

# Regular Meeting

**UPPER MORELAND TOWNSHIP**  
**Public Hearing and Regular Meeting**  
**August 1, 2022 at 7:00 p.m.**

*AGENDA ITEMS ARE SUBJECT TO CHANGE*

**INSTRUCTIONS TO JOIN:**

**Go to Zoom.us.** Click "Join a Meeting"      Webinar ID: 917 5771 7982      Password: 182130

**Join by Phone:** Dial 1-929-205-6099      Webinar ID: 917 5771 7982      Password: 182130

**Public comments via email have been discontinued and must be stated in person at the meeting.**

*\*\*Residents requiring special accommodations:  
please call the Township during normal business hours at 215-659-3100 x1058 or x1057\*\**

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- I.      **Call Meeting to Order**
  - II.     **Moment of Silent Meditation/Pledge of Allegiance**
  - III.    **Roll Call**
  - IV.    **Presentations/Announcements:**
    - **Motion to Approve** the conditional appointment of Mark A. Woltemate as a Probationary Police Officer. Such appointment is conditional upon successful completion of medical and psychological examinations.
      - District Justice Paul Leo to conduct Oath of Office and swearing-in of Mark A. Woltemate as a Probationary Police Officer.
    - **Motion to Approve** the promotion of Detective Sergeant James J. Kelly to Lieutenant of the Upper Moreland Township Police Department.
      - District Justice Paul Leo to conduct Oath of Office and swearing-in of Lieutenant James J. Kelly.

**PUBLIC HEARING**

**PUBLIC HEARING #1958 – 7:00 P.M.** – To receive public comments concerning the Comcast Franchise Agreement in keeping with the requirements of the Federal Cable Communications Act with respect to the renewal of their franchise agreement with Upper Moreland Township (attachments).

**REGULAR MEETING**

- V.      **Public Comments – Non-Agenda Items Only**
- VI.     **Treasurer's Activity Report – July 2022** (provided Monday evening due to month-end date)
- VII.    **Approval of Minutes – July 11, 2022** (attachment)
- VIII.   **Committee Recommendations**
  - A. **Finance & Administrative Committee – July 25, 2022** – The Committee recommends the Board of Commissioners take action on the following:
    - 1. Appointments/Reappointments – **Motion to Approve** the following appointments and reappointments:

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- a. The reappointment of Lisa Marsteller as an At Large member on the **Parks and Recreation Advisory Council** to serve a new two-year term to expire on June 30, 2024.
- b. The appointment of Joseph Chrostowski as an Alternate member on the **Police and Fire Civil Service Commission** to fill the vacancy left by Jack Dunleavy, Sr. and complete the remainder of the current six-year term that will expire on August 7, 2023.
- c. **Motion to Approve Resolution R-2022-27**, the appointment of Raymond Fox, Jr. from an alternate member to a voting member on the **Zoning Hearing Board**, filling the vacancy left by Francis J. Calter and complete the remainder of the current term that will expire on December 31, 2026 (attachment).

2. List of Bills Payable (attachment) – The Committee recommends the approval of:

General Funds Checks:	Beginning Check No.: <u>134854</u>
	Ending Check No.: <u>135130</u>
General:      \$ <u>1,020,637.25</u>	
Debt:          \$ <u>2,648.33</u> (Check No.134911, 134976, 134977)	
Capital:      \$ <u>-----</u>	
Total:        \$ <u>1,023,285.58</u>	
Voids: <u>=====</u>	

Escrow Fund Checks:	Beginning Check No.: <u>9451</u>
	Ending Check No.: <u>9488</u>
Total:        \$ <u>6,590.72</u>	
Voids: <u>=====</u>	

Liquid Fuel Fund Checks:	Beginning Check No.: <u>3008</u>
	Ending Check No.: <u>3013</u>
Total:        \$ <u>186,105.46</u>	
Voids: <u>-----</u>	

4. Other Items:
  - a. **Motion to Approve** the Donation Agreement between Upper Moreland Township and the Willow Grove Community Development Corporation (attachment).
5. New Business

**UPPER MORELAND TOWNSHIP**  
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**B. Community Development Committee – July 18, 2022** – The Committee recommends the Board of Commissioners take action on the following:

1. Code Enforcement
2. Land Development/Subdivision Applications:
  - a. **Motion to Approve Resolution R-2022-28** – Granting a minor land development application by New Century Associates for the property located at 2010 County Line Road at the Marketplace at Huntingdon Valley, for the reuse of a former bank building conversion to Chipotle Restaurant (attachment).
3. List of Upcoming Zoning Hearing Board Applications – No hearings scheduled for the month of August, 2022.
4. Other Items:
  - a. **Motion to Approve Resolution R-2022-29** – Granting Walmart Corporation's request to amend Resolution R-2022-20 for the placement of an additional six (6) portable storage units at the property located at 2101 Blair Mill Road, for the period of October 1, 2022 to December 31, 2022 (attachment).

**C. Public Health & Safety Committee – July 25, 2022** – No items for the Board of Commissioners' consideration.

**D. Parks & Recreation Committee – July 25, 2022** – The Committee recommends the Board of Commissioners take action on the following:

1. **Motion to Approve** Gilmore & Associates, Inc.'s scope and engineering cost proposal for the Farmstead Park improvement project in the amount of \$38,950 (attachment).
2. **Motion to Approve** a permit for Calvary Christian Academy to use Masons Mill Park Tennis courts 5, 6 and 7, from August 15 to October 15, 3:15PM to 5:30PM, Monday through Friday (attachment).

**IX. Commissioner Comments**

**X. Adjournment**

**Upper Moreland Township  
Board of Commissioners - Regular Meeting  
July 11, 2022 Meeting Minutes**

**Board of Commissioners Members:** Commissioner and President, Clifton "Kip" McFatridge; Commissioner and Vice President Cheryl Lockard; Commissioners Nicholas O. Scull, Kevin C. Spearing, Charles M. Whiting, Anthony S. Prousi, and R. Samuel Valenza.

- I. **Call to Order:** The Regular Meeting of the Board of Commissioners of Upper Moreland Township was called to order by Board President McFatridge.
- II. **Moment of Silent Meditation/Pledge of Allegiance:**  
Commissioner McFatridge asked everyone to keep Randy Schaible, Assistant Township Manager/Director of Finance in their thoughts at this time during the loss of his brother.
- III. **Roll Call:** Commissioner and Board President McFatridge, Commissioner and Vice President Lockard; Commissioners Valenza, Spearing, Whiting, Scull, Prousi. Absent: Randy Schaible, Assistant Township Manager/Director of Finance. Also present: Matthew H. Candland, Township Manager, Sean Kilkenny, Township Solicitor.
- IV. **Presentations/Announcements:**
  - A. District Justice Paul Leo to conduct Oath of Office and swearing-in of Sidney D. Schwartz as a Probationary Police Officer:
    - Chief Andrew Block provided career background on Officer Schwartz.
    - District Justice Paul Leo conducted the Oath of Office and swearing-in of Sidney D. Schwartz as a Probationary Police Officer.
  - B. **Motion to Approve** an honorable discharge to Patrol Officer Scott S. Metheny from the Upper Moreland Township Police Department, and in recognition of his retirement effective July 14, 2022, present a proclamation for his service to the residents of Upper Moreland Township:
    - Chief Andrew Block congratulated Officer Metheny on his career of 28-1/2 years and his service in various capacities locally and nationally.
    - Commissioner McFatridge commended Officer Metheny for his work throughout the Township.
    - Commissioner Spearing motioned, seconded by Commissioner Prousi and the Board of Commissioners approved by a vote of 7-0.

**REGULAR MEETING**

- V. **Public Comments** - Nothing to report.
- VI. **Treasurer's Activity Report – June 2022:**
  - Commissioner Valenza motioned, seconded by Commissioner Spearing and the Board of Commissioners approved by a vote of 7-0, the report as submitted.
- VII. **Approval of Minutes – June 6, 2022 - Regular Meetings:**
  - Commissioner Valenza motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0, the minutes as submitted.

VIII. **Committee Recommendations:**

A. **Finance & Administrative Committee – June 20, 2022** – The Committee recommends the Board of Commissioners take action on the following:

1. **Appointments/Reappointments:**

- a. **Motion to Approve** the reappointment of Gerald T. Foley as a Ward 6 representative on the **Advisory Planning Agency** to serve a new two-year term to expire on June 1, 2024.
- b. **Motion to Approve** the reappointment of Michael Chauveau as an At Large member on the **Parks and Recreation Advisory Council** to serve a new two-year term to expire on May 5, 2024.
- Commissioner Valenza motioned, seconded by Commissioner Lockard and the Board of Commissioners approved the above reappointments by a vote of 7-0.

2. List of Bills Payable:

- Commissioner Valenza motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.

3. Other Items:

- a. **Motion to Approve** the advertisement of a public hearing to be set on August 1, 2022 to receive public comments on the Comcast Franchise Agreement.
  - Commissioner Valenza motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.
- b. The Committee announced that the August 15, 2022 Finance & Administrative Committee Meeting has been canceled.

4. New Business – Nothing to report.

B. **Community Development Committee – June 13, 2022:**

1. **Code Enforcement** - Nothing to report.

2. **Land Development/Subdivision Applications:**

- a. **Motion to Approve Resolution R-2022-24** – Granting conditional preliminary/final subdivision approval for a minor lot subdivision for the property located at 3827 Betz Road:
  - The Committee motioned and seconded, and the Board of Commissioners unanimously approved Waivers A. through F. by a vote of 7-0; Waiver B. was approved by a vote of 6-1 (6 aye: Commissioners Scull, Prousi, Spearing, McFatridge, Valenza and Whiting; 1 nay: Commissioner Lockard).
  - Commissioner Spearing motioned, seconded by Commissioner Valenza and the Board of Commissioners approved by a vote of 7-0 an amended Resolution.

3. **List of Upcoming Zoning Hearing Board Applications:**

- Commissioner Spearing read three applications that will be heard at the July 14, 2022 meeting.

4. **Other Items:**

- a. **Motion to Approve Resolution R-2022-25** – Granting John and Kate Cox a waiver from payment of the Township's Transportation Impact Fee for improvements at the property located at 2355 Douglas Lane:
  - Commissioner Spearing motioned, seconded by Commissioner Valenza and the Board of Commissioners approved by a vote of 7-0.

**Upper Moreland Township  
Board of Commissioners - Regular Meeting  
July 11, 2022 Meeting Minutes**

- b. **Motion to Approve Resolution R-2022-26** – Granting 714 Easton Real Estate, LLC’s request for a conditional waiver from section 65-10 of the Township’s code of ordinances to allow for the issuance of an amusement device license at the premises located less than 300 feet from a residential zoning district at the property located at 714 Easton Road:
  - Commissioner Spearing motioned, seconded by Commissioner Valenza and the Board of Commissioners approved by a vote of 7-0.
- c. **Motion to Approve** the Wayfinding & Signage, Option 1B selection:
  - Commissioner Spearing motioned, seconded by Commissioner Valenza and the Board of Commissioners approved by a vote of 7-0.
- d. **Motion to Approve** the Township Building Renovation recommendations:
  - Commissioner Spearing motioned, seconded by Commissioner Valenza and the Board of Commissioners approved by a vote of 7-0.
- e. **Motion to Approve** the proposal by McMahon & Associates to submit the Highway Occupancy Permits for the installation of flood gates at various locations within the Township:
  - Commissioner Spearing motioned, seconded by Commissioner Valenza and the Board of Commissioners approved by a vote of 7-0.
- f. The Committee will announce a decision at a future meeting to hold the August 8, 2022 Community Development Committee Meeting.

