETWEEN GIBRALTAR ROAD
AND PARKSIDE AVENUE
UPPER MORELAND TOWNSHIP MONTGOMERY COUNTY



LEGEND

NEW PAVEMENT/IMPROVEMENT AREA

PROPOSED CONCRETE MEDIAN

EXISTING PAVEMENT TO BE REMOVED

PROPOSED MILL/OVERLAY AREA


EXISTING FEATURES

PROPOSED CURB

PROPOSED PAVEMENT MARKINGS



DATE	DESCRIPTION	NO.
REVISIONS		



TRANSPORTATION ENGINEERS & PLANNERS

UPPER MORELAND TOWNSHIP
TERWOOD ROAD AND EDGE HILL ROAD

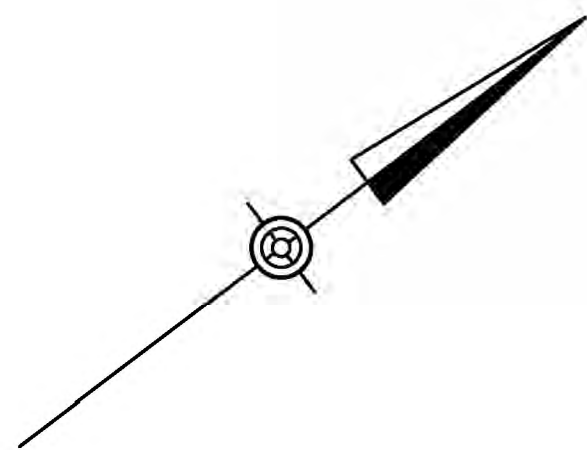
UPPER MORELAND TOWNSHIP

MONTGOMERY COUNTY

DRWN. BY: BJF
CHKD. BY: AKK
APPRD. BY: AKK

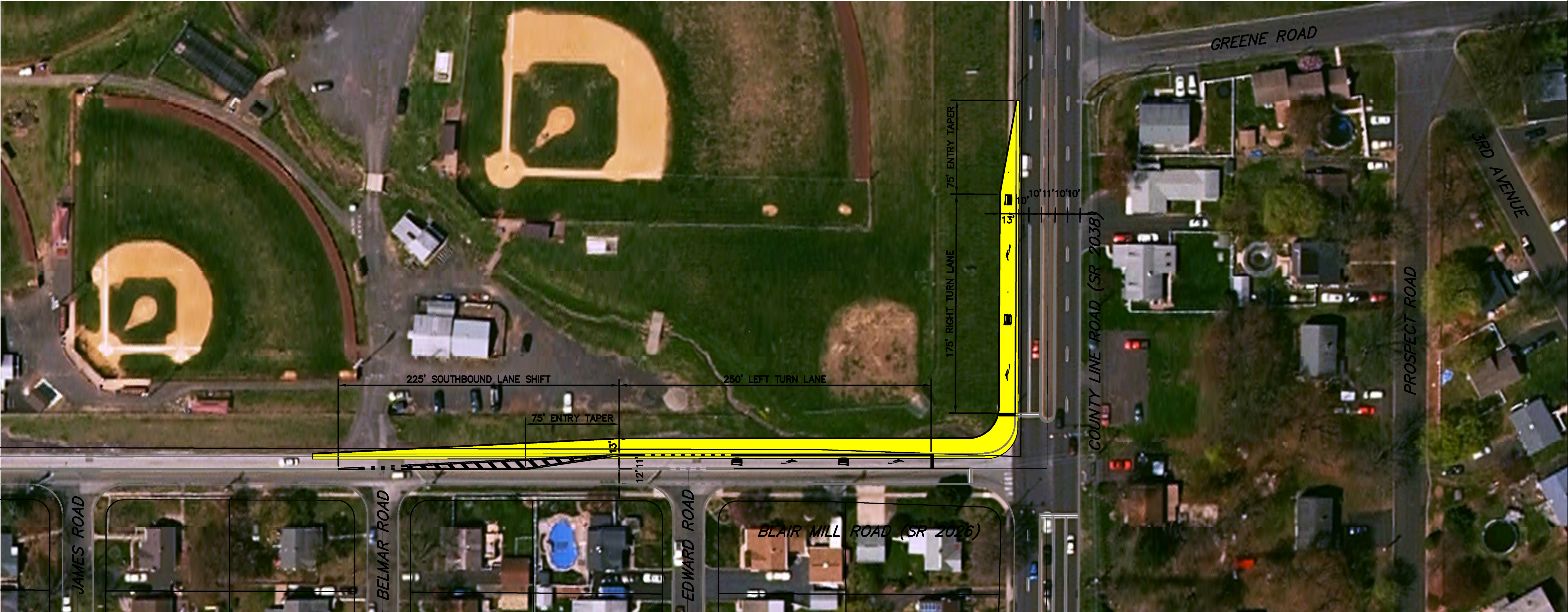
DATE OF PLAN: 1/12/07

SCALE: 1" = 25'
JOB #: 802521.00
DWG #: 1 OF 1



DISTRICT	COUNTY	ROUTE	SECTION	SHEET	
6—0	MONTGOMERY	2026	—	1 OF 1	
REVISION NUMBER	REVISIONS			DATE	BY

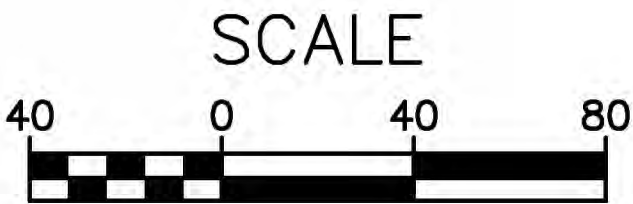
ROADWAY WIDENING TO CONSTRUCT
LEFT TURN LANE ALONG NORTHBOUND BLAIR MILL ROAD (SR 2026)
AND RIGHT TURN LANE ALONG EASTBOUND COUNTY LINE ROAD (SR 2038)



LEGEND	
	PROPOSED BITUMINOUS PAVEMENT WIDENING/REPLACEMENT
	PROPOSED SIDEWALK
	PROPOSED LEGAL RIGHT-OF-WAY LINE

IMPACT SUMMARY
<ul style="list-style-type: none">• 840 LF (1240 SY) OF FULL-DEPTH PAVEMENT• X,XXX SF (X.XX AC.) OF REQUIRED RIGHT OF WAY• X,XXX SF (X.XX AC.) OF TEMPORARY CONSTRUCTION EASEMENT• CONSTRUCTION OF 2 ACCESSIBLE CURB RAMPS• RECONSTRUCTION OF 4 ACCESSIBLE CURB RAMPS• XXX LF (XXX SY) OF CONCRETE SIDEWALK• XXX LF OF STREAM REALIGNMENT• STORMWATER MANAGEMENT FACILITY CONSTRUCTION

- NOTES:**
1. THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY.
 2. THE POSTED SPEED LIMIT ALONG BLAIR MILL ROAD (SR 2026) IS 35 MPH.
 2. THE POSTED SPEED LIMIT ALONG COUNTY LINE ROAD (SR 2038) IS 45 MPH.
 3. AERIAL PHOTOGRAPHY IS FROM DELAWARE VALLEY REGIONAL PLANNING COMMISSION IMAGERY DATED 2015.
 4. TOPOGRAPHIC INFORMATION IS BASED ON AERIAL PHOTOGRAPHY.
 5. PROPERTY LINES ARE BASED ON MONTGOMERY COUNTY PARCEL DATA DATED APRIL 29, 2019.
 6. PROPERTY LINES WITHIN BUCKS COUNTY ARE NOT SHOWN.



425 COMMERCE DRIVE
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FAX: (610) 594-9565

415 FALLOWFIELD ROAD
SUITE 301
CAMP HILL, PA 17011
TELE: (717) 975-0295
FAX: (717) 975-0294

DESIGN BY: DMM
DRAWN BY: DMM
CHECKED BY: AKK
JOB NO: 818821.2A
DWG: 821CPT01
DATE: 5/28/19

UPPER MORELAND TOWNSHIP
117 PARK AVENUE
WILLOW GROVE, PA 19090
(215) 659-3100

INTERSECTION IMPROVEMENTS
BLAIR MILL ROAD (SR 2026)
UPPER MORELAND TOWNSHIP & COUNTY LINE ROAD (SR 2038)
MONTGOMERY COUNTY

1006 York Road Condominium Association
As Managed by Del Val Realty & Property Management
49 E. Lancaster Avenue, Suite 300
Malvern, PA 19355

June 23, 2022

SENT VIA U.S. MAIL

David Elsier, Director of Public Works
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

RE: 1006 York Road Condominiums – Trash & Recycling Services

Dear Mr. Elsier:

The members of the 1006 York Road Condominium Association executive board would like to notify Upper Moreland Township that, since May 6, 2022, the Association has made a change to how the trash is disposed of at the property.