C. **Public Health & Safety Committee – June 20, 2022** – The Committee recommends the Board of Commissioners take action on the following:

- 1. **Motion to Approve Ordinance No. 1731** – Removing certain parking prohibitions along Newington Drive; repealing all inconsistent ordinance, or parts thereof in conflict therewith; and providing for a severability clause and an effective date:
  - Commissioner Whiting motioned, seconded by Commissioner Spearing and the Board of Commissioners approved by a vote of 7-0.
- 2. **Motion to Approve Ordinance No. 1732** – Adoption of the Pennsylvania Construction Code Act, the 2018 International Fire Code applicable in the Commonwealth of Pennsylvania; repealing all inconsistent ordinance, or parts thereof in conflict therewith; and providing for a severability clause and an effective date:
  - Commissioner Whiting motioned, seconded by Commissioner Valenza and the Board of Commissioners approved by a vote of 7-0.

D. **Parks and Recreation Committee – June 20, 2022** – The Committee recommends the Board of Commissioners take action on the following:

- 1. **Motion Approve** Change Order #1 for the Woodlawn School Demolition project, to account for the removal/disposal of recycled concrete and import, place, compact soil backfill:
  - Commissioner Scull motioned, seconded by Commissioner Valenza and the Board of Commissioners approved by a vote of 7-0.

IX. **Commissioner Comments** – Nothing to report.

X. **Visitor Comments** – Nothing to report.

**Upper Moreland Township  
Board of Commissioners - Regular Meeting  
July 11, 2022 Meeting Minutes**

XI.    **Adjournment:** There being no further business to discuss, the meeting was adjourned at 8:10 p.m.

Respectfully submitted by Kathleen Kristire.

**UPPER MORELAND TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA**

**RESOLUTION R-2022-27**

**A RESOLUTION BY THE UPPER MORELAND TOWNSHIP BOARD OF COMMISSIONERS APPOINTING MEMBERS TO THE UPPER MORELAND TOWNSHIP ZONING HEARING BOARD.**

**WHEREAS,** The Pennsylvania Municipalities Planning Code, Act 247 of 1968, as reenacted and amended, requires that members of the Upper Moreland Township Zoning Hearing Board be appointed by Resolution of the Upper Moreland Township Board of Commissioners; and

**WHEREAS,** current Zoning Hearing Board Member Francis J. Calter has submitted his resignation from his position on the Board; and

**WHEREAS,** the Board of Commissioners desires to appoint current alternate member Ray Fox to fill the vacancy left by Francis J. Calter to the Upper Moreland Township Zoning Hearing Board and to serve the remainder of his term.

**NOW, THEREFORE, BE IT RESOLVED,** by the Upper Moreland Township Board of Commissioners that the following member is hereby appointed to the Upper Moreland Township Zoning Hearing Board, for the specified term and position:

1. Ray Fox, Member  
Appointment: 8/1/2022  
Term Expiration: 12/31/2026 (remainder of term of Francis J. Calter)

**DULY PRESENTED AND ADOPTED** by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, this 1st day of August, 2022.

ATTEST:

**UPPER MORELAND TOWNSHIP  
BOARD OF COMMISSIONERS**

\_\_\_\_\_  
Matthew H. Candland, Secretary

\_\_\_\_\_  
Clifton McFatridge, President

## REGULAR MEETING MONDAY EVENING FOR UPPER MORELAND TOWNSHIP

08/01/2022

BILLS PAID TO BE APPROVED

07/01/22 - 07/29/22

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*134854	1015 N. YORK ROAD, LLC	REFUSE COLLECTION FEE REFUND	210.70 01-364-600-	210.70	210.70
01*134855	AHOLD FINANCIAL SERVICES	MAT'LS. & SUPPLIES - REC.	66.84 01-452-247-	66.84	228.88
		MAT'LS. & SUPPLIES - REC.	162.04 01-452-247-	162.04	
01*134856	ALLIED LANDSCAPE SUPPLY	1CY SOIL	43.00 01-439-740-	43.00	43.00
01*134857	AMY NOVINA	REFUND FOR GIRLS' SOCCER	125.00 01-367-000-	125.00	125.00
01*134858	ARDMORE TIRE, INC.	#650 PARKS AND REC	59.00 01-430-330-	59.00	138.00
		SANITATION	79.00 01-430-330-	79.00	
01*134859	ARTISTIC SCREEN DESIGNS	(27) T-SHIRTS	173.50 01-452-200-	173.50	173.50
01*134860	BILLOWS ELECTRIC SUPPLY INC.	(2) WASP AND ANT KILLER	13.50 01-430-373-	13.50	13.50
01*134861	BURGER KING #1579	PRISONER MEALS	271.84 01-410-240-	271.84	271.84
01*134862	CITY ELECTRIC SUPPLY	RADIO ROOM 2X4 PNL LED 50W SWT	84.62 01-411-360-	84.62	84.62
01*134863	COLLEEN HARTER	REFUND FOR GIRLS' SOCCER	125.00 01-367-000-	125.00	125.00
01*134864	COMCAST CABLE	8499101410218777- VOL FIRE WG	111.46 01-411-327-	111.46	111.46
01*134865	DAWN LEARY	REFUND FOR GIRLS' SOCCER	125.00 01-367-000-	125.00	125.00
01*134866	DAWN MONAGHAN	REFUND FOR GIRLS' SOCCER	125.00 01-367-000-	125.00	125.00
01*134867	DEJANA EQUIPMENT CO.	10 PIN HARNESS ADAPTER	115.53 01-430-330-	115.53	115.53
01*134868	DELTA DENTAL OF PENNSYLVANIA	JULY 2022 COVERAGE	8,100.00 01-486-156-	8,100.00	8,100.00
01*134869	EASTERN AUTOPARTS WAREHOUSE	MAY 2022 STATEMENT	1,439.47 01-430-330-	1,439.47	2,866.90
		JUNE 2022 STATEMENT	1,427.43 01-430-330-	1,427.43	
01*134870	ELIZABETH FROOM	REFUND FOR DRAMARAMA JR CAMP	125.00 01-367-000-	125.00	125.00
01*134871	EMILIE DORMER	REIMBURSEMENT FOR 11 MISSING S	105.87 01-452-247-	105.87	105.87
01*134872	FEENEY'S WHOLESALE NURSERY	12 CHERRY LAURALS (NATIVE) FOR	1,692.00 01-454-740-	1,692.00	1,692.00
01*134873	GEORGE ALLEN PORTABLE	WILLOW GROVE PARK 06/17-07/14/	74.00 01-454-450-	74.00	74.00
01*134874	GLICK FIRE EQUIPMENT CO., INC.	(12) LOUVER ROUND EVAPORATOR	89.64 01-411-372-	89.64	1,649.64
		CAT 8 PUMP FLOW TEST SQUAD 10-	390.00 01-411-372-	390.00	
		CAT 8 PUMP FLOW TEST SQUAD 10	390.00 01-411-372-	390.00	
		CAT 8 PUMP FLOW TEST QUINT 10	390.00 01-411-372-	390.00	
		CAT 8 PUMP FLOW TEST ENGINE 10	390.00 01-411-372-	390.00	
01*134875	HAVIS-SHIELDS EQUIP.CORP.	CAR 35-05	2,367.20 01-410-317-	2,367.20	2,367.20
01*134876	IT'S SOLD HERE, INC	BUSINESS PRIVILEGE TAX REFUND	18.00 01-310-800-	18.00	18.00
01*134877	JAMES D. MORRISSEY, INC.	DAVISVILLE & BYBERRY INTERSECT	30,647.60 01-430-372-	30,647.60	30,647.60
01*134878	JENNIFER HARTIGAN	MILEAGE REIMBURSEMENT FOR JUNE	11.70 01-452-240-	11.70	11.70
01*134879	JODIE PELLISH	REFUND FOR GIRLS' SOCCER	125.00 01-367-000-	125.00	125.00
01*134880	JOHN FUGELO	TOLLS FOR TRAINING	101.91 01-411-460-	68.00	101.91
		BUNGEE CORD	01-411-372-	33.91	
01*134881	KATIE KOLLAR	APR, MAY, JUNE 2022 MILEAGE RE	288.41 01-452-240-	288.41	288.41
01*134882	KATIE VIERECK	REFUND FOR GIRLS' SOCCER	125.00 01-367-000-	125.00	125.00
01*134883	KEYSTONE FIRE PROTECTION CO	MONITORING SERVICE-FIRE DEPT 0	560.00 01-411-360-	560.00	560.00
01*134884	KEYSTONE HEALTH PLAN EAST	JULY 2022 STATEMENT	237,053.32 01-486-156-	237,053.32	237,053.32
01*134885	KIMBERLY KLINGER	REFUND FOR 2ND WEEK TEEN TREK	200.00 01-367-000-	200.00	200.00
01*134886	KOWLOON CLEANERS	(3) SEW SHIRTS	36.00 01-410-238-	36.00	36.00
01*134887	KRISTEN WIEST	REFUND FOR GIRLS' SOCCER	125.00 01-367-000-	125.00	125.00