The Association experienced an issue with rodents gaining access to a trash shed that they had been using to store bagged trash between scheduled pick ups. The rodent issue was addressed and the Montgomery County Health Department required the Association to begin using rodent proof containers to store trash. The Association had the trash shed removed from the property and contracted a commercial trash hauling company to place two small dumpsters in its place. As a result, the Township no longer services the Association for trash pick up. The recycling services have remained the same and the recycling continues to be picked up by the Township.

The members of the 1006 York Road Condominium Association executive board request that their bill for trash and recycling services from the Township is reduced to account for this change in service. Thank you in advance for your assistance with this matter.

Please feel free to contact our office if you have any questions.

Sincerely,

Alex Dusewicz

Alex Dusewicz, HOA Property Manager
Del Val Realty & Property Management

From: Richard Alphonso
Sent: Tuesday, June 14, 2022 12:20 PM
To: Purtell, Paul; Richard Alphonso
Subject: Additional Trailer Permit

Good afternoon Sir,
Per our conversation today,
This email serves as the request to have the Trailer Permit request from 16 trailers to 22.

This change is also reflected on the Permit request that is in your possession.

Thank you in advance for your support

Regards

Richard Alphonso
Store Manager
Phone (215) 830-8370
r0a00kv.s03564.us@wal-mart.com

Wal-Mart Store 3564
2010 Blair Mill Road
Willow Grove, PA, 19090
Save money. Live better.

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION NO. R-2022-20

A RESOLUTION OF THE UPPER MORELAND TOWNSHIP BOARD OF COMMISSIONERS GRANTING WALMART CORPORATION'S REQUEST FOR THE PLACEMENT OF PORTABLE STORAGE UNITS, A TEMPORARY CONSTRUCTION TRAILER OFFICE AND CONSTRUCTION DUMPSTERS AT THE PROPERTY LOCATED AT 2101 BLAIR MILL ROAD FOR THE PERIOD OF AUGUST 15, 2022 TO NOVEMBER 18, 2022.

WHEREAS, Chapter 240 of the Upper Moreland Township Code of Ordinances permits up to two (2) portable storage units "PSUs" or construction trailers to be placed on a non-residential property located within the Township for a period of up to 60 days with a 30-day renewal period; and

WHEREAS, Chapter 240-7.C of the Upper Moreland Township Code of Ordinances allows for applications for additional PSUs and/or construction trailers to be granted by the Board of Commissioners only upon a showing that the additional PSUs, construction trailers or demolition dumpsters are reasonably required for temporary storage or construction purposes and not adverse to the public interest; and

WHEREAS, the Walmart Corporation ("Walmart"), has applied to Upper Moreland Township ("Township") for a waiver from Chapter 240's provisions to allow for the placement of up to fifteen (15) 40-foot portable storage trailers, one (1) temporary construction office trailer and two (2) construction dumpsters on the Walmart property located at 2101 Blair Mill Road, Montgomery County Tax Parcel No. 59-00-01157-02-6, for the purpose of remodel of the retail store located on the property; and

WHEREAS, Walmart has also requested a waiver from the Chapter 240's time period limitations on the placement of portable storage units to allow for an additional period of time beyond the permitted time frame and extension to run from August 15, 2022, to November 18, 2022; and

WHEREAS, Walmart has stated that the use of the PSUs, construction trailer and construction dumpsters are necessary to for the remodel; and


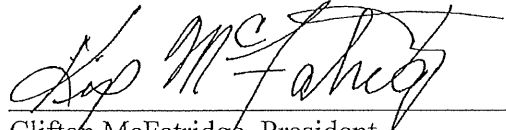
WHEREAS, the waivers requested were considered by the Community Development Committee at its May 9, 2022, public meeting, who recommended approval of the waivers requested.

NOW THEREFORE, BE IT RESOLVED by the Board of Commissioners of Upper Moreland Township that the waivers requested by Walmart are hereby granted. Walmart shall be permitted to place up to fifteen (15) 40-foot portable storage trailers, one (1) temporary construction office trailer and two (2) construction dumpsters at 2101 Blair Mill Road beginning August 15, 2022, ending November 18, 2022.

DULY PRESENTED AND ADOPTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, this 6th day of June, 2022.

Attest:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**


Matthew H. Candland, Secretary
Clifton McFatridge, President

DOCUMENT 00 45 13

BIDDER QUALIFICATION STATEMENT

1. INTRODUCTION

1.1 This document must be included as part of the Bid submission. Failure to submit a fully completed and executed Bidder Qualification Statement may be considered justification for rejection of the bid.

1.2 This Bidder Qualification Statement is submitted with respect to the following project:

Contract 2021-11058: WOODLAWN SCHOOL DEMOLITION

2. GENERAL INFORMATION

2.1 Name of Bidder: _____

2.2 Address of Bidder: _____

2.3 Telephone No. of Bidder: _____

3. ORGANIZATIONAL BACKGROUND

3.1 Type of Organization:

- | | |
|---------------------------------------|--|
| <input type="checkbox"/> Corporation | <input type="checkbox"/> Individual |
| <input type="checkbox"/> Partnership | <input type="checkbox"/> Joint Venture |
| <input type="checkbox"/> Other: _____ | |

3.2 How long has your organization been in business

- a. As a Contractor? _____ years
- b. As a Contractor engaged in construction work of the type proposed under this Contract: _____ years
- c. Under your current business name? _____ years

3.3 If the bidder is a corporation, complete this section:

a. Date & State of Incorporation: _____

b. Names & Titles of Officers:

_____	,	_____
_____	,	_____
_____	,	_____
_____	,	_____
_____	,	_____

- 3.4 If the Bidder is other than a corporation, describe the structure of your organization including date of initiation as a business and list the principals involved:

- 3.5 What portions of the work (i.e. trades work items, etc.) included in the proposed contract will be performed by subcontractors?

4. WORK HISTORY

- 4.1 Attach or list the following information on similar projects which your organization has completed in the past five (5) years. Name and type of project, owner, engineer, contract amount, date of completion.

- 4.2 Attach or list the following information on similar project which your organization now has in progress. Name and type of project, owner, engineer, contract amount, scheduled date of completion.

- 4.3 Has your organization ever defaulted on or otherwise failed to complete any work under contract? If so, note the circumstances:

- 4.4 Has any officer, partner or principal of your organization ever been an officer, partner or principal of another organization which defaulted on or otherwise failed to complete any work under contract? If so, note the circumstances:

- 4.5 Provide the construction experience (length, type) of the principal individuals of your organization which would be assigned to perform the proposed work under this Contract:

5. REFERENCES

- 5.1 Bonding Company _____
and Agent _____

- 5.2 Bank _____

- 5.3 Trade _____

6. FINANCIAL STATEMENT

- 6.1 Attach a copy of a recent financial statement as prepared by your auditor.

7. CERTIFICATION

7.1 This Bidder Qualification Statement has been prepared on behalf of the following organization:

Name of Organization: _____

Name of Preparer: _____

Title of Preparer: _____

Date: _____

7.2 AFFIDAVIT

State of _____, County of _____

I, _____, being duly sworn, according to
(Name of Official)

law, depose and say that I am the _____
(position)

of the above organization, and that the responses provided in the Bidder Qualification Statement, including any attachments thereto are true and correct to the best of my knowledge and belief.

Sworn and Subscribed _____
(Signature of Official)

to before me

this _____ day of _____, 20 ____.

Notary Public

END OF DOCUMENT

**UPPER MORELAND TOWNSHIP
CHESTER COUNTY, PENNSYLVANIA**

ORDINANCE NO. 2022-_____

AN ORDINANCE OF UPPER MORELAND TOWNSHIP, CHESTER COUNTY PENNSYLVANIA, AMENDING PART II: GENERAL LEGISLATION OF THE TOWNSHIP CODE OF ORDINANCES CHAPTER 119 “CONTRACTORS” TO ADD A NEW ARTICLE III ENTITLED “RESPONSIBLE CONTRACTOR REQUIREMENTS”; PROVIDING A SEVERABILITY CLAUSE AND A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Upper Moreland Township Board of Commissioners (“Commissioners”) has determined that it is in the best interests of the health, safety, and welfare of the residents of the Upper Moreland Township (“Township”) to ensure that structures and properties located in the Township are constructed in a safe manner; and

WHEREAS, the Commissioners find that such provisions shall serve the best interest of the citizens of the Township, by requiring that all bidders for public projects shall possess the highest qualifications necessary to perform public contracts; and

WHEREAS, the Commissioners desires to adopt certain provisions to ensure that contractors and subcontractors that perform work valued at over ~~TWO-THREE~~ HUNDRED THOUSAND DOLLARS (\$~~3200,000~~) on any public facility or public works project meet certain minimum requirements to insure that they have the capacity, the expertise, the personnel, and other qualifications and resources necessary to successfully perform public contracts in a timely, reliable and cost-effective manner; and

WHEREAS, Section 56802, 53 P.S. §56802, of the Pennsylvania First Class Township Code authorizes the Commissioners to enact Ordinances and to award public contracts to the lowest “responsible” bidder, and that the Township deems “responsible” bidders to possess all of the qualifications, expertise, personnel and resources set forth under these regulations.

NOW, THEREFORE, be it, and it is hereby **ORDAINED** by the Upper Moreland Township Board of Commissioners, and it is hereby **ENACTED** and **ORDAINED** by authority of same as follows:

SECTION I. Adoption of Chapter 119: “Contractors”; Article III: “Responsible Contractor Requirements”.

The Township hereby adopts and establishes under Part II, General Legislation, Chapter 119 “Contractors” a new Article III titled “Responsible Contractor Requirements”, that shall state as follows:

Article III. Responsible Contractor Requirements.

Section 119-18: Definitions.

As used in this chapter, the following terms shall have the meanings indicated:

Apprenticeship program- a training system or program, registered with federal and/or state government agencies, that produces highly skilled workers in a variety of fields by ensuring quality training with on-the-job training and practical instruction for industry.

Contract- an agreement, whether oral or written, and whether contained in one or more documents, between a contractor and Upper Moreland Township for the performance of work, including all labor, services and materials to be furnished and performed thereunder.

Contractor- any individual or person who undertakes or offers to perform construction, demolition, remodeling, rehabilitation, paving and any other improvement of construction or demolition work in and for Upper Moreland Township, whether as a general contractor, subcontractor, specialty contractor or otherwise.

Firm- any general contractor, prime or other lead contractor applying for public works contracts.

Person- any individual, partnership, limited partnership, association, corporation, trust or any other legally recognizable entity.

Subcontractor- any individual or person who undertakes a specific part of the work to be performed by the principal contractor or subcontract for the construction, demolition, remodeling, rehabilitation, paving and any other improvement of construction or demolition work in and for Upper Moreland Township.

Section 119-19: Purpose.

A. Upper Moreland Township recognizes that there is a need to ensure that all work on public construction and maintenance contracts is performed by responsible, qualified firms that maintain the capacity, expertise, personnel and other qualifications and resources necessary to successfully perform public contracts in a timely, reliable and cost-effective manner.

B. To effectuate the purpose of selecting responsible contractors for public contracts and to protect Upper Moreland Township investments in such contracts, prospective contractors and subcontractors should be required to meet pre-established, clearly defined, minimum standards relating to contractor responsibility, including requirements and criteria concerning: technical qualifications; competency; expertise; adequacy of resources, including equipment, financial and personnel, and satisfactory records regarding past project performance, safety, law compliance and business integrity.

C. Further, due to the critical impact that skilled construction craft labor has on public works projects, and due to the limited availability of skilled construction craft labor and imminent craft labor skill shortages, it is necessary to require contractors and subcontractors to participate in established, formal apprenticeship training programs as a condition of bidding, for the purpose of both promoting successful project delivery and ensuring future workforce development. Upper

Moreland Township also recognizes that it is beneficial to the local community to ensure that firms receiving public contracts provide adequate wages and benefits to their employees and utilize fair business, employment and training practices that have a positive impact on local communities affected by such contracts.

D. Therefore, Upper Moreland Township requires compliance with the provisions of this Article by business entities seeking to provide services to the Township as specified herein. The requirements of this section are intended to supplement, not replace, existing contractor qualifications and performance standards or criteria currently required by law, public policy or contracting documents. However, in the event that any of the provisions of this section conflict with any law, public policy or contracting documents of Upper Moreland Township this section shall prevail.

Section 119-20: Responsible Contractor Requirements.

A. All contractors and subcontractors of any tier that perform work valued at over ~~Two~~ Three Hundred Thousand Dollars (\$~~200,000.00~~) on any public facility or public works project, including construction, alteration, renovation, repair, service (excluding trash hauling) or maintenance work, shall meet the requirements of this section. The Board of Commissioners shall have to authority to amend the Responsible Contractor work threshold stated in this section from time to time by resolution. -

B. All firms engaged in contracts covered by this section shall be qualified, responsible contractors or subcontractors that have sufficient capabilities in all respects to successfully perform contracts on which they are engaged, including the necessary experience, equipment, technical skills and qualifications and organizational, financial and personnel resources. Firms bidding on public contracts shall also be required to have a satisfactory past performance record and a satisfactory record of law compliance, integrity and business ethics.

C. If, after three attempts by the Township to award a contract to a responsible bidder, as defined in this chapter, no bidder is determined to meet the requirements of this chapter, this chapter shall not apply to subsequent attempts to bid the project.

Section 119-21: Contractor Responsibility Certifications.

A. As a condition of performing work on a public work's contract subject to this section, a general contractor, construction manager or other lead or prime contractor seeking award of a contract shall submit a Contractor Responsibility Certification at the time it submits its bid for a contract.

B. The Contractor Responsibility Certification shall be completed on a form provided by Upper Moreland Township and shall be in the form as attached to this Chapter.

C. In the Contractor Responsibility Certification the construction manager, general contractor, or other lead or prime contractor (hereinafter the "Firm") shall confirm the following

facts regarding its past performance and work history and its current qualifications and performance capabilities:

(1) The Firm has all valid, effective licenses, registrations or certificates required by federal, state, county or local law, including but not limited to, licenses, registrations or certificates required to: (a) do business in the designated local; and (b) perform the contract work it seeks to perform. These shall include, but are not limited to, licenses, registrations or certificates for any type of trade work or specialty work which the Firm proposes to self-perform.

(2) The Firm meets the bonding requirements for the contract, as required by applicable law or contract specifications and any insurance requirements, as required by applicable law or contract specifications, including general liability insurance, workers compensation insurance and unemployment insurance requirements.

(3) The Firm has not been debarred by any federal, state or local government agency or authority in the past three (3) years.

(4) The Firm has not defaulted on any project in the past three (3) years.

(5) The Firm has not had any type of business, contracting or trade license, registration, or other certification suspended or revoked in the past three (3) years.

(6) The Firm has not been cited for a willful violation of federal or state safety laws in the past three (3) years.

(7) The Firm and its owners have not been convicted of any crime relating to the contracting business by a final decision of a court or government agency in the past ten years.

(8) The Firm has not within the past three years been found in violation of any law applicable to its contracting business, including but not limited to, licensing laws, tax laws, prompt payment laws, wage and hour laws, prevailing wage laws, environmental laws or others, where the result of such violation was the payment of a fine, back pay damages or any other type of penalty in the amount of \$1,000 or more.

(9) The Firm will pay all craft employees that it employs on the project the current wage rates and benefits as required under applicable federal, state, or local wage laws.

(10) The Firm will employ a sufficient number of craft labor personnel required to successfully perform any project work it self-performs or shall use qualified subcontractors to meet this requirement and shall assign workers to perform only work in their respective craft or trade for which they have sufficient skills and training or shall use qualified subcontractors to meet this requirement. -

~~(10) The Firm will employ a sufficient number of craft labor personnel required to successfully perform any project work it self performs or shall use qualified subcontractors to meet this requirement and shall assign workers to perform only work in their respective craft or trade for which they have sufficient skills and training, or shall use qualified subcontractors to meet this requirement~~

~~The Firm participates in a Class A Apprenticeship Program for each separate trade or classification in which it employs craft employees and shall continue to participate in such program or programs for the duration of the project.~~^[AB1]

~~(a) For purposes of this section a Class A Apprenticeship Program craft labor personnel shall be defined as is any those personnel which have completed an apprenticeship program that is currently registered with and approved by the U.S. Department of Labor or a state the Pennsylvania Department of Labor and Industry and which is approved by the Township apprenticeship agency, and has graduated apprentices to journeyperson status for a least three (3) of the past five (5) years; and~~

~~(b) If a Firm is identified as the lowest responsible bidder or otherwise selected as the prospective awardee or as a subcontractor of an awardee, it shall provide appropriate documentation, as determined by Upper Moreland Township, to verify it meets the requirements of this section for each trade or classification of craft workers it will employee on the project. This verification shall be provided prior to performance of work by the Firm.~~

(11) The Firm has all other technical qualifications and resources, including equipment, personnel, and financial resources, to perform the referenced contract, or will obtain same through the use of qualified, responsible subcontractors.

(12) The Firm will maintain all qualifications, resources and capabilities referenced in this certification throughout the duration of the project and shall provide to the Township documentation evidencing its efforts over time to achieve diversity in its hiring and training programs.

(13) The Firm shall notify the Township within seven (7) days of any material changes to all matters attested to in this certification.

(14) The Firm understands that the Contractor Responsibility Certification required by this section shall be executed by a person who has sufficient knowledge to address all matters in the certification and shall include an attestation stating, under the penalty of perjury, that the information submitted is true, complete and accurate.

D. Execution of the Contractor Responsibility Certification required by this section shall not establish a presumption of contractor responsibility and Upper Moreland Township require

any additional information it deems necessary to evaluate a Firm's status as a responsible contractor, including technical qualifications, financial capacity or other resources and performance capabilities. The Township require that such information be included in a separate Statement of Qualifications and Experience or as an attachment to the Contractor Responsibility Certification.