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*134888	LAUREN GREIMAN	REFUND FOR GIRLS' SOCCER	125.00 01-367-000-	125.00	125.00
01*134889	LYNN MEKLIN	PARTIAL REFUND WEE PLAY SPORTS	10.00 01-367-000-	10.00	10.00
01*134890	MAIN STREAM INDUSTRIES INC.	6x4 x 30 post sleeves Turnpike	780.00 01-439-740-	780.00	780.00
01*134891	MATTHEW SNYDER	UNIFORM ALLOWANCE 2022	23.75 01-410-238-	23.75	23.75
01*134892	MCDONALD UNIFORMS	UNIFORMS- C.BALD	19.00 01-410-238-	19.00	19.00
01*134893	MCDONALD UNIFORMS	PATROL RADIO POUCH	14.99 01-410-238-	14.99	1,891.01
		(3) COMMONWEALTH SEALS, (1) DE	459.00 01-410-238-	459.00	
		(34) PATCHES	196.00 01-410-238-	196.00	
		UNIFORM EXPENSES	164.97 01-415-238-	164.97	
		UNIFORM EXPENSES	109.98 01-415-238-	109.98	
		UNIFORM EXPENSES	164.97 01-415-238-	164.97	
		UNIFORM EXPENSES	54.99 01-415-238-	54.99	
		(20) PATCHES	110.00 01-410-238-	110.00	
		UNIFORM EXPENSES	336.17 01-415-238-	336.17	
		UNIFORM EXPENSES	181.96 01-415-238-	181.96	
		(2) SHIRTS, (4) PATCHES	97.98 01-410-238-	97.98	
01*134894	MIKE COX	SAFETY SHOES	300.00 01-415-238-	300.00	300.00
01*134895	MOYER INDOOR/OUTDOOR	RD 2- TERWOOD PK	400.00 01-454-450-	400.00	4,560.00
		RD 2 UMT BUILDING	153.00 01-454-450-	153.00	
		RD 2- WOODLAWN PARK	771.00 01-454-450-	771.00	
		RD 2 MASONS MILL PK	1,818.00 01-454-450-	1,818.00	
		RD 2 FARMSTEAD PK	441.00 01-454-450-	441.00	
		RD 2- FERN VILLAGE PK	473.00 01-454-450-	473.00	
		RD 2- WILLOW GROVE PARK	504.00 01-454-450-	504.00	
01*134896	MOYER LAWN CARE	FAIR OAKS PARK- ONE TIME SERVI	1,196.00 01-454-450-	1,196.00	1,196.00
01*134897	PENDERGAST SAFETY	3 DZ GLOVES	207.06 01-427-192-	207.06	207.06
01*134898	PHILA OCCHEALTH	06/30 S. SCHWARTZ	539.26 01-410-240-	539.26	539.26
01*134899	SIRCHIE	(2) TEST 05- DUQUENOIS- LEVINE	59.74 01-410-240-	59.74	59.74
01*134900	T.W. REISS, INC.	PARKS & REC- REGULATOR, TORO B	179.08 01-430-330-	179.08	179.08
01*134901	THE STANDARD INSURANCE	JULY STATEMENT	5,790.40 01-486-156-	5,790.40	5,790.40
01*134902	TODD SMITH	DETECTIVE SUPPLIES	49.79 01-410-240-	49.79	211.96
		SPOTTING SCOPE	162.17 01-410-238-	162.17	
01*134903	TOM SAWYER AUTO REPAIR	VEHICLE EMISSIONS	600.00 01-430-330-	600.00	600.00
01*134904	TRUCK PRO	BATT DISC #438	95.56 01-430-330-	95.56	95.56
01*134905	UNIFIRST CORPORATION	UNIFORM MAINTENANCE	400.30 01-427-191-	200.15	400.30
		UNIFORM MAINTENANCE	01-430-191-	200.15	
01*134906	UPPER MORELAND FREE LIBRARY	CONTRIBUTION TO LIBRARY JULY -	215,157.00 01-456-520-	215,157.00	215,157.00
01*134907	WILLOW GROVE FIRE COMPANY	FUEL SAWZALL	328.00 01-411-242-	328.00	819.11
		HOSE NOZZLE, SHUTOFF COUPLING	13.96 01-411-373-	13.96	
		JUNE 2022 PHONE BILL	206.52 01-411-327-	206.52	
		JULY 2022 PHONE BILL	206.52 01-411-327-	206.52	
		BUILDING JANITORIAL	64.11 01-411-226-	64.11	
01*134908	WOMEN'S HEALTH NETWORK, LLC	BUSINESS PRIVILEGE TAX REFUND	965.75 01-310-800-	965.75	965.75
01*134909	WORKPLACE CENTRAL	MATERIALS & SUPPLIES	28.11 01-415-200-	28.11	79.96
		2 CASE WATER	17.16 01-401-200-	17.16	
		PAPER	34.69 01-401-200-	34.69	
01*134910	Y-PERS, INC.	TOILET PAPER, AJAX LAUNDRY, TO	482.12 01-430-330-	482.12	482.12
01*134912	ACCESS LOCK TECHNOLOGIES, INC.	Furnish and Install Digital Lo	1,100.00 01-409-373-	1,100.00	1,807.10
		HEAVY DUTY DOOR CLOSER- UMT	707.10 01-409-373-	707.10	
01*134913	AMAZON CAPITAL SERVICES	SOFTCARE LOTIONIZED SOAP	65.11 01-409-200-	65.11	65.11

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*134914	AQUA PA	0003099050309905- 05/31-06/30/	2,628.44	01-411-363-	2,628.44	2,628.44
01*134915	AQUA PA	0004308690389901- 05/31-06/30/	285.70	01-411-363-	285.70	285.70
01*134916	BARBARA GAROFALO	BULK REFUND- PERMIT 151494	48.00	01-364-300-	48.00	48.00
01*134917	BKH ELECTRICAL INC	LED UPGRADE- LIBRARY	625.00	01-409-373-	625.00	3,025.00
		REPLACE LIGHTS IN FRONT AND RE	2,400.00	01-409-373-	2,400.00	
01*134918	BOB ROSSER	2ND QUARTER PHONE ALLOWANCE- 2	105.00	01-401-320-	105.00	105.00
01*134919	BRIGID TURNER	PARTIAL REFUND FOR SUP PLAYGRO	250.00	01-367-100-	250.00	250.00
01*134920	CITY ELECTRIC SUPPLY	(6) TAMLITE- LIBRARY	330.00	01-409-373-	330.00	1,574.71
		BOLTS, WASHERS, CONNECTORS, WI	157.05	01-409-373-	157.05	
		(6) ORBIT 4BCK	7.66	01-409-373-	7.66	
		(1) 2X2 FLAT PANEL SURFACE KIT	40.00	01-409-373-	40.00	
		(8) 2X2 FLAT PANEL SURFACE KIT	320.00	01-409-373-	320.00	
		(8) 2X2 CENTER ELEMENT TROFFER	720.00	01-409-373-	720.00	
01*134921	CLARK HILL	LEGAL SERVICES THROUGH 05/31/2	940.50	01-402-314-	940.50	940.50
01*134922	CLEAN NET USA	JANITORIAL SERVICE FOR JULY 20	2,075.00	01-409-450-	2,075.00	2,075.00
01*134923	CLIFTON LARSON ALLEN LLP	PROGRESS BILLING FOR SVS YEAR	13,650.00	01-402-100-	13,650.00	13,650.00
01*134924	COMCAST CABLE	8499101410185414- 07/03-08/02	113.05	01-411-327-	113.05	842.32
		849910141024512- PILEGGI PK 06	143.05	01-401-320-	143.05	
		8499101410258401- BOILEAU PK 0	204.05	01-401-320-	204.05	
		8499101380374931- UMT 07/09-08	328.39	01-401-320-	328.39	
		8499101380374949: 07/09-08/08	53.78	01-401-320-	53.78	
01*134925	COMSTAR TECHNOLOGIES	DPW- SONIC WALL SUPPORT ANNUAL	1,102.20	01-401-374-	1,102.20	1,102.20
01*134926	COOPER MECHANICAL SERVICES	ANNUAL INSPECTION OF FIRE SPRI	1,050.00	01-409-373-	1,050.00	1,330.00
		ANNUAL INSPECTION OF FIRE SPRI	280.00	01-409-373-	280.00	
01*134927	COURIER TIMES, INC.	BUILDING MAINTENANCE WORKER PT	1,171.40	01-401-340-	1,171.40	1,171.40
01*134928	COVANTA ENERGY, LLC	06/16-06/30/22	17,870.42	01-427-365-	17,870.42	17,870.42
01*134929	DAVID CHUBB	2ND QUARTER PHONE ALLOWANCE- 2	105.00	01-401-320-	105.00	105.00
01*134930	DOUGHERTY LANDSCAPING INC.	42 RUSSELL- MOW HIGH GRASS	75.00	01-413-450-	75.00	75.00
01*134931	DYLAN COSTELLO	PAYMENT FOR SUMMER CONCERT LEA	30.00	01-452-450-	30.00	30.00
01*134932	EARLY LIFE	REFUND FOR PAVILION	240.00	01-367-000-	240.00	240.00
01*134933	ERA HOLDINGS, LLC	BUSINESS PRIVILEGE TAX REFUND	521.75	01-310-800-	521.75	521.75
01*134934	FELICE PARKER	PARTIAL REFUND FOR 2ND CHILD D	25.00	01-367-100-	25.00	25.00
01*134935	GEORGE ALLEN PORTABLE TOILETS	WOODLAWN PARK - 07/06-08/02/22	74.00	01-454-450-	74.00	666.00
		MASON MILL PK - 07/06-08/02/22	74.00	01-454-450-	74.00	
		UMMS (2) - 07/06-08/02/22	148.00	01-454-450-	148.00	
		TERWOOD PARK - 07/06-08/02/22	74.00	01-454-450-	74.00	
		BOILEAU PARK - 07/06-08/02/22	74.00	01-454-450-	74.00	
		UMHS (2) - 07/06-08/02/22	148.00	01-454-450-	148.00	
		FAIR OAKS PARK 07/06-08/02/22	74.00	01-454-450-	74.00	
01*134936	H.A. BERKHEIMER, INC.	EARNED INCOME TAX COLLECTOR- J	2,712.52	01-402-312-	2,712.52	2,712.52
01*134937	HEATHER MULHERIN	PARTIAL REFUND FOR 2ND CHILD	25.00	01-367-100-	25.00	25.00
01*134938	JAMES D. MORRISSEY, INC.	DAVISVILLE & BYBERRY PAYMENT #	18,355.70	01-430-372-	18,355.70	18,355.70
01*134939	JENNIFER HARTIGAN	2ND QUARTER PHONE ALLOWANCE- J	35.00	01-401-320-	35.00	35.00
01*134940	JESSICA ROBINSON	PAYMENT FOR SUMMER CONCERT LEA	30.00	01-452-450-	30.00	30.00
01*134941	JOE DOUGHERTY	2ND QUARTER PHONE ALLOWANCE- 2	105.00	01-401-320-	105.00	105.00
01*134942	JOE RIELLY	2ND QUARTER PHONE ALLOWANCE- 2	105.00	01-401-320-	105.00	105.00
01*134943	JOHN FUGELO	2ND QUARTER PHONE ALLOWANCE- 2	105.00	01-401-320-	105.00	105.00
01*134944	JUST CLEANING SERVICES, INC.	TOP SCRUB HALL, APPLIED (2) CO	495.00	01-411-360-	495.00	495.00
01*134945	KATIE KOLLAR	2ND QUARTER PHONE ALLOWANCE- 2	105.00	01-401-320-	105.00	105.00
01*134946	KILKENNY LAW	GENERAL UMT - JUNE, 2022	8,546.00	01-402-314-	8,546.00	16,017.00

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
		TAX ASSESSMENT APPEALS -JUNE,	46.50 01-402-314-	46.50	
		BPT - JUNE, 2022	2,883.00 01-402-314-	2,883.00	
		WILLOW GROVE SHOPPING CTR- JUN	604.50 01-402-314-	604.50	
		COUNTY LINE RD ZHB- JUNE, 2022	1,581.00 01-402-314-	1,581.00	
		COUNTY LINE RD INJUNCTION-JUNE	806.00 01-402-314-	806.00	
		WARMINSTER ROAD SIDEWALK PRJT-	1,550.00 01-402-314-	1,550.00	
01*134947	KONA ICE KING OF PURSSIA	(168) KONA ICE SUMMER CAMP VIS	403.20 01-452-905-	403.20	403.20
01*134948	LEXISNEXIS	06/01 - 06/30/22	150.00 01-401-240-	150.00	150.00
01*134949	MARISOL DAVILLA	REFUND FOR PAVILION	140.00 01-367-000-	140.00	140.00
01*134950	MCCLOSKEY & FABER, P.C.	TOWNSHIP CONSULTING - 04/28-05	400.50 01-430-313-	400.50	2,920.70
		2290 COMPUTER AVE- 04/28-05/25	52.60 01-430-313-	52.60	
		2321 BLAIR MILL RD 04/28-05/25	52.00 01-430-313-	52.00	
		WGSC PAD SITE - 04/28-05/25/22	53.60 01-430-313-	53.60	
		2700 TURNPIKE DR - 04/28-05/25	52.00 01-430-313-	52.00	
		3827 BETZ RD - 04/28-05/25/22	522.50 01-430-313-	522.50	
		2425 BLAIR MILL - 04/28-05/25/	629.50 01-430-313-	629.50	
		FAIR OAKS BASIN- 04/28-05/25/2	1,158.00 01-130-100-	1,158.00	
01*134951	MCDONALD UNIFORMS	(7) CITATION BARS	131.23 01-415-240-	131.23	131.23
01*134952	MICHAEL GIOVINAZZO	2ND QUARTER PHONE ALLOWANCE- 2	105.00 01-401-320-	105.00	105.00
01*134953	PA RECREATION & PARK SOCIETY	CONSIGNMENT TICKET SALES FOR J	1,728.00 01-452-900-	1,728.00	1,728.00
01*134954	PAM STEINBERG	REFUND FOR PICKLEBALL	90.00 01-367-000-	90.00	90.00
01*134955	PARTY FAIR	SUMMER CAMP TRIPS	69.54 01-452-905-	69.54	69.54
01*134956	PATRICIA BARR	PARTIAL REFUND FOR PAVILION	10.00 01-367-000-	10.00	10.00
01*134957	PATRICK STASIO	2ND QUARTER PHONE ALLOWANCE- 2	105.00 01-401-320-	105.00	105.00
01*134958	PECO ENERGY-PAYMENT PROCESSING	79312-00105: PILEGGI 06/07-07/	209.61 01-454-360-	209.61	209.61
01*134959	PECO ENERGY-PAYMENT PROCESSING	1415145006- STORAGE BLDG 06/02	38.74 01-409-360-	38.74	38.74
01*134960	PEREGRINE ASSOCIATES	BUSINESS PRIVILEGE REGISTRATIO	634.02 01-401-200-	634.02	634.02
01*134961	PETER ADAMOW	2ND QUARTER PHONE ALLOWANCE- 2	105.00 01-401-320-	105.00	105.00
01*134962	ROSE HUBER	PARTIAL REFUND FOR PAVILION	70.00 01-367-000-	70.00	70.00
01*134963	RUSS WHELAN DOORS &	Furnish and Install a Continuo	1,040.00 01-409-373-	1,040.00	10,240.00
		Furnish and Install Overhead D	9,200.00 01-409-373-	9,200.00	
01*134964	SIMONE COLLINS	WOODLAWN PARK MASTER PLAN- SER	7,440.33 01-130-100-	7,440.33	7,440.33
01*134965	STANLEY SHOEMAKER	PAYMENT FOR PICKLEBALL- LEARN	325.00 01-452-450-	325.00	325.00
01*134966	STEPHANIE KOSHERZENKO	REFUND CANCELLATION LAST 4 WKS	400.00 01-367-000-	400.00	400.00
01*134967	SUSSMAN, INC	BUSINESS PRIVILEGE TAX REFUND	560.00 01-310-800-	560.00	560.00
01*134968	THE KSA GROUP LLC	CONSULTING GRAD DEVELOPMENT AS	4,500.00 01-401-450-	4,500.00	4,500.00
01*134969	U-COMP	2ND QUARTER 2022	7,985.93 01-486-162-	7,985.93	7,985.93
01*134970	UNIFIRST CORPORATION	(1) LS HENLEY-RIGGS WORKWEAR	30.50 01-454-200-	30.50	30.50
01*134971	VERIZON	250350262000116: 07/01-07/31	40.47 01-401-320-	40.47	168.47
		156882052000125: 07/04-08/03	45.18 01-401-320-	45.18	
		450724913000147: 07/03-08/21	82.82 01-401-320-	82.82	
01*134972	VFIS	REF# 45-700: TRAIN THE TRAININ	798.00 01-411-460-	798.00	798.00
01*134973	VICTORY GARDEN'S INC.	4 CU YD BROWN DYED	88.00 01-454-200-	88.00	88.00
01*134974	WORKPLACE CENTRAL	TONER	158.48 01-401-320-	158.48	1,161.21
		TONER	48.62 01-401-320-	48.62	
		GENERAL FIRE POLICE	67.08 01-411-240-	67.08	
		REFILL TIMMST, SOAP	121.43 01-409-200-	121.43	
		MATERIALS & SUPPLIES	272.84 01-413-200-	272.84	
		TONER	492.76 01-401-320-	492.76	
01*134975	YOUNGSCAPE INC.	Landscaping need at Fair Oaks	9,375.00 01-452-450-	9,375.00	9,375.00

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*134978	EXTRA SPACE STORAGE	MONTHLY RENTAL	418.00	01-401-450-	418.00	418.00
01*134979	PECO ENERGY-PAYMENT PROCESSING	2979900200: 06/01-06/30	17.94	01-430-373-	17.94	17.94
01*134980	PECO ENERGY-PAYMENT PROCESSING	0218801508: 05/31-06/29	525.20	01-430-373-	525.20	525.20
01*134981	PENNSYLVANIA STEEL COMPANY INC	(2) HOT ROLLED ANGLE, (3) HOT	773.95	01-430-330-	773.95	773.95
01*134982	ACTIVE 911 INC.	PERSONAL ALERTING SUBSCRIPTION	525.00	01-415-450-	525.00	525.00
01*134983	ADP, INC.	PAYROLL THROUGH 07/16/22	2,620.57	01-401-450-	2,620.57	3,456.57
		WORKFORCE NOW FOR 06/13/22 & 0	836.00	01-401-450-	836.00	
01*134984	AHOLD FINANCIAL SERVICES	MAT'LS. & SUPPLIES - REC.	75.67	01-452-247-	75.67	288.30
		REFUND FOR TAX ON INVOICE 5892	-2.28	01-452-247-	-2.28	
		MAT'LS. & SUPPLIES - REC.	35.12	01-452-247-	35.12	
		MAT'LS. & SUPPLIES - REC.	73.40	01-452-247-	73.40	
		MAT'LS. & SUPPLIES - REC.	106.39	01-452-247-	106.39	
01*134985	AIRGAS	TRAFFIC SIGNAL PROGRAM	54.85	01-430-373-	54.85	54.85
01*134986	ALEX LEVY, PETTY CASHIER	REIMBURSEMENT MEALS & PARKING	33.60	01-410-240-	33.60	33.60
01*134987	AMAZON CAPITAL SERVICES	AC FURNANCE AIR FILTERS	45.85	01-409-373-	45.85	45.85
01*134988	AMERICAN PUBLIC SAFETY	HANDCUFF POUCH, OC POUCH, MAG	30.25	01-410-238-	30.25	398.15
		(2) MID-RIDE DUTY HOLSTER	343.95	01-410-238-	343.95	
		RADIO POUCH, BATON POUCH	23.95	01-410-238-	23.95	
01*134989	AQUA PA	0003485790348579- HYDRANTS 03/	16,580.19	01-411-360-	16,580.19	16,580.19
01*134990	AQUA PA	0003485790706163- HYDRANTS 03/	1,788.06	01-411-360-	1,788.06	1,788.06
01*134991	ARDMORE TIRE, INC.	PARKS AND REC #625	178.00	01-430-330-	178.00	3,105.00
		SANITATION	290.00	01-430-330-	290.00	
		leaf vac tires	2,637.00	01-430-330-	984.00	
		leaf vac tires		01-430-330-	565.00	
		tires for leaf vacs		01-430-330-	1,088.00	
01*134992	ARTISTIC SCREEN DESIGNS	(20) TANK TOPS	260.00	01-452-200-	260.00	527.00
		(19) TSHIRTS	122.50	01-452-200-	122.50	
		(23) T-SHIRTS	144.50	01-452-200-	144.50	
01*134993	ASPHALT CARE EQUIPMENT & SUPPLIES	(3) STONE RAKE, (2) ASPHALT RA	287.02	01-430-200-	287.02	287.02
01*134994	BARN NATURE CENTER FOUNDATION	FINAL PAYMENT FOR SUP TRIP 07/	810.00	01-452-905-	810.00	810.00
01*134995	BERGEY'S INC.	(-1) COMPRESSOR	-349.82	01-430-330-	-349.82	162.93
		TRUCK 225 DIAGNOSE TRANS CODE	512.75	01-430-330-	512.75	
01*134996	BERGEY'S TRUCK CENTERS	fleax pipe kit unit 222	1,227.23	01-430-330-	428.41	1,597.46
		exhaust wrap unit222		01-430-330-	325.51	
		unit 222		01-430-330-	473.31	
		SWITCH PANEL #451	370.23	01-430-330-	370.23	
01*134997	BOB ROSSER	VEHICLE MAINTENANCE	55.99	01-413-240-	55.99	55.99
01*134998	BOGGS PRINTING	PAUL'S LETTERHEAD (1,000)	310.00	01-413-340-	310.00	310.00
01*134999	BUCKS COUNTY INTERNATIONAL, INC.	MOTOR STA #237	465.70	01-430-330-	465.70	465.70
01*135000	CHAPMAN FORD OF HORSHAM	2022 Ford Explorer - Replacing	38,673.00	01-130-100-	38,673.00	38,673.00
01*135001	CHARLES A. HIGGINS & SONS INC.	BLAIR MILL & WELSH RD	262.50	01-430-373-	262.50	2,179.50
		BLAIR MILL & HORSHAM RD	1,436.00	01-430-373-	1,436.00	
		BLAIR MILL & HORSHAM	201.00	01-430-330-	201.00	
		WELSH RD & BLAIR MILL	280.00	01-430-373-	280.00	
01*135002	CITY ELECTRIC SUPPLY	ANCHOR BOLT KIT 3/4 X 30 X 4 -	868.80	01-439-740-	868.80	868.80
01*135003	COLONIAL OIL INDUSTRIES, INC.	1700.00 GROSS	8,332.04	01-430-330-	8,332.04	8,332.04
01*135004	COTTMAN TRUCK & VAN OUTFITTERS	WEATHERTECH LINERS & VISORS	187.00	01-430-330-	187.00	187.00
01*135005	COVANTA ENERGY, LLC	07/01/22-07/15/22	16,893.88	01-427-365-	16,893.88	16,893.88
01*135006	DISTRICT COURT 38-2-08	CONSTABLE SERVICE ADD'L COSTS:	27.95	01-401-240-	27.95	27.95
01*135007	DYLAN COSTELLO	PAYMENT FOR SUMMER CONCERT LEA	30.00	01-452-450-	30.00	30.00