E. The submitting form shall stipulate in the Contractor Responsibility Certification that, if it receives a Notice of Intent to Award Contract, it will provide a Subcontractor list and required subcontractor information as specified in Section 259-7.

F. If the submitting Firm has ever operated under another name, or controls or is controlled by another company or business entity, or if in the past five (5) years the submitting Firm controlled or was controlled by another company or business entity, whether as a party company, subsidiary or in any other business relation, it shall attach a separate statement to its Contractor Responsibility Certification that explains in detail the nature of any such relationship. Additional information may be required from the other entity if the relationship in question could potentially impact contract performance.

G. If a Firm fails to provide a Contractor Responsibility Certification required by this section, it shall be disqualified from bidding. No action of any nature shall lie against Upper Moreland Township because of its refusal to accept a bid for failing to provide information required by this section.

H. Upper Moreland Township require that Contractor Responsibility Certifications and other information required by this act be submitted electronically.

I. Upper Moreland Township charge firms who submit bids or proposals a reasonable fee to defray costs of processing and evaluating Contractor Responsibility Certifications and related information and documents. The amount may be determined and changed via Resolution by Commissioners.

Section 119-22: Notice of Intent to Award Contract.

A. After it has received bids for a project, the Township shall issue a Notice of Intent to Award Contract to the Firm offering the lowest responsive bid.

B. Such Notice shall be issued immediately or as soon as practicable after bids are submitted and shall stipulate that the contract award will be conditioned on the issuance of a written Contractor Responsibility Determination, as required by Section 119-24 of this section and any other conditions determined appropriate by Upper Moreland Township.

Section 119-23: Subcontractor Lists, Subcontractor Responsibility Certifications.

A. Within seven (7) days of receiving a Notice of Intent to Award Contract, a prospective awardee shall submit to the Township Subcontractor List containing the names of all subcontractors it will use for the referenced project, their addresses and a description of the work to be performed by each subcontractor on the project. The prospective awardee shall also submit Contractor Responsibility Certifications and certifications of Class A Apprenticeship Programs for each proposed subcontractor, as required by this Chapter, all of which shall be signed by the proposed subcontractor and shall contain the same information and representations set forth in the Contractor Responsibility Certifications.

B. A firm shall not be permitted to use any subcontractor unless the subcontractor meets the requirements of this Chapter as determined by Upper Moreland Township.

C. A firm shall not be permitted to use any subcontractor on procurement contracts subject to this section, which is not on the Subcontractor List, unless it obtains prior written approval from Upper Moreland Township.

D. All certifications and other information for each subcontractor shall be made available to the public as specified in this Chapter.

Section 119-24: Subcontractor Responsibility Review Requirements.

A. A construction manager, general contractor, or other lead or prime contractor shall not be permitted to use a subcontractor on any work performed for Upper Moreland Township unless it has identified the subcontractor on its Subcontractor List and provided a Subcontractor Responsibility Certification in accordance with the requirements of Section 119-23.

B. A subcontractor listed on a Firm's Subcontractor List shall not be substituted unless written authorization is obtained from Upper Moreland Township and a Subcontractor Responsibility Certification is provided for the substitute subcontractor.

C. In the event that Upper Moreland Township determines that a prospective subcontractor listed by the apparent low bidder does not meet the responsibility standards of this section, it may, after informing the prospective awardee, exercise one of the following options:

1. Permit the awardee to substitute a qualified, responsible, subcontractor in accordance with the requirement of this section;
2. Require the awardee to self-perform the work in question if the Firm has the required experience, licenses and other qualifications to perform the work in question; or
3. Disqualify the prospective awardee.

D. In the event that a subcontractor is disqualified under this section, the general contractor, construction manager or other lead or prime contractor shall not be permitted to make any type of

contractual claim against Upper Moreland Township on the basis of a subcontractor disqualification.

Section 119-25: Contractor Responsibility Review.

A. After a Notice of Intent to Award Contract has been issued, Upper Moreland Township shall undertake a review process for a period of at least twenty (20) days to determine whether the prospective awardee is a qualified, responsible contractor in accordance with the requirements of this section and other applicable laws and regulations and has the resources and capabilities to successfully perform the contract.

B. As part of this review process, Upper Moreland Township shall ensure that the Contractor Responsibility Certification, the Subcontractor List and the Subcontractor Responsibility Certification(s) as required by this section, have been submitted, properly executed and made available to the public.

C. Upper Moreland Township may conduct any additional inquiries to verify that the prospective awardee and its subcontractors have the technical qualifications and performance capabilities necessary to successfully perform the contract and that the Firm(s) have a sufficient record of law compliance and business integrity to justify the award of a public contract. In conducting such inquiries, Upper Moreland Township may seek relevant information from the Firm, its prior clients or customers, its subcontractors or any other relevant source.

Section 119-26: Public Review Process.

A. The Contractor Responsibility Certification for a Firm identified in a Notice of Intent to Award Contract, Subcontractor Lists, and Subcontractor Responsibility Certifications shall be made immediately available to the public for inspection through a publicly accessible website or other comparable means.

B. During the Public Review Period, any person or organization may protest a contractor or subcontractor for failing to meet applicable requirements of this section or any other relevant grounds by submitting letter with supporting evidence to Upper Moreland Township.

C. If Upper Moreland Township determines that a Contractor or Subcontractor Responsibility Certification contains false or misleading material information that was provided knowingly or with reckless disregard for the truth or omits material information knowingly or with reckless disregard of the truth, the Firm for which the certification was submitted shall be prohibited from performing work for Upper Moreland Township for a period of three (3) years and shall be subject to any other penalties and sanctions, including contract termination, available to Upper Moreland Township under law. A contract terminated under these circumstances shall further entitle Upper Moreland Township to withhold payment of any monies due to the Firm as damages.

D. A procurement contract subject to this section shall not be executed until all requirements of this section have been fulfilled and until Contractor and Subcontractor Responsibility Certifications and Subcontractor Lists have been made available for public inspection for at least ten (10) days following submission of such information.

Section 119-27: Issuance of the Contractor Responsibility Determination.

A. If, at the conclusion of its internal review, Upper Moreland Township determines that all responsibility certifications have been properly completed and executed and if it concludes that the qualifications, background and responsibility of the prospective awardee and the Firms on its Subcontractor List are satisfactory, it shall issue a written Contractor Responsibility Determination verifying that the prospective awardee and subcontractors are qualified, responsible contractors. In the event a Firm is determined to be non-responsible, Upper Moreland Township shall advise the Firm of its finding in writing and proceed to conduct a responsibility review of the next lowest, responsive bidder or, if necessary, re-bid the project. Prior to the awarding of a contract the Upper Moreland Township follow the procedures as set by § 56801 and 56802 of the First Class Township Code.

B. The Contractor Responsibility Determination shall be issued no later than thirty (30) days from the date the Notice of Intent to Award Contract is issued, unless extended in writing by the Commissioners. The Contractor Responsibility Determination may be revoked or revised in the event Upper Moreland Township obtains relevant information warranting any such revocation or revision.

Section 119-28: Emergencies.

Should the Commissioners determine, in accordance with the provisions of Section 119-21, that emergency circumstances exist that render the requirements and procedures set forth in this section unduly burdensome, then in that event the Township may award a procurement contract without application of the terms of this section.

SECTION II: SEVERABILITY.

The terms, conditions and provisions of this Ordinance are hereby declared to be severable, and, should any portion, part or provision of this Ordinance be found by a court of competent jurisdiction to be invalid, unenforceable or unconstitutional, Upper Moreland Township hereby declares its intent that the Ordinance shall have been enacted without regard to the invalid, unenforceable, or unconstitutional portion, part or provision of this Ordinance.

SECTION III: REPEALER.

Any and all other Ordinances or parts of Ordinances in conflict with the terms, conditions and provisions of this Ordinance are hereby repealed to the extent of such irreconcilable conflict.

SECTION 5: EFFECTIVE DATE.

This Ordinance and the amendments contained herein shall be effective immediately.

 ORDAINED AND ENACTED by the Upper Moreland Township Board of Commissioners on this _____ day of _____, 2022.

ATTEST:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Matthew H. Candland

Clifton McFatridge, President

CONTRACTOR RESPONSIBILITY CERTIFICATION FORM

For simplicity, all contractors and subcontractors are designated as contractors herein below:

Contractor Name: _____ Date: _____

Contractor Address: _____

Contact Name: _____

Phone No.: _____ Fax No.: _____

Email Address: _____

Project Name: _____

Contractor certified by answering each of the questions below:

CHECK ONE FOR EACH QUESTION	YES	NO
(1) The Firm has all valid, effective licenses, registrations or certificates required by federal, state, county or local law, including by not limited to, licenses, registrations or certificates required to: (a) do business in the designated local; and (b) perform the contract work it seeks to perform. These shall include, but are not limited to, licenses, registrations or certificates for any type of trade work or specialty work which the Firm proposes to self-perform.		
(2) The Firm meets the bonding requirements for the contract, as required by applicable law or contract specifications and any insurance requirements, as required by applicable law or contract specifications, including general liability insurance, workers compensation insurance and unemployment insurance requirements.		
(3) The Firm has not been debarred by any federal, state or local government agency or authority in the past three (3) years.		
(4) The Firm has not defaulted on any project in the past three (3) years.		
(5) The Firm has not had any type of business, contracting or trade license, registration, or other certification suspended or revoked in the past three (3) years.		