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*135008	EARTHBORNE INC.	ABI DEF BREATHE	184.36 01-430-373-	184.36	184.36
01*135009	EDWARD ROESSLER	PAYMENT FOR SUMMER CONCERT LEA	30.00 01-452-450-	30.00	30.00
01*135010	EUREKA STONE QUARRY, INC.	MAINTENANCE LOT MMP	5,538.80 01-454-740-	5,538.80	5,538.80
01*135011	FASTENAL COMPANY	(25) HCS ECO	365.29 01-430-330-	365.29	749.32
		ECO HCS	384.03 01-430-330-	384.03	
01*135012	FRANK JONES SPORTING GOODS	(36) T-SHIRTS, 2 SIDED PRINTED	425.00 01-415-240-	425.00	425.00
01*135013	FRED BEANS PARTS	#342	74.32 01-430-330-	74.32	866.47
		#342	116.48 01-430-330-	116.48	
		#342	118.56 01-430-330-	118.56	
		RADIATOR ASY #3501	187.83 01-430-330-	187.83	
		FILTER, HARNESS, VALVE	124.95 01-430-330-	124.95	
		ALTERNATOR, CORE DEPOSIT	319.33 01-430-330-	319.33	
		CORE RETURN	-75.00 01-430-330-	-75.00	
01*135014	GEORGE ALLEN PORTABLE	HATBORO SEWER AUTH 06/20-07/17	74.00 01-430-240-	74.00	74.00
01*135015	GEOVENTURES PROGRAMMING	PAYMENT FOR SUP ACTIVITY ON 07	1,200.00 01-452-905-	1,200.00	1,200.00
01*135016	GRANTURK EQUIPMENT CO., INC.	(2) BEARING LOCK, (1) SHAFT	433.53 01-430-330-	433.53	433.53
01*135017	HAAS ALERT	SHIPPING	22.00 01-411-372-	22.00	22.00
01*135018	JENNIFER SOLOT	REFUND FOR FIELD HOCKEY CAMP	60.00 01-367-000-	60.00	60.00
01*135019	LEEANN DIAZ	REFUND FOR PAVILION	180.00 01-367-000-	180.00	180.00
01*135020	MARK BOULDIN	FUEL	48.81 01-410-240-	48.81	48.81
01*135021	MCCLOSKEY & FABER, P.C.	FAIR OAKS PARK: BILLING PD 05/	622.18 01-130-100-	622.18	622.18
01*135022	MCDONALD UNIFORMS	(10) METAL NAMETAGS	35.00 01-415-240-	35.00	533.14
		MATT BRINKMAN	109.98 01-415-240-	109.98	
		J. MILLEVOI	10.00 01-415-240-	10.00	
		SALVEMINI	89.98 01-415-240-	89.98	
		ARDIFF	117.21 01-415-240-	117.21	
		FUGELO	170.97 01-415-240-	170.97	
01*135023	MONICA GARDNER	REFUND FOR GIRLS FIELD HOCKEY	160.00 01-367-000-	160.00	160.00
01*135024	NAPA AUTO PARTS	JUNE STATEMENT	2,248.00 01-430-330-	2,248.00	2,248.00
01*135025	NFPA	ID# 357934-RENEWAL SUBSCRIPTIO	1,345.50 01-415-450-	1,345.50	1,345.50
01*135026	PA DEPT OF LABOR & INDUSTRY- B'	(2) BOILER CERTIFICATES	157.96 01-430-240-	157.96	157.96
01*135027	PATRICK STASIO	PAYMENT FOR SKYZONE (SUP TRIP)	3,780.62 01-452-905-	3,780.62	3,780.62
01*135028	PECO ENERGY-PAYMENT PROCESSING	7032000202- MMP ENTRANCE 06/09	1,259.93 01-454-360-	1,259.93	1,259.93
01*135029	PECO ENERGY-PAYMENT PROCESSING	3624500401- WGFC 06/07-07/07	33.65 01-411-360-	33.65	33.65
01*135030	PECO ENERGY-PAYMENT PROCESSING	9499200405- WGFC 06/07-07/09	117.98 01-411-360-	117.98	117.98
01*135031	PECO ENERGY-PAYMENT PROCESSING	4237200501- MEMORIAL PK 06/09-	43.94 01-454-360-	43.94	43.94
01*135032	PECO ENERGY-PAYMENT PROCESSING	1143200707- WGFC 06/09-07/11	1,070.84 01-411-360-	1,070.84	1,070.84
01*135033	PECO ENERGY-PAYMENT PROCESSING	423650100 BYBERRY APT 06/09-07	250.33 01-454-360-	250.33	250.33
01*135034	PECO ENERGY-PAYMENT PROCESSING	4545801109- BYBERRY COTTAGE 06	12.57 01-454-360-	12.57	12.57
01*135035	PECO ENERGY-PAYMENT PROCESSING	7639001203- MMP 06/08-07/08	838.89 01-454-360-	838.89	838.89
01*135036	PECO ENERGY-PAYMENT PROCESSING	6401701408- FITZWATERTOWN 06/1	218.04 01-454-360-	218.04	218.04
01*135037	PECO ENERGY-PAYMENT PROCESSING	0808020028- MMP LOT 06/10-07/1	10.20 01-454-360-	10.20	10.20
01*135038	PECO ENERGY-PAYMENT PROCESSING	2163122078- WAR MEMORIAL 06/09	31.99 01-454-360-	31.99	31.99
01*135039	PENN POWER GROUP	ROAAD SERVICE TO REFLASH COMPU	1,315.78 01-430-330-	1,315.78	1,315.78
01*135040	PENNSYLVANIA ONE CALL	MONTHLY ACTIVATION	32.59 01-430-240-	32.59	32.59
01*135041	PEREGRINE ASSOCIATES	(5,000) WINDOW ENVELOPES	650.00 01-401-200-	650.00	650.00
01*135042	PETROCON CORPORATION	HYDROLIC OIL (3)	1,874.40 01-430-330-	1,874.40	1,874.40
01*135043	PHILA OCCHEALTH	J.DOUGHERTY	1,001.13 01-415-240-	449.21	1,001.13
		B.REMS	01-410-240-	275.96	
		V.SMALL	01-410-240-	275.96	

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*135044	PIONEER AUTO BODY & REPAIR LLC	CAR# 3505 (CLAIM A2231012559)	13,736.23	01-430-330-	13,736.23	13,736.23
01*135045	PLASTERER EQUIPMENT CO., INC.	(2) THERMOSTAT, (2) GASKET- LE	42.12	01-430-330-	42.12	42.12
01*135046	RHOMAR INDUSTRIES INC.	ARMOUR SEAL - ALL DEPARTMENTS	1,106.51	01-430-330-	996.80	1,106.51
		SHIPPING		01-430-330-	109.71	
01*135047	ROBERT ZIMMERMAN	REFUSE CHARGES REFUND - PERMIT	25.00	01-364-300-	25.00	25.00
01*135048	SEMISCH AND SEMISCH	ZONING HEARING SOLICITOR 03/08	2,075.00	01-413-314-	2,075.00	2,075.00
01*135049	SIGNAL CONTROL PRODUCTS, INC.	SDLC PANEL W/ 6 CABLES	450.00	01-430-373-	450.00	700.00
		FIELD SERVICE- 2 HRS BLAIR MIL	250.00	01-430-373-	250.00	
01*135050	SYNATEK	(3) 4 RANGE RPRO	435.00	01-454-374-	435.00	435.00
01*135051	T.W. REISS, INC.	KM HEDGE ATTACH- PARKS/REC	289.99	01-430-330-	289.99	1,873.65
		FUELMIX	118.18	01-454-374-	118.18	
		STARTER, SOLENOID #629	276.20	01-430-330-	276.20	
		COUNTERSUNK SCREW (6)	19.44	01-430-330-	19.44	
		BLADE TORO (12) #625	270.84	01-430-330-	270.84	
		48 G DRUM FUELMIX	899.00	01-454-374-	899.00	
01*135052	TIM KUREK	06/23/22 HEARING	1,480.00	01-413-316-	1,480.00	1,480.00
01*135053	TIOGA FUEL COMPANY, INC.	HEATING OIL 165.40 GAL	625.21	01-409-360-	625.21	2,711.61
		HEATING OIL 550.50 GAL	2,086.40	01-409-360-	2,086.40	
01*135054	TRUCK PRO	(3) AIR FILTER	64.04	01-430-330-	64.04	334.59
		(2) BACK UP ALARM	270.55	01-430-330-	270.55	
01*135055	UNIFIRST CORPORATION	UNIFORM MAINTENANCE	426.35	01-427-191-	213.18	426.35
		UNIFORM MAINTENANCE		01-430-191-	213.17	
01*135056	VAULT HEALTH	(6) BREATH, (6) URINE, (10) UD	875.00	01-486-156-	875.00	875.00
01*135057	WILLOW GROVE FIRE COMPANY	MARCH-JUNE OVERNIGHT STIPEND	1,650.00	01-411-329-	1,650.00	2,042.07
		GENERAL OFFICE SUPPLIES	349.93	01-411-210-	349.93	
		RETURN SHIPPING FOR BAG REPAIR	42.14	01-411-250-	42.14	
01*135058	WILLOW TREE & LANDSCAPE SER. INC	REMOVE AND HAUL 5 DEAD TREES A	5,650.00	01-454-740-	5,650.00	5,650.00
01*135059	WORKPLACE CENTRAL	MATERIALS & SUPPLIES	18.96	01-413-200-	18.96	47.39
		MATERIALS & SUPPLIES	13.62	01-413-200-	13.62	
		MAT'LS. & SUPPLIES-OFFICE	16.57	01-452-200-	16.57	
		MATERIALS & SUPPLIES	-1.76	01-413-200-	-1.76	
01*135060	Y-PERS, INC.	(200) FLANNEL	168.00	01-430-330-	168.00	168.00
01*135061	ACCESS SECURITY CORP.	BLUE DIAMOND SERVICE 08/01-10/	4,140.00	01-401-374-	4,140.00	4,140.00
01*135062	AQUA PA	0001283340128334: WGFH 06/15-0	111.38	01-411-360-	111.38	111.38
01*135063	AQUA PA	0001283930128393: UMT 06/16-07	243.40	01-409-360-	243.40	243.40
01*135064	AQUA PA	0001284670128467: UMT 06/16-07	371.90	01-409-360-	371.90	371.90
01*135065	AQUA PA	0001284700128470: FITZWATERTOW	43.23	01-454-360-	43.23	43.23
01*135066	AQUA PA	0001284730128473: WGFC 06/15-0	110.13	01-411-360-	110.13	110.13
01*135067	AQUA PA	0001285030128503: PILEGGI PK 0	176.62	01-454-360-	176.62	176.62
01*135068	AQUA PA	0001285050128505: WGFS 06/15-0	123.65	01-411-360-	123.65	123.65
01*135069	AQUA PA	0001285100128510: UMT 06/16-07	222.89	01-409-360-	222.89	222.89
01*135070	AQUA PA	0004827010404097: WGFS 06/15-0	111.76	01-411-360-	111.76	111.76
01*135071	AQUA PA	0014793381052247: ORANGEMANS 0	172.94	01-454-360-	172.94	172.94
01*135072	AQUA PA	0025017951465955: MMP 06/15-07	466.23	01-454-360-	466.23	466.23
01*135073	ASCAP	LICENSE 08/01-12/31/22, LICENS	405.24	01-454-450-	405.24	405.24
01*135074	BKH ELECTRICAL INC	DPW- REFEED GARAGE DOOR AND RE	575.00	01-409-373-	575.00	575.00
01*135075	CAMPBELL DURRANT BEATTY	JUNE, 2022 STATEMENT	21,545.27	01-402-314-	21,545.27	21,545.27
01*135076	CITY ELECTRIC SUPPLY	(20) PORTABLE CORD REEL	15.85	01-409-373-	15.85	15.85
01*135077	CLARK HILL	LEGAL SERVICES THROUGH JUNE 30	342.00	01-402-314-	342.00	342.00
01*135078	COLLEEN COHEN	REIMBURSEMENT FOR FIELD HOCKEY	69.95	01-452-247-	69.95	789.95

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
		PAYMENT FOR GIRLS JUNIOR FIELD	20.00 01-452-450-	20.00	
		PAYMENT FOR GIRLS FIELD HOCKEY	700.00 01-452-450-	700.00	
01*135079	COMCAST CABLE	8499101410018938: DPW 07/11-08	210.94 01-401-320-	210.94	1,282.75
		8499101380131182: UMT 07/11-08	203.35 01-401-320-	203.35	
		8499101410219510: WGFC 07/18-0	354.63 01-401-320-	354.63	
		8499101410240870: BUEHLER PK 0	227.73 01-401-320-	227.73	
		8499101410242314: MMP 07/21-08	143.05 01-401-320-	143.05	
		8499101410244682: VET MEM PK 0	143.05 01-401-320-	143.05	
01*135080	CORY BROOKS	PAYMENT DRAMARAMA JR CAMP INST	150.00 01-452-450-	150.00	450.00
		PAYMENT DRAMARAMA CAMP INSTRUC	300.00 01-452-450-	300.00	
01*135081	COURIER TIMES, INC.	ZHB 6-23, ZHB 7-14	1,427.13 01-413-340-	1,427.13	1,427.13
01*135082	CRYSTAL SPRINGS	JULY STATEMENT	255.83 01-410-200-	255.83	255.83
01*135083	DELL ACCOUNT	Optiplex 5400 AIO	2,823.76 01-401-320-	2,823.76	2,823.76
01*135084	DORNEY PARK	SUP & TT TRIP ON 08/09/22	3,520.00 01-452-905-	3,520.00	3,520.00
01*135085	DYLAN COSTELLO	PAYMENT FOR SUMMER CONCERT LEA	30.00 01-452-450-	30.00	30.00
01*135086	EDWARD GLASSMEN	LUNCH FOR TRAINING W/ MONTCO S	39.34 01-411-460-	39.34	39.34
01*135087	ELLIOTT LEWIS CORPORATION	Repair Library Compressor CU11	1,402.00 01-409-373-	1,402.00	1,757.00
		NO COOLING IN EMPLOYEE LIBRARY	355.00 01-409-373-	355.00	
01*135088	EUREKA STONE QUARRY, INC.	MMP PARKING LOT	535.91 01-454-740-	535.91	535.91
01*135089	FBI-LEEDA INC.	CLAUHS TRAINING	695.00 01-410-240-	695.00	695.00
01*135090	GILMORE & ASSOCIATES	LOFTS @ DAVISVILLE- SERVICES T	4,832.76 01-430-313-	4,832.76	15,646.82
		FAIR OAKS BASIN- SERVICES THRO	135.00 01-430-313-	135.00	
		FAIRHILL COMMONS - SERVICES TH	7,948.13 01-430-313-	7,948.13	
		4121 BLAIR MILL - SERVICES THR	67.50 01-430-313-	67.50	
		10-170 PARK AVE- SERVICES THRO	1,281.15 01-430-313-	1,281.15	
		2290 COMPUTER RD- SERVICES THR	568.26 01-430-313-	568.26	
		MASONS MILL PK- SERVICES THROU	814.02 01-430-313-	814.02	
01*135091	GILMORE & ASSOCIATES, INC.	4015 REINIGER RD - SERVICES TH	251.25 01-430-313-	251.25	6,309.98
		421 MANOR RD - SERVICES THROUG	296.25 01-430-313-	296.25	
		115 INMAN TERRACE - SERVICES T	83.75 01-430-313-	83.75	
		3827 BETZ RD - SERVICES THROUG	869.99 01-430-313-	869.99	
		1740 COUNTY LINE RD - SERVICES	397.49 01-430-313-	397.49	
		2010 COUNTY LINE RD - SERVICES	2,497.50 01-430-313-	2,497.50	
		516 SCHOOLHOUSE LN - SERVICES	251.25 01-430-313-	251.25	
		2402 EASTON RD- SERVICES THROU	1,662.50 01-430-313-	1,662.50	
01*135092	GILMORE & ASSOCIATES, INC.	2400 PIONEER - SERVICES THROUG	345.00 01-430-313-	345.00	11,433.54
		WOODLAWN SCHOOL- SERVICES THRO	6,154.32 01-130-100-	6,154.32	
		WGSC - SERVICES THROUGH 06/26	2,060.00 01-430-313-	2,060.00	
		GENERAL SERVICES - SERVICES TH	1,910.00 01-430-313-	1,910.00	
		SHELL STARWASH - SERVICES THRO	125.76 01-430-313-	125.76	
		0 WARREN ST - SERVICES THROUGH	703.46 01-430-313-	703.46	
		2425 BLAIR MILL - SERVICES THR	135.00 01-430-313-	135.00	
01*135093	GRAINGER	TOILET PAPER, ADJ WRENCH., FLU	350.01 01-409-373-	350.01	375.91
		THERMAPLEX BEARING (2)	25.90 01-409-373-	25.90	
01*135094	GRANTURK EQUIPMENT CO., INC.	JOYSTICK ASSEMBLY- SANITATION	685.07 01-430-330-	685.07	685.07
01*135095	HILARY METZEL	REFUND FOR SESAME PLACE (2 CAM	50.00 01-367-100-	50.00	50.00
01*135096	IRON MOUNTAIN	JUNE, 2022 STATEMENT	787.81 01-401-320-	787.81	787.81
01*135097	JAMES MCKAY	PAYMENT FOR SUMMER CONCERT LEA	30.00 01-452-450-	30.00	30.00
01*135098	KEVIN & MAREN WAGGLE	RE TAX REFUNDS	391.87 01-401-460-	391.87	391.87
01*135099	LEGAL AND LIABILITY RISK	STRANGE, DOUGHERTY, GALLAGHER	975.00 01-411-460-	975.00	975.00

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*135100	LONG FENCE	RELOCATION OF 64 PANELS	1,620.80 01-130-100-	1,620.80	1,620.80
01*135101	MC CLOSKEY & FABER P.C.	2425 BLAIR MILL RD- SVS THRU 0	26.00 01-430-313-	26.00	5,692.95
		TWP CONSULTING - SVS THRU 05/2	237.00 01-430-313-	237.00	
		2402 EASTON RD- SVS THRU 05/26	120.50 01-430-313-	120.50	
		3827 BETZ RD - SVS THRU 05/26-	249.00 01-430-313-	249.00	
		2010 COUNT LINE RD - SVS THRU	800.52 01-430-313-	800.52	
		2290 COMPUTER RD - SVS THRU 05	453.02 01-430-313-	453.02	
		2321 BLAIR MILL RD - SVS THRU	646.42 01-430-313-	646.42	
		2700 TURNPIKE DR - SVS THRU 05	748.38 01-430-313-	748.38	
		3195 PENNYPACK RD - SVS THRU 0	680.61 01-430-313-	680.61	
		WGSC - SVS THRU 05/26-06/29/22	1,731.50 01-430-313-	1,731.50	
01*135102	MC MAHON ASSOCIATES, INC.	POWER MULTI-USE PATH - 06/01-0	6,835.00 01-430-313-	6,835.00	14,985.90
		MARYLAND RD CULVERT REHAB - 06	3,023.40 01-430-313-	3,023.40	
		GENERAL TRAFFIC SVS - 06/01-06	1,317.50 01-430-313-	1,317.50	
		3827 BETZ RD - 06/01-06/30 BIL	87.50 01-430-313-	87.50	
		CHIPOTLE - 06/01-06/30 BILLING	1,510.00 01-430-313-	1,510.00	
		OLIVE GARDEN - 06/01-06/30 BIL	2,212.50 01-430-313-	2,212.50	
01*135103	MCI COMM SERVICE	2P870692 JULY STATEMENT	39.50 01-401-320-	39.50	39.50
01*135104	MCAHON ASSOCIATES, INC.	FLOOD GATES - 05/21-06/24 BILL	1,037.50 01-430-313-	1,037.50	43,135.58
		BLAIR MILL RD - 05/21-06/24 BI	1,417.50 01-430-313-	1,417.50	
		YORK RD TRAFFIC - 06/01-06/30	2,902.50 01-430-313-	2,902.50	
		WARMINSTER RD SIDEWALK- 06/01-0	21,122.70 01-430-313-	21,122.70	
		GREEN-LIGHT-GO - 06/01-06/30	6,810.00 01-430-313-	6,810.00	
		DAVISVILL & BYBERRY - 06/01-06	9,845.38 01-430-313-	9,845.38	
01*135105	MEGAN DeLAURENTIS	SECOND QUARTER CELL ALLOWANCE	105.00 01-401-320-	105.00	105.00
01*135106	NESHAMINY SHORE PICNIC PARK	SUP PLAYGROUND 08/10/22	3,230.00 01-452-905-	3,230.00	3,230.00
01*135107	PACIFIC TELEMAGEMENT SERVICES	AUGUST CYCLE	99.00 01-401-320-	99.00	99.00
01*135108	PECO ENERGY-PAYMENT PROCESSING	1452700407: UMT 06/10-07/12	83.99 01-409-360-	83.99	83.99
01*135109	PECO ENERGY-PAYMENT PROCESSING	4554501300: LIBRARY 06/10-07/1	1,552.34 01-409-360-	1,552.34	1,552.34
01*135110	PECO ENERGY-PAYMENT PROCESSING	1143101700: UMT 06/10-07/12	2,894.31 01-409-360-	2,894.31	2,894.31
01*135111	PHILA OCCEALTH	RH LEGARD	105.65 01-430-240-	105.65	105.65
01*135112	PIONEER AUTO BODY & REPAIR LLC	UNIT 3509- UM 22-04979/04978	2,335.50 01-430-330-	2,335.50	2,335.50
01*135113	REBECCA COUTTS	REIMBURSEMENT FOR FIELD HOCKEY	124.14 01-452-247-	124.14	844.14
		PAYMENT FOR GIRLS FIELD HOCKEY	700.00 01-452-450-	700.00	
		PAYMENT FOR GIRLS JR FIELD HOC	20.00 01-452-450-	20.00	
01*135114	RICHARD E. PIRACCI	BUSINESS PRIVILEGE TAX REFUND	39.00 01-310-800-	39.00	39.00
01*135115	ROTO-ROOTER SERVICE COMPANY	CLEAR MAIN SEWER PIPE, CLEAR B	915.60 01-409-373-	915.60	915.60
01*135116	SEAWORLD PARKS AND ENTERTAINMENT	SUP TRIP 08/11/22	1,294.00 01-452-905-	1,294.00	1,294.00
01*135117	SECOND ALARMERS ASSOCIATION	2022 ANNUAL CONTRIBUTION	20,000.00 01-401-520-	20,000.00	20,000.00
01*135118	SUSAN E. WORTH-LAMANNA	BULK CHARGES REFUND- PERMIT 15	8.00 01-364-300-	8.00	8.00
01*135119	TRESSA McCALLISTER	PAYMENT DRAMARAM JR CAMP INSTR	700.00 01-452-450-	700.00	2,900.00
		PAYMENT DRAMARAMA CAMP INSTRUC	2,200.00 01-452-450-	2,200.00	
01*135120	TRI-STATE ELEVATOR CO., INC.	JULY MAINTENANCE BILLING	165.00 01-409-450-	165.00	165.00
01*135121	URBAN AIR LLC	SUMMER CAMP TRIP 08/03/22	4,698.00 01-452-905-	4,698.00	5,031.85
		SUMMER CAMP TRIPS 07/25/22	333.85 01-452-905-	333.85	
01*135122	VERIZON	250339403000176: 07/15-08/14/2	43.84 01-401-320-	43.84	2,265.23
		250581899000177: 07/01-07/31/2	2,221.39 01-401-320-	2,221.39	
		06/15-07/14/22	172.85 01-401-320-	172.85	172.85
01*135123	VERIZON BUSINESS	JUN 17- JULY 16, 2022	3,204.84 01-401-320-	3,204.84	3,204.84
01*135124	VERIZON WIRELESS	REIMBURSEMENT FOR FUEL- PRISON	58.58 01-410-240-	58.58	58.58
01*135125	VINCENT SMALL				