(6) The Firm has not been cited for a willful violation of federal or state safety laws in the past three (3) years.		
(7) The Firm and its owners have not been convicted of any crime relating to the contracting business by a final decision of a court or government agency in the past ten years		
(8) The Firm has not within the past three years been found in violation of any law applicable to its contracting business, including but not limited to, licensing laws, tax laws, prompt payment laws, wage and hour laws, prevailing wage laws, environmental laws or others, where the result of such violation was the payment of a fine, back pay damages or any other type of penalty in the amount of \$1,000 or more.		
CHECK ONE FOR EACH QUESTION	YES	NO
(9) The Firm will pay all craft employees that it employs on the project the current wage rates and benefits as required under applicable federal, state, or local wage laws.		
(10) The Firm participates in a Class A Apprenticeship Program for each separate trade or classification in which it employs craft employees and shall continue to participate in such program or programs for the duration of the project.		
(11)The Firm has all other technical qualifications and resources, including equipment, personnel, and financial resources, to perform the referenced contract, or will obtain same through the use of qualified, responsible subcontractors.		
(12)The Firm will maintain all qualifications, resources and capabilities referenced in this certification throughout the duration of the project.		
(13)The Firm shall notify Upper Moreland Township within seven (7) days of any material changes to all matters attested to in this certification.		
(14)The Firm understands that the Contractor Responsibility Certification required by this section shall be executed by a person who has sufficient knowledge to address all matters in the certification and shall include an attestation stating, under the penalty of perjury, that the information submitted is true, complete and accurate.		

NOTE: As required by the Ordinance, if the bidder receives a Notice of Intent to Award Contract, the bidder shall provide Upper Moreland Township with a final subcontractor list and subcontractor information (including subcontractor certifications), if not previously provided.

VERIFICATION

I certify that the information contained in the Contractor Responsibility Certification is true and correct. I further understand that false statements made in this Certification may be subject to the penalties under the law related to unsworn falsification to authorities, including but not limited to, the penalties set forth in 18 Pa.C.S.. § 4904.

ATTACH ADDITIONAL SHEETS IF NECESSARY

Signature of Contractor's Authorized Representative: _____

Title: _____

|

Date: _____

DRAFT



PERMITS

Type	# of Apps. Created	# of Permits Issued	Estm. Cost of Issued	Revenue Collected
Grading	2	4	\$4,200.00	\$133.00
Bulk Pick Up	44	44	\$0.00	\$1,068.00
Trailer	3	5	\$0.00	\$1,115.00
Plumbing	19	15	\$857,681.00	\$6,568.50
Garage Sale	3	3	\$0.00	\$30.00
Public Works	3	3	\$1,000.00	\$90.00
Building	70	59	\$4,311,437.32	\$33,817.50
Commercial Zoning Use	6	13	\$0.00	\$975.00
Fire	9	34	\$364,450.00	\$9,678.00
Miscellaneous	0	1	\$0.00	\$100.00
Holding Tank	0	0	\$0.00	\$0.00
Sign	1	2	\$19,700.00	\$465.00
Well	0	0	\$0.00	\$0.00
Electrical	32	18	\$738,563.00	\$18,731.00
Mechanical	21	13	\$951,240.00	\$11,588.50
Totals:	213	214	\$7,248,271.32	\$84,359.50

CONTRACTORS

Commercial

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	1	2	\$225.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	4	1	\$375.00
General Contractor	6	4	\$750.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	4	0	\$300.00
Totals:	15	7	\$1,650.00

Residential

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
Totals:	0	0	\$0.00

Home Improvement

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	2	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	15	0	\$0.00
Sign Contractor	0	0	\$0.00



General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
Totals:	17	0	\$0.00

Uncategorized Subtype

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
Totals:	0	0	\$0.00

PERMIT INSPECTIONS

Total Inspections:	109
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LICENSING

Type	# of New Licenses	# of Renewals	Revenue Collected
Home Occupancy Zoning Use	24	10	\$1,700.00
Amusement License	0	0	\$0.00
Sandwich Sign	0	0	\$0.00
Massage	0	0	\$0.00
Billboard	0	0	\$0.00
Recreational Trailer	0	1	\$5.00
Totals:	24	11	\$1,705.00

LAND DEVELOPMENT

Type	# of Apps. Created	Revenue Collected
Zoning Change	0	\$0.00
Conditional Use	0	\$0.00
Subdivision	0	\$0.00
Land Development	2	\$800.00
Public Hearing	5	\$2,350.00
Totals:	7	\$3,150.00

CODE ENFORCEMENT

Type	# of Complaints
Trash and Debris	3
Misc	4
Exterior Maintenance	0
High Grass	5
Work Without Permit	4
Totals:	16

CASHIERING

Type	# of Transactions	Revenue Collected
Total Transactions	0	\$0.00
Totals:	0	\$0.00



Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

Commissioners Report

For the period of: 2022-06-01 to 2022-06-30 23:59:59

Date Printed: 07/06/2022

OPEN RECORDS

Type	# of Requests	Revenue Collected
Public Record Request	0	\$0.00
Totals:	0	\$0.00

Total Revenue Collected: \$90,864.50



PERMITS

Type	# of Apps. Created	# of Permits Issued	Estm. Cost of Issued	Revenue Collected
Grading	4	7	\$894,878.00	\$247.00
Bulk Pick Up	58	57	\$0.00	\$1,359.00
Trailer	5	4	\$0.00	\$120.00
Plumbing	16	22	\$134,110.00	\$2,639.00
Garage Sale	4	4	\$0.00	\$40.00
Public Works	21	21	\$5,900.00	\$846.00
Building	73	77	\$2,880,542.20	\$25,053.50
Commercial Zoning Use	5	4	\$0.00	\$300.00
Fire	8	40	\$38,964.00	\$2,972.50
Miscellaneous	1	0	\$0.00	\$0.00
Holding Tank	0	0	\$0.00	\$0.00
Sign	2	0	\$0.00	\$0.00
Well	0	0	\$0.00	\$0.00
Electrical	27	34	\$144,411.89	\$4,228.00
Mechanical	22	18	\$141,883.00	\$1,906.00
Totals:	246	288	\$4,240,689.09	\$39,711.00

CONTRACTORS

Commercial

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	2	0	\$150.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	4	3	\$525.00
General Contractor	5	4	\$675.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	3	0	\$225.00
Totals:	14	7	\$1,575.00

Residential

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	2	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
Totals:	2	0	\$0.00

Home Improvement

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	1	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	8	0	\$0.00
Sign Contractor	0	0	\$0.00



Commissioners Report

For the period of: 2021-06-01 to 2021-06-30 23:59:59

Date Printed: 07/06/2022

General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	1	0	\$0.00
Totals:	10	0	\$0.00

Uncategorized Subtype

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
Totals:	0	0	\$0.00

PERMIT INSPECTIONS

Total Inspections:	121
---------------------------	------------

LICENSING

Type	# of New Licenses	# of Renewals	Revenue Collected
Home Occupancy Zoning Use	0	3	\$150.00
Amusement License	0	0	\$0.00
Sandwich Sign	0	0	\$0.00
Massage	0	0	\$0.00
Billboard	0	0	\$0.00
Recreational Trailer	1	0	\$5.00
Totals:	1	3	\$155.00

LAND DEVELOPMENT

Type	# of Apps. Created	Revenue Collected
Zoning Change	0	\$0.00
Conditional Use	0	\$0.00
Subdivision	1	\$175.00
Land Development	0	\$0.00
Public Hearing	4	\$1,950.00
Totals:	5	\$2,125.00

CODE ENFORCEMENT

Type	# of Complaints
Trash and Debris	2
Misc	1
Exterior Maintenance	8
High Grass	4
Work Without Permit	6
Totals:	21

CASHIERING

Type	# of Transactions	Revenue Collected
Total Transactions	0	\$0.00
Totals:	0	\$0.00



Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

Commissioners Report

For the period of: 2021-06-01 to 2021-06-30 23:59:59

Date Printed: 07/06/2022

OPEN RECORDS

Type	# of Requests	Revenue Collected
Public Record Request	0	\$0.00
Totals:	0	\$0.00

Total Revenue Collected: \$43,566.00



**Public Works Department
June 2022**

**Summary of materials handled by Sanitation Division
(in tons)**

Single Stream	196	
Curbside Yard Waste	151	
<hr/>		
Total Recycling Tonnage	347	
Trash Tonnage	623	
Tipping Fee Cost Avoidance	\$19,536	\$58.58
Cost of Single Stream	*	
Percent of Waste Recycled	36%	

**Rebate received for May*

<u>Materials</u>	<u>Single Stream</u>	<u>Yard Waste</u>	<u>Trash</u>	<u>% Recycled</u>
2022	196	151	623	36%
2021	203	106	635	33%