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*135126	WILLOW GROVE OIL SERVICE CO.	ANNUAL HEATER TUNE-UP	405.00	01-409-373-	405.00	405.00
01*135127	WORKPLACE CENTRAL	(2) PICTURE HANGER KIT	54.48	01-409-200-	54.48	622.99
		MAT'LS. & SUPPLIES-OFFICE	92.35	01-452-200-	92.35	
		MATERIAL & SUPPLIES	476.16	01-401-200-	476.16	
01*135128	YOUNG CONTRACTORS, INC.	REMOVED FOUNTAIN, CAP PLUMBING	5,560.00	01-454-740-	5,560.00	5,560.00
01*135129	PECO ENERGY-PAYMENT PROCESSING	7947400804- LEAF PK 06/09-07/1	52.46	01-409-360-	52.46	52.46
01*135130	PECO ENERGY-PAYMENT PROCESSING	9803100409: DPW 06/10-07/12	15.64	01-409-360-	15.64	15.64
04*9451	ALEX LEVY, PETTY CASHIER	GAC TIP MONEY FOR 07/13/22 TRI	70.00	04-384-100-	70.00	70.00
04*9452	CAROL HARTMAN	2ND QUARTER PHONE ALLOWANCE	105.00	04-384-100-	105.00	105.00
04*9453	PATRICIA STRIEFFLER	REFUND FOR GAC TRIPS	200.00	04-384-100-	200.00	200.00
04*9454	PERKIOMEN TOURS	GAC TRIP 07/13/22	4,075.00	04-384-100-	4,075.00	4,075.00
04*9455	CAROL HARTMAN	REIMBURSEMENT FOR GAC TRIP MIS	17.88	04-384-100-	17.88	17.88
04*9456	PARTY FAIR	(2) FROSTY WHITE TABLE ROLL	30.58	04-384-100-	30.58	30.58
04*9457	ARLENE SHEVCHIK	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9458	BARBARA WILEY	REFUND FOR GAC SPIRIT OF PHILA	115.00	04-384-100-	115.00	115.00
04*9459	CONNIE NEFF	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9460	DAVID BECK	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9461	DONNA DIFRANCESCO	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9462	ELIZABETH GRACEY	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9463	GEORGE HAUSCH	PARTICAL REFUND FOR CRUISE EXC	36.00	04-384-100-	36.00	36.00
04*9464	HELEN KNOECHEL	PARTICAL REFUND FOR CRUISE EXC	36.00	04-384-100-	36.00	36.00
04*9465	IRENE CUNNINGHAM	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9466	JAMES VANOSTEN	PARTICAL REFUND FOR CRUISE EXC	36.00	04-384-100-	36.00	36.00
04*9467	JOHN BRAUNING	PARTICAL REFUND FOR CRUISE EXC	36.00	04-384-100-	36.00	36.00
04*9468	JOSEPH DEPAUL	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9469	KATHLEEN ASHENFELTER	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9470	LINDA HARTER	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9471	LORI MOMORELLA	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9472	MARGIE RICHARDS	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9473	MARY JANE KOPER	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9474	MIKE MOLITORIS	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9475	NANCY KOLLER	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9476	NANCY ROEDE	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9477	PATRICIA HUDSON	PARTICAL REFUND FOR CRUISE EXC	36.00	04-384-100-	36.00	36.00
04*9478	PRISCILLA AURIELLO	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	103.00
		REFUND FOR GAC TRIP EVERLY BRO	85.00	04-384-100-	85.00	
04*9479	RITA DENNY	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9480	ROSE JUNE ROSE	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9481	RUTH WALLACE	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9482	SUSAN DOUGHERTY	PARTICAL REFUND FOR CRUISE EXC	18.00	04-384-100-	18.00	18.00
04*9483	ALEX LEVY, PETTY CASHIER	TIP MONEY FOR TRIP 08/23/22	54.00	04-384-100-	54.00	54.00
04*9484	CITY CRUISES	FINAL PAYMENT FOR 08/23/22 TRI	81.29	04-384-100-	81.29	81.29
04*9485	CURRAN TRAVEL, INC.	DEPOSIT FOR TRIP TO SIGHT AND	250.00	04-384-100-	250.00	250.00
04*9486	HERSHEY FARM RESTAURANT AND INN	DEPOSIT FOR LUNCH TRIP ON 12/1	50.00	04-384-100-	50.00	50.00
04*9487	RICHARD & ARLENE GHEEN	REIMBURSEMENT FOR EDIBLE ARRAN	71.97	04-384-100-	71.97	71.97
04*9488	SAFETY BUS	FINAL PAYMENT FOR BUS FOR TRIP	845.00	04-384-100-	845.00	845.00
23*134911	WILLOW GROVE FIRE COMPANY	PRIN./INT.-BONDS	965.26	23-471-300-	965.26	965.26
23*134976	RICOH USA, INC.	LEASE PAYMENTS: 07/15-08/14/22	45.55	23-471-600-	45.55	45.55
23*134977	RICOH USA, INC.	LEASE PAYMENTS: 07/01-07/31/22	1,637.52	23-471-600-	1,637.52	1,637.52
35*3008	A. GIULIANI & CO. INC.	UMT MILLING, 2022	170,047.40	35-439-210-	170,047.40	170,047.40

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
35*3009	PECO ENERGY-PAYMENT PROCESSING	0540400109: STREET 05/31-06/29	158.65 35-434-361-	158.65	158.65
35*3010	FASTENAL COMPANY	TURPIKE SIGNS	199.43 35-438-740-	199.43	199.43
35*3011	BILLOWS ELECTRIC SUPPLY INC.	(2) LED PHOTOCELL BUTTON, (2)	130.80 35-434-240-	130.80	138.80
		(16) ROUND WASHERS	8.00 35-434-240-	8.00	
35*3012	EUREKA STONE QUARRY, INC.	PUBLIC IMPROVEMENTS	697.11 35-439-210-	697.11	4,521.15
		FRONTIER ROAD	2,491.25 35-439-210-	2,491.25	
		FRONTIER ROAD	1,332.79 35-439-210-	1,332.79	
35*3013	PECO ENERGY - PAYMENT PROCESSING	0344040115- LITE S1-C: 06/13-0	11,040.03 35-434-361-	11,040.03	11,040.03

GRAND TOTAL OF CHECKS = 1,215,981.76

## **DONATION AGREEMENT**

**THIS DONATION AGREEMENT** (“Agreement”) made this \_\_\_\_ day of \_\_\_\_\_ 2022 (the “Effective Date”), by and between, the **TOWNSHIP OF UPPER MORELAND**, a Pennsylvania Township of the First Class, having a business address of 117 Park Avenue, Willow Grove, Pennsylvania 19090 (the “Township” or “Donor”) and **WILLOW GROVE COMMUNITY DEVELOPMENT CORPORATION**, a Pennsylvania domestic non-profit corporation having a registered address of 210 Cedar Avenue, Willow Grove, PA 19090 (the “WG CDC” or “Donee”)(collectively the “Parties”). The Effective Date shall be the last date the Agreement is executed by either WG CDC or the Township.

### **W I T N E S S E T H:**

**WHEREAS**, WG CDC is a Pennsylvania domestic non-profit corporation and charitable entity organized under the provisions of Section 501(c)(3) of the Internal Revenue Code of 1986, with an Employer Identification Number of xx-xxxxxxx; and

**WHEREAS**, the Township, is a political subdivision of the Commonwealth of Pennsylvania duly organized pursuant to the Pennsylvania First Class Township Code; and

**WHEREAS**, the Township is the recipient of certain monies distributed by the United States Department of the Treasury pursuant to the American Rescue Plan Act of 2021 (“ARPA”); and

**WHEREAS**, pursuant to the terms and conditions of ARPA the Township is so authorized to expend ARPA funds received to address the negative economic impacts of COVID-19, including assistance to small businesses, households, hard-hit industries and towards economic recovery; and

**WHEREAS**, the WG CDC's charitable mission is not only to help people find affordable housing, but also is committed to providing tenant support services that allow individuals and families to reach their personal goals and independence; and

**WHEREAS**, the Township would like to make a charitable donation to WG CDC in the amount of three hundred twenty thousand dollars (\$320,000) to facilitate the purchase of up to three single family residences in Upper Moreland Township to be used to provide affordable housing to low to moderate income households.

**NOW THEREFORE**, for and in consideration of the mutual undertakings contained herein and for other good and valuable consideration, the receipt and sufficiency of which are hereby mutually acknowledged, the Parties hereto, intending to be legally bound hereby, agree as follows:

## 1. Terms of Donation

(a) The total consideration and donation amount (“Donation Amount”), which the Township agrees to donate to WGCDC, and which WGCDC agrees to accept, is **THREE HUNDRED AND TWENTY THOUSAND DOLLARS (\$320,000)**, payable by check, cashier’s check or federally wired funds.

- (i) \$300,000 of the donation will be used to purchase at least three houses in Upper Moreland Township and provided at an affordable rent to low-to-moderate income households.
- (ii) \$20,000 of the donation will be used to provide down payment and/or closing cost funds to first-time-homebuyers purchasing a home in Upper Moreland Township. The buyer must meet the eligibility requirements of the Montgomery County First Time Homebuyers Program.

(b) The total consideration shall be reimbursable to WGCDC upon receipt of documentation acceptable to the Township. Acceptable documentation shall consist of the following:

- (i) At the time and place of each settlement of the three homes to be purchased, WGCDC shall deliver or cause to be delivered to Township a special warranty deed executed by WGCDC in recordable form evidencing WGCDC has been conveyed fee simple title to the Property subject only to the permitted exceptions.
- (ii) WGCDC’s title affidavit and such other documents as may be reasonably requested by the Title Company.
- (iii) A copy of the U.S. Department of Housing and Urban Development HUD-1 Settlement Statement and other such documents evidencing the total amount of monies expended toward each purchase by WGCDC.

## 2. Accounting and Reporting

(a) WGCDC shall keep accurate books of account at its principal office in Willow Grove, PA, or such other location of its choosing for the purpose of determining the amounts due for reimbursement by the Township under this Agreement. The Township may inspect WGCDC’s books of account relative to the Township at any time during regular business hours on five (5) days’ prior written notice and may audit the books from time to time at the Township’s sole expense, but in each case only to the extent necessary to confirm the accuracy of payments due. The Township agrees to hold in confidence any non-public information it learns from WGCDC to the fullest extent permitted by Law.

(b) WGCDC agrees to supply any such additional information deemed necessary by the Township for the purposes of accounting and reporting to the United States Department of the Treasury in connection with the reporting requirements of the American Rescue Plan of 2021.