	2022	2021
Bulk Metal Items	17	27
E-Cycling Items	15	24

To: Public Works Committee

From: David Elsier, Director of Public Works

Date June 2022

Re: **UMPW DEPARTMENTAL REPORT**



PUBLIC WORKS DIRECTOR'S NOTES

- Oversaw all day-to-day operations of the Public Works Department
- Repaired potholes throughout the Township.
- Reported street lights that are not working.
- Contacted Penn Dot about pothole concerns on all state roads within the Township.
- Reported traffic and street lights that needed attention.
- Responded to e-mails and phone calls from residents with questions or problems.
- Completed various reports and schedules to help with operations of the Public Works Department.
- Attended meeting with the recycling consortium and Republic Services to discuss education materials
- Attended a meeting at the UMHJSA to discuss possible sewer connection for Manor House
- Attended a zoom meeting presented by Springfield EAC about the new Mack Truck's electric Trash Truck
- Attended a meeting at Representative Nancy Guent's office to discuss open PennDOT Maintenance Projects in Upper Moreland.
- Milling contractor began and completed their portion of the milling for the Paving Program

STREET	MEASUREMENT	SQ. YDS.
Nash (Moreland SR63 – Overlook)	2,784' x 30'	9,280
Juniper (Parkside – Broadway)	400' x 30'	1,333
Sunset (York SR263 – Dead End)	1,010' x 30'	3,367
Wyandotte (SR611 – Dead End)	3,090' x 30'	10,300
Country Wood (SR2009-Pleasant Hill)	929' x 30'	3,097
Damian (SR2042 – SR2042)	2,880' x 30'	9,600
Elm (SR2026 – Broadway)	807' x 30'	2,690
St. Dunstan (Bonnett-Burbridge)	1,188' x 30'	3,960
Green Wood (SR2033 – Greyhorse)	1,104' x 40'	4,907
Morgan Mill (SR2033 – Ball)	784' x 30'	2,613
Red Barn (Greyhorse – Deer Run)	1,530' x 30'	5,100
Frontier (SR2009 – Pioneer)	1,953 x 30'	6,510
Lisayne (Country Wood – Orangemans)	616' x 30'	2,053
Preston (Corinthian – Manor)	3,567' x 30'	11,890
Willard (Exton – Stewart)	1,598' x 30'	5,327

- **Vehicle Maintenance** - Township mechanics maintained all Township vehicles and equipment.
- **Storm Water Maintenance** - Township staff continues to inspect and repair all storm water inlets.

SANITATION DIVISION

June 2022

During the month of June 2022, our Sanitation Division picked up 623 tons of compacted trash.

Since the last report period we had 17 bulk pick-ups. For the same period in 2021 we collected 27 bulk items

We collected 151 tons of yard waste since the last report period. For the same period in 2021, we collected 106 tons of yard waste.

We collected 15 electronic items (E-cycling) since the last report period. For the same period in 2021, we collected 24 electronic items.



PROJECT	WORK PERFORMED LAST PERIOD (June 13 th to July 18 th)	WORK TO BE PERFORMED THIS PERIOD (July 18 th to August 8 th)
GENERAL TOWNSHIP PROJECTS		
1. NPDES – MS4 Reporting	<ul style="list-style-type: none">No work provided this period	<ul style="list-style-type: none">Work with Solicitor to update SWM Ordinance to meet 2022 PA DEP Model Ordinance. Minor changes anticipated and must be adopted by September 30, 2022.
2. Misc. Consulting Services	<ul style="list-style-type: none">Staff meeting with 1740 County Line Road to discuss future LD application.	<ul style="list-style-type: none">Monitor project status and perform work as necessary.
3. Fair Oaks Basin	<ul style="list-style-type: none">No work performed this period.	<ul style="list-style-type: none">Monitor project status and perform work as necessary.Project is in 18-month maintenance period which is set to end on June 1, 2023.
4. Mason's Mill Park	<ul style="list-style-type: none">No work performed this period.	<ul style="list-style-type: none">Project is in 18-month maintenance period.
5. Library ADA Improvements	<ul style="list-style-type: none">No work performed this period.	<ul style="list-style-type: none">Monitor project status and perform work as necessary.
6. Woodlawn School Demolition	<ul style="list-style-type: none">Construction ObservationCoordination re: change order for crushed concrete removal / soil import & backfillPayment Request #1Property line survey to identify fence ownership and potential encroachments.	<ul style="list-style-type: none">Monitor project and perform work as necessary.
PRIVATE DEVELOPMENT PROJECTS		
1. Fairhill Commons	<ul style="list-style-type: none">Construction observation	<ul style="list-style-type: none">Monitor project status and perform work as needed
2. 2700 Turnpike Dr. (Acme Box)	<ul style="list-style-type: none">Construction observation.	<ul style="list-style-type: none">Monitor project status and perform work as needed.
3. Jaguar Land Rover Dealership	<ul style="list-style-type: none">No work performed this period.	<ul style="list-style-type: none">Monitor project status and perform work as needed.

PROJECT	WORK PERFORMED LAST PERIOD (June 13 th to July 18 th)	WORK TO BE PERFORMED THIS PERIOD (July 18 th to August 8 th)
4. 28 N. York Road	<ul style="list-style-type: none"> No work completed this period. 	<ul style="list-style-type: none"> Monitor project status and perform work as needed.
5. Federation Housing (432-512 Davisville Road)	<ul style="list-style-type: none"> Construction observation Escrow Release #4 	<ul style="list-style-type: none"> Monitor project status and perform work as needed.
6. 2255 Wyandotte Road	<ul style="list-style-type: none"> No work performed this period. 	<ul style="list-style-type: none"> Monitor project and perform work as needed.
7. 10-170 Park Ave (Federal Realty - Grocery Store & Marshals LD Waiver)	<ul style="list-style-type: none"> Construction observation 	<ul style="list-style-type: none"> Monitor project and perform work as needed.
8. Aqua Parking Lot Expansion (Computer Ave)	<ul style="list-style-type: none"> No work performed this period. 	<ul style="list-style-type: none"> Move project to 18-month maintenance period upon completion of punch list items and coordination with M&F.
9. Federal Realty – Retail Pad Building (10-170 Park Avenue)	<ul style="list-style-type: none"> No work performed this period. 	<ul style="list-style-type: none"> Setup preconstruction meeting upon request from Applicant and confirmation of completed development agreement documents.
10. 4205 Maryland Road Appts	<ul style="list-style-type: none"> No work performed this period 	<ul style="list-style-type: none"> Coordinate project closeout and end of maintenance period.
11. Lightbridge Academy	<ul style="list-style-type: none"> No work performed this period 	<ul style="list-style-type: none"> Coordinate project closeout and end of maintenance period.
12. 2955 Terwood Road	<ul style="list-style-type: none"> Review land development submission 	<ul style="list-style-type: none"> Project going to ZHB for variance related to floodplain.
13. 3827 Betz Road	<ul style="list-style-type: none"> Review revised subdivision plan 	<ul style="list-style-type: none"> Finalize & issue check set review. Project received conditional LD approval on 7/11. Work with Applicant to move plan towards recording.
14. Chipotle (Marketplace @ HV)	<ul style="list-style-type: none"> Review land development plan. Staff meeting with Applicant re: LD reviews. 	<ul style="list-style-type: none"> Project is on CDC Agenda for 7/18.
15. Olive Garden (Brick House Tavern Redevelopment)	<ul style="list-style-type: none"> Review land development plan. Staff meeting with Applicant re: LD reviews. 	<ul style="list-style-type: none"> Applicant to revise / resubmit plans to address consultant comments. Project will be on a future CDC agenda.



McCloskey & Faber, P.C.

Landscape Architecture • Land Planning • Graphic Design

Date: July 08, 2022 (prior report dated 6/6/2022)

Subject: Township Landscape Architect's Monthly Status Report

Project: Upper Moreland Township, Montgomery County, PA
M&F Project No. 215

From: James R. Faber, ASLA
Kimberli J. Flanders, ASLA

The following is a summary of our work during the previous month and pending work that we anticipate in the coming months. Developments with no activity for the previous months and/or are not on-going are included in our "Township Landscape Architect – Application Reviews and Field Work Schedule" spreadsheet (unless otherwise directed).

A. Landscape Architectural Plan and Field Reviews:

1. 2010 County Line Road (Chipotle) Marketplace at Huntingdon Valley
 - a. Receive new land development submission.
 - b. Visit site on June 7, 2022, to observe and photograph existing conditions.
 - c. Prepare and issue 1st Landscape Plan Review on June 23, 2022.
 - d. Prepare for and attend Development staff meeting on June 30, 2022.
2. 2402 Easton Road (Olive Garden)
 - a. Receive new land development submission.
 - b. **NOTE:** Draft review of Landscape design issued July 1, 2022, in anticipation of development staff review meeting held on July 7, 2022.
3. Willow Grove Shopping Center – Park Avenue Pad site
 - a. Prepare for and attend virtual coordination meeting with Township Engineer and Township Director of Code Enforcement on June 3, 2022, to discuss outstanding items from plan reviews.

McCloskey & Faber, P.C.

Township Landscape Architect's Monthly Report

July 8, 2022

Page 2

- b. General coordination with Project Engineer and Project Landscape Architect regarding review of Opinion of Probable Cost.
 - c. Prepare and issue on 2nd Landscape Plan Review on June 8, 2022.
 - d. Prepare for and attend virtual meeting with Project Landscape Designer on June 22, 2022, to discuss outstanding comments from most recent Landscape Plan Review.
- 4. 3827 Betz Road – Minor Subdivision Plan
 - a. Receive revised plan submission directly from Applicant.
 - b. General coordination with Applicant regarding potential additional required landscape-related waiver relief based on plan submission.
 - c. **PENDING:** Prepare review of Landscape design.
- 5. 2425 Blair Mill Road
 - a. Received revised plan submission from Project Engineer.
 - b. **PENDING:** Prepare review of Landscape design.
- 6. 2290 Computer Avenue (AQUA PA)
 - a. **PENDING:** Follow-up from May 31, 2022, landscape installation review punch list.
- 7. 2321 Blair Mill Road (Lightbridge Academy)
 - a. Visit site on June 7, 2022, to observe installed landscaping as a follow up to November 2021 site visit.
 - b. Prepare field observation photo memo report and landscape plan markup punch list and issue on June 9, 2022.
 - c. **PENDING:** Follow up from June 9, 2022, punch list is anticipated the week of July 11th.

McCloskey & Faber, P.C.

Township Landscape Architect's Monthly Report

July 8, 2022

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8. 2700 Turnpike Drive (ACME Box)
 - a. Visit site on June 9, 2022, to observe installed landscaping to date.
 - b. Prepare and issue Landscape plan markup on June 15, 2022, to serve as punch list for landscaping installed to date.
 - c. General coordination with Landscape Contractor (follow up from 6/09/22 site observations).
 - d. Prepare and issue marked up copy of Escrow Spreadsheet providing quantities of acceptable plant material for release.
9. 3195 Pennypack Road Grading Plan
 - a. Prepare for and attend site visit and meeting with Builder on June 1, 2022, and follow up meeting on June 9, 2022, to observe installed replacement trees.
- B. Prepare and issue written email memo on June 15, 2022, with plan markup relative to review of installed replacement trees.
- C. Fair Oaks Park – Construction Administration:
 1. Site visit with Township Director of Parks and Recreation on June 2, 2022, to observe installed landscaping (follow up from May 10, 2022 review).
 2. Prepare revised Record of Site Punch List written memo and revised landscape plan markup punch list on June 9, 2022, based on site observations and issue on June 2, 2022.
 3. General coordination with Park and Recreation Director regarding site observations; General coordination with Landscape Contractor regarding status of completion of punch list items.
 4. **PENDING:** Follow-up from June 9, 2022, punch list.

Distribution List (via Email):

Kevin Spearing, Board of Commissioners, Ward 2
Anthony Prousi, Board of Commissioners, Ward 4
Kip McFatrige, Board of Commissioners, Ward 5
Matthew Candland, Township Manager
Vicky Sykes, Executive Assistant to Township Manager
Paul Purtell, Director of Code Enforcement
David Elsier, Director of Public Works
Sean Kilkenney, Esq., Solicitor
Alex Baumler, Kilkenney Law Office
Erik Garton, P.E., Gilmore & Associates
Jim Faber, ASLA, Township Landscape Architect

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Issue Date: July 8, 2022										
UPPER MORELAND TOWNSHIP - TOWNSHIP LANDSCAPE ARCHITECT APPLICATION REVIEWS AND FIELD WORK SCHEDULE M&F No. 215										
Project Name and Address	Landscape Plan Review/Approval Date	Site Visit and/or Tree Count	Pre - Construction Meeting	Tree Protection Fence Review	Most Recent Landscape Install. Review	Most Recent Escrow Release Review	Insp. to Begin 18-Mth Guarantee Period	End of Guarantee Period		Status
								Date Due	Insp. Letter	
Landscape Plan Reviews in Progress or Not Approved										
1130 Easton Road - Pad site LD 15-28	LPR3 3/9/16	7/23/2015 & 8/4/2015								Development staff meeting: August 18, 2015 [Await revised plan submission (technical plan comments)]
Willow Grove Shopping Center Marshalls	LPR2 02/24/22									[Await plan resubmission]
Willow Grove Shopping Center Pad Site 102-170 Park Avenue	LPR2 6/8/22									Virtual Twp Staff / Consultant meetings 12/13/21 and 12/15/21 Development staff meeting: 12/21/21 [Await plan resubmission]
2425 Blair Mill Road	LPR1 5/3/22	5/2/22								[Review plans submitted by Project Engineer and received on 6/28/22]
3827 Betz Road Minor Subdivision	LPR1 5/18/22	5/3/22								[Review plans submitted by Applicant and received on 6/27/22]
2010 County Line Road - Chipotle Marketplace at Huntingdon Valley	LPR1 6/23/22	6/7/22								Development Staff meeting: 6/30/22 [Await plan resubmission]
2402 Easton Road = Olive Garden	LPR1 7/1/22	6/730022								Development Staff meeting: 7/7/22 [Await plan resubmission]
Landscape Plan Approved - Awaiting Construction										
240 Fitzwatertown Road (Malvern Inst) (Amended Phase II of Willow Crest Manor) LD 16-23	LPR2 6/16/17	5/17/16								Development Staff meeting: 5/20/16; Waiver review memo: 7/7/16; Email review of technical plan comments: 7/5/17 [Await formal response to technical plan comments - reviewed informally]
Project Under Construction - Landscape Installation NOT Approved										
2300 Easton Road - Verizon store LPR3 10/24/2016		9/1/16	12/21/16 KJF	n/a	6/12/19					[Await final request for escrow release associated with landscape installation.]
900 S. York Road - Jaguar Land Rover Waiver of land development	LPR4 8/26/19		9/25/19		Ph 12/4/20 2/19/20 Ph 2 4/8/21 Ph 1&2: 6/16/21		8/18/21			[Await final request for escrow release associated with landscape installation.]
28 N. York Road - Land Development Martin Harrison	LPR2 01/27/20	11/7/18	9/11/20 KJF		ACTIVE					[Monitor tree protection; Await installation of required landscaping]

Project Name and Address	Landscape Plan Review/Approval Date	Site Visit and/or Tree Count	Pre - Construction Meeting	Tree Protection Fence Review	Most Recent Landscape Install. Review	Most Recent Escrow Release Review	Insp. to Begin 18-Mth Guarantee Period	End of Guarantee Period		Status
								Date Due	Insp. Letter	
3195 Pennypack Road - Grading Permit Plan	LPR1 01/27/20	Tree count by Arborist	9/1/20 KJF	9/17/20	6/8/22 ACTIVE					Replacement trees installed, await further direction
2700 Turnpike Drive - Acme Corrugated Box	LPR4 3/19/20	12/12/18	10/27/20 KJF	11/25/20	6/15/2022 (partial) ACTIVE					[Await further installation of required landscaping - commenced in April 2022]
Willow Grove Shopping Center - Tenant Fitout Federal Realty	LPR2 4/23/21	10/2/20	3/30/21 KJF		ACTIVE					Review of OPC: 2/22/21 [Await review of planting design in easements by each governing jurisdiction] [Await review of installed landscaping]
2255 Wyandotte Road	LPR3 5/6/2021	1/30/20	6/29/21 KJF	8/17/21 8/25/21	10/21/21 ACTIVE	4/5/22				LS pre-install meeting 8/25/21 [Follow up 4/5/22 site visit]
432-514 Davisville Road Federation Housing	LPR4 4/27/21	10/8/20	8/17/21							Pre-submission meeting: 8/10/20 Development staff meeting: 10/15/20 Fee-in-lieu / Tree deficiency memo: 11/19/20 [Await installation of landscaping anticipated Fall 2022]
2290 Computer Avenue Aqua PA	LPR2 5/25/21	Online photos	9/22/21 KJF	9/22/21	5/31/22 ACTIVE					Development staff meeting: 3/23/21 [Follow up from 5/31/22 punch list]
551 N. York Road and 230 Fairhill St. Fairhill Commons	CU Review 11/25/19 LPR5 04/21/21	3/5/2019 Site visit 9/5/19 Tree count	11/5/21 KJF							Phone conference (Conditional Use): 3/26/19 Development staff meeting: 8/28/19 Development pre-submission meeting: 1/30/20 Virtual Development coordination meeting: 5/13/20 [Await installation of landscaping anticipated Spring 2023]
1150 Easton Road - parking expansion Urban Air Administrative Plan review	Memo 8/18/21	5/12/21	11/4/21 KJF		ACTIVE					[Await landscape installation]
Project Under Guarantee - Landscape Installation Approved - In Guarantee Period										
End of Guarantee Inspection Performed - Landscape Issues Remain										
2321 Blair Mill Road (Lightbridge Academy) LD 16-10	LPR3 10/11/16	3/30/16	2/21/19 no M&F rep		7/2/20 plan markup			1/1/22 G&A ltr 8/12/20	6/9/22 punch list	Development staff meeting: 4/22/16 Waiver review memo: 7/7/16 [Schedule follow up site visit for 6/9/22 punch list - week of 7/11/22]
2801 Blair Mill Road (Blair Mill TH), Willow Crossing LD-06-7 Formerly Sabia Townhouses (Builder: Ed Moser)	10/3/12 Amended plan review	5/1/06	7/15/11		10/30/15 email		12/28/15	6/16/17	5/30/17 email	[Revisit site upon completion of punch list items.]
2440 Maryland Road (Fairfield Inn) Ajesh Patel LD14-2	LPR4 10/17/14	1/16/14	2/17/15	3/19/15	5/27/16	12/4/15		12/11/17 G&A ltr 6/23/16	10/11/17	[Revisit site upon completion of punch list items.]

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY**

PROJECT STATUS

July 18, 2022

WARMINSTER ROAD BRIDGE RECONSTRUCTION

- Project Bids opened 12/16/21 – Project awarded to Allan A. Myers.
- Utility work to be completed in 2022. Bridge work not anticipated to start till 2023.
- Full reconstruction of bridge along Warminster Road by PennDOT.
- Full road closure is required. Approximate 6 - 8 month closure.
- Pedestrian flashing warning device at Mill Road.

MORELAND AVENUE BRIDGE RECONSTRUCTION

- Full reconstruction of bridge along Moreland Avenue at Hatboro Borough border by County.
- Full road closure is required. Approximate 6 - 8 month closure.
- Project Scheduled for 4th Quarter 2022 bid, with construction in Spring 2023 per County.

ROUTE 611 BRIDGE OVER TURNPIKE RAMP

- 2021 DCED MTF grant awarded for Design of Interchange Improvements.
- 2021 PennDOT MTF grant awarded for construction of ramp widening. **PennDOT Grant Kick-off meeting held. Agreement to be sent to the Township for signature.**
- Survey and design to commence.
- Coordination with PA Turnpike for Open Road Tolling project, which will remove toll booths from Interchange. PA Turnpike project scheduled for construction in second half of 2024.

BYBERRY ROAD AND DAVISVILLE ROAD

- Final traffic signal work and landscaping completed.
- Davisville Road to be paved by PennDOT in July 2022.
 - Township project to pave up to binder. PennDOT project will complete final paving and pavement markings.
- Awarded Green Light Go Grant for traffic signal improvements at the intersection. Grant Award - \$252,520. Township match - \$63,130. Green Light Go funding restored July 1, 2021.
- Awarded Montgomery County Transportation Program (CTP) funding for \$31,565 to be applied to Green Light Go match requirement. County allowing CTP funding to be utilized for project. – Extension provided to June 2022.
- Awarded PennDOT MTF for right-turn lane on Davisville Road in the amount of \$390,000.

BLAIR MILL ROAD

- Project for widening along Blair Mill Road at Easton Road to lengthen existing right turn lane to new traffic signal at Gibraltar Road and adding sidewalk along the southern side to connect to existing sidewalk.

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY
PROJECT STATUS
July 18, 2022**

- DCED MTF award of \$575,000 for improvements on west side of intersection.
- PennDOT comments received on HOP Submission. McMahon will address comments. Property owner coordination to begin.

BLAIR MILL ROAD (HORSHAM PROJECT)

- Project for widening along Blair Mill Road at Commerce Avenue\Witmer Rd and at Easton Road. Project be led by Horsham Township. Michael Baker is the designer.
- Designer addressing final PennDOT comments for bidding. Anticipated bid opening in Summer 2022.

MARYLAND ROAD BRIDGE

- Bridge culvert deficiencies identified by PennDOT inspections.
- August 2020 memo from Gilmore Associates identified possible remediation options
- McMahon completed survey and environmental studies. H&H analysis to be completed to determine bridge repairs.

WELSH ROAD ADAPTIVE TRAFFIC SIGNAL SYSTEM

- Joint municipal project between Upper Dublin Township, Horsham Township, Abington Township, Upper Moreland Township to upgrade 17 intersections to adaptive operation. Upper Moreland Township maintains Blair Mill Road and Computer Road intersections.
- Project Schedule – Traffic Signal equipment installed. Traffic Signal System being setup May/June 2022. System settings to be optimized in the next couple months to develop timing programs.

2020 ARLE SUBMISSION – YORK AND DAVISVILLE\EASTON SIGNAL UPGRADES

- Submitted 2018 GLG award for York Road Signal upgrades (Signal coordination from Davisville to Easton, rail crossing coordination, addition of pedestrian crossing on western leg of intersection with Davisville Road).
- Grant Request - \$288,750. Township match \$40,000.
- Grant Awarded to Township. Design started.

MONTCO CTP GRANT – MARYLAND AND COMMERCE INTERSECTION IMPROVEMENTS

- Grant Award - \$354,685. Township match \$204,685.
- Topo Survey Completed, design underway.
- Coordination with Jefferson Health property started.
- Anticipated design completion in 2022 with construction in Fall 2022.

WARMINSTER ROAD SIDEWALK

- Installation of sidewalk along Warminster Road from Greenbelt to Mill.
- PennDOT HOP submission made 7/11/2022
- Easement Documentation for property owners prepared

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY
PROJECT STATUS
July 18, 2022**

- Montco 2040 grant awarded for \$200,000.

POWER LINE TRAIL

- Installation of Trail along PECO power line from Blair Mill Road to Maryland Road.
- Coordination Meeting held with PECO to review trail alignment 4/6/22. Final trail alignment approved by PECO. New agreement provided by PECO for trail and parking lot.
- Preliminary Design plans finalized and updated cost estimate being prepared.

2020 GREEN LIGHT GO SUBMISSION

- York Road Signal upgrades (Terwood Road to Newington Road) - Addition of video\radar detection, pedestrian countdown timers, and controller upgrades.
- Grant Award - \$147,760. Township match \$36,940.
- Plans were submitted on 6/14 for PennDOT signatures. Anticipating Fall Bid.

BONNET LANE PARK – PHASE 1 ROADWAY CONNECTIONS AND ACCESSES

- Improvements to provide new road connection from Mill Road to Bonnet Lane, with turning lane on Mill Road. Closure of Bonnet Lane between St. Dunstons and Burnbridge, and installation of parking lot per Bonnet Lane park master plan
- Local Share Account – Statewide grant submission made 3/15/2022

2022 GRANT SCHEDULE

- PennDOT Multimodal Transportation Fund – Fall 2022
- Green Light Go – Fall 2022

July 2022 EAC Report to CDC

At our July 6, 2022 meeting we heard a presentation by Bill Sabey on Ready for 100 update. This program encourages communities to set goals to achieve using 100% renewable energy. Many of our surrounding communities have done so, including Hatboro, Ambler, Abington, Cheltenham and many others. Although the upfront costs of solar and geothermal are significant, over time they save a great deal of money.

We will be planting a willow oak at the elementary school in September and providing this educational sign with it.

We Need Trees!



The diagram on the left illustrates the water cycle with labels for Condensation, Precipitation, Surface runoff, Evaporation, Transpiration, Groundwater, and Aquifer. It shows water evaporating from the ocean and transpiring from trees, forming clouds that precipitate as rain or snow. Some water runs off into the ocean, while some infiltrates the ground to become groundwater or an aquifer.

The four photos on the right show native wildlife: a squirrel, a woodpecker, a owl, and a woodpecker.

- Trees play an essential role in the global water cycle.
- Leaves absorb harmful pollutant gases such as carbon dioxide from the atmosphere.
- Leaves release oxygen into the air during photosynthesis.
- Shade created by a tree's canopy cools the air, ground, and water, and helps to stabilize the climate.
- Roots absorb stormwater runoff, remove pollutants from the water, and prevent erosion.
- Trees are beautiful and have been proven to promote mental well-being in humans.

- Trees that are native to Pennsylvania and Eastern North America, like this willow oak tree, support native wildlife and are part of the native ecosystem.
- Trees provide cover, shelter, a site for nesting, and food sources for native wildlife.
- Old growth forests are the most beneficial habitat for native wildlife.
- Oak trees provide the highest wildlife value.



Our survey on having a plastic bag ban in Upper Moreland ran for three weeks at the library. Overall the response did not favor a ban. People want free bags available at stores. Our survey did not include questions about having paper bags available instead. We will increase our educational efforts on the significant negative environmental impacts of plastics.

We will be clearing invasive vines from the trees at Veterans Memorial Park on July 30th at 9:30 am. Everyone is welcome to join us!

We have two questions:

1. Where does the 'shade tree council' implementation stand? Are there any rules, purposes, duties, personnel, etc. defined?
2. What would the next steps be to install a reusable water bottle filling fountain at Masons Mill Park?