3. Notices. All notices to be given to the WGCDC and/or to the Township shall be mailed by registered or certified mail, return receipt requested or an overnight service with receipt as follows:

Donee: Jerome Mitchell  
Willow Grove Community Development Corporation  
210 Cedar Avenue  
Willow Grove, PA 19090

Donor: Matthew H. Candland, Township Manager  
Township of Upper Moreland  
117 Park Avenue  
Willow Grove, PA 19090

Copy to: Alex J. Baumler, Esquire  
Kilkenny Law, LLC  
519 Swede Street  
Norristown, PA 19401

4. Indemnification

WGCDC hereby agrees to indemnify, save harmless and defend the Township, its officials, officers, employees and agents, of, from, and against any liability, claim, suit or demand, of whatever nature or kind, arising from, out of, or related to this Agreement or any other associated action, together with all costs, fees and expenses (including, but not limited to, reasonable attorney's fees and costs, and reasonable expert witness fees and costs) as may be incurred by the Township in connection with any such liability, claim, suit or demand.

5. Entire Agreement. This Agreement sets forth all the agreements, promises, warranties, representations, understandings and promises between the Parties hereto, and the Parties are not bound by any agreements, undertakings or conditions except as expressly set forth herein. All additions, variations or modifications to this Agreement shall be void and ineffective unless in writing and signed by the parties.

6. Successors and Assigns; Assignment. This Agreement shall extend to, be binding upon, and inure to the benefit of the successors of the parties hereto. Township shall have the right to assign this Agreement, or any of its rights, duties or obligations hereunder to a related party, entity or affiliate with five (5) days advance written notice provided to WGCDC.

7. Governing Law. This Agreement shall be construed and interpreted in accordance with the laws of the Commonwealth of Pennsylvania.

**IN WITNESS WHEREOF**, the individual parties hereto have hereunto duly set their hands and seals, and the corporate parties hereto have caused these presents to be duly executed and their corporate seal to be duly attached by their proper officers thereunto duly authorized, the day and year first above written.

**ATTEST:**

**WILLOW GROVE COMMUNITY  
DEVELOPMENT COROPORATION**

\_\_\_\_\_

\_\_\_\_\_  
Jerome Mitchell, \_\_\_\_\_

**ATTEST:**

**UPPER MORELAND TOWNSHIP  
BOARD OF COMMISSIONERS**

\_\_\_\_\_  
Matthew H. Candland, Secretary

\_\_\_\_\_  
Clifton McFatridge, President

COMMONWEALTH OF PENNSYLVANIA :  
 :  
 : SS  
COUNTY OF MONTGOMERY :

On this \_\_\_\_\_ day of \_\_\_\_\_, 2022, before me, the undersigned officer, personally appeared Clifton McFatridge, President of the Upper Moreland Township Board of Commissioners, on behalf of the TOWNSHIP referenced in the within instrument, and as such President, being duly authorized to do so, executed the within instrument on his behalf for the purposes therein contained by signing the name of the TOWNSHIP by himself, as President of the Board of Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Notary Public

COMMONWEALTH OF PENNSYLVANIA :  
 :  
 : SS  
COUNTY OF \_\_\_\_\_ :

On this \_\_\_\_\_ day of \_\_\_\_\_, 2022, before me, the undersigned officer, personally appeared JEROME MITCHELL, who acknowledged himself to be the \_\_\_\_\_ of WILLOW GROVE COMMUNITY DEVELOPMENT CORPORATION, the DONEE in the foregoing instrument, and that as such officer, being authorized to do so, executed the within instrument for the purposes therein contained by signing the name of himself as such officer.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Notary Public

**UPPER MORELAND TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2022-28**

**A RESOLUTION GRANTING PRELIMINARY/FINAL LAND DEVELOPMENT APPROVAL WITH CONDITIONS TO NEW CENTURY ASSOCIATES GROUP, L.P., TO CONSTRUCT A 3,000 SQUARE-FOOT RESTAURANT TO REPLACE THE EXISTING BANK AND RELATED IMPROVEMENTS ON THE PARCEL LOCATED AT 2010 COUNTY LINE ROAD, HUNTINGDON VALLEY, UPPER MORELAND TOWNSHIP.**

**WHEREAS**, New Century Associates Group, L.P. (“Applicant”) filed an application with Upper Moreland Township requesting approval with certain waivers (the “Land Development Application”) for the construction of a 3,000 square-foot restaurant to replace the existing bank building contained within the shopping center and related improvements (the “Project”); and

**WHEREAS**, the Applicant has submitted the following in support of the Land Development Application: “Marketplace Site Plan Prepared for New Century Associates Group, L.P.” prepared by Charles E. Shoemaker, Inc., dated May 24, 2022, consisting of Sheets 1 to 10 of 10 (the “Plans”); and a “Stormwater Management Narrative” prepared by Charles E. Shoemaker, Inc., dated May 24, 2022. The Plans are attached hereto as **Exhibit “A”** and incorporated herein by reference; and

**WHEREAS**, the Plans involve the property owned by the Applicant located at 2010 County Line Road, Huntingdon Valley, Upper Moreland Township, Montgomery County Tax Map Parcel No. 59-00-15925-00-9, which consists of 45 acres located within the SC – Shopping Center Zoning District, commonly referred to as the Marketplace at Huntingdon Valley Shopping Center, which includes multiple retail stores, a grocery store, a movie theater, a pharmacy, a gym, a gas station, and three restaurants and associated parking spaces, curbing and sidewalk (the “Property”); and

**WHEREAS**, the Applicant proposes to construct a 3,000 square-foot Chipotle restaurant to replace the existing bank. Additional improvements include new pavement, curb, and landscaping. To comply with the Township’s Stormwater Management Ordinance Applicant is proposing to install an underground seepage bed within the parking area to handle runoff from the proposed improvements. The site will continue to be serviced by public water and sewer; and

**WHEREAS**, the Upper Moreland Board of Commissioners via Resolution R-2022-18 interpreted Section 5.02 of the Declaration of Covenants, Conditions and Restrictions recorded against the Property to not restrict the construction and operation of a “Fast Casual” restaurant, such as Chipotle Mexican Grill, the subject of this land development application, on the Property; and

**WHEREAS**, the Applicant has requested waivers from requirements set forth in Chapter 300 “Subdivision and Land Development” of the Upper Moreland Township Code of Ordinances, more fully referenced in Paragraph 10 below; and

**WHEREAS**, the Township Engineer has reviewed Applicant's Preliminary/Final Land Development Plans and has recommended their approval, subject to the comments and conditions set forth in the review letter dated June 30, 2022, attached hereto as **Exhibit "B"** and incorporated herein by reference; and

**WHEREAS**, the Township Landscape Architect has reviewed Applicant's Preliminary/Final Land Development Plans and has recommended their approval, subject to the comments and conditions set forth in the review letter dated June 23, 2022, attached hereto as **Exhibit "C"** and incorporated herein by reference; and

**WHEREAS**, The Township Traffic Engineer has reviewed Applicant's Preliminary/Final Land Development Plans and has recommended their approval, subject to the comments and conditions set forth in the review letter dated June 29, 2022, attached hereto as **Exhibit "D"** and incorporated herein by reference; and

**WHEREAS**, The Montgomery County Planning Commission has reviewed Applicant's Preliminary/Final Land Development Plans and has recommended their approval, subject to the comments set forth in the review letter dated June 15, 2022, attached hereto as **Exhibit "E"** and incorporated herein by reference; and

**WHEREAS**, based on Applicant's presentation of the Project on July 18, 2022, the Upper Moreland Township Community Development Committee has recommended Conditional Preliminary/Final Approval of the Applicant's Preliminary/Final Land Development Plans; and

**WHEREAS**, the Upper Moreland Township Board of Commissioners has determined that based on the testimony, and reviews of Township Consultants, Applicant has satisfactorily established that Conditional Preliminary/Final Land Development Approval will not be contrary to the public interest.

**NOW, THEREFORE, BE IT RESOLVED**, by the Upper Moreland Township Board of Commissioners that the Applicant's Preliminary/Final Land Development Plans are hereby granted Conditional Preliminary/Final Land Development Approval, subject to the satisfaction of the following conditions by the Applicant:

1. Except as modified herein, Applicant shall comply with all other applicable Township Ordinances, County, Commonwealth and Federal statutes, rules, and regulations, and obtain all applicable permits and approvals, including but not limited to, obtaining the approval of the fire marshal, UMHJSA permit and PA DEP permits, if required, Aqua of Pennsylvania permit and Montgomery County Conservation District permit.

2. Applicant shall strictly comply with all applicable Americans with Disabilities Act accessibility standards as promulgated by the Department of Justice and the International Code Council, A117.1-2017, for the construction of accessible facilities, including, but not limited, to handicapped parking spaces on the Property.

3. Unless waived by the Board of Commissioners, the Applicant shall comply with all conditions and comments set forth in the Township Engineer's review letter attached hereto as **Exhibit "B"**.

4. The Applicant shall enter into a Development Agreement and Financial Security Agreement with the Township for the construction of the proposed improvements, to be prepared by the Township Solicitor, and executed prior to the start of construction.

5. The Applicant shall enter into a Stormwater Management Facilities Agreement with the Township for perpetual ownership and maintenance of proposed stormwater Best Management Practices, to be prepared by the Township Solicitor, and executed prior to the start of construction.

6. Unless waived by the Board of Commissioners, the Applicant shall comply with all conditions and comments set forth in the Township Landscape Architect's review letter attached hereto as **Exhibit "C"**.

7. Unless waived by the Board of Commissioners, the Applicant shall comply with all conditions and comments set forth in the Township's Traffic Engineer's review letter attached hereto as **Exhibit "D"**. This will result in a Traffic Impact Fee requirement of **\$5,712**.

8. All architectural features on building exterior/façade shall be designed in accordance with the architectural features contained in the presentation given to the Township by Applicant and shall be reviewed and approved by the Township's staff and consultants.

9. Applicant shall be solely responsible for the remedy of any traffic circulation and queuing operational problems resulting from the construction and operation of the restaurant that impact on-site traffic safety and efficiency on the Property.

10. Further, the Board of Commissioners takes the following action as to the Applicant's request for waivers from the requirements of Chapter 300 "Subdivision and Land Development" of the Upper Moreland Township Code of Ordinances:

- A. § 300-17.H: A waiver from the requirement to provide no less than five-foot radius of curvature for all curb lines in parking areas. At three locations within the isolated patron parking area curb is proposed with three-foot radii. The reconfiguration of the parking access is necessary to eliminate pedestrian conflicts between dine-in patrons and the pick-up window vehicles.

☐ Granted ☐ Denied

- B. § 300-19.A(7): A waiver from the requirement to provide eight-inch curb reveal. Concrete curb is designed with six-inch reveal to facilitate ADA pedestrian access at curb ramps, reduce vehicle damage and match existing curb reveal within the shopping center.

☐ Granted ☐ Denied

- C. § 300-52.C(1): A waiver from the requirement to show all existing features and proposed utilities, sanitary sewers and water lines within 400 feet of the property lines. The proposed modifications are all internal to the shopping center including utilities and access.

☐ Granted ☐ Denied

- D. § 300-40.C: A waiver from the requirement that all landscape plans shall be prepared, sealed and signed by a Landscape Architect registered in the Commonwealth of Pennsylvania. Applicant agrees to address all landscaping comments to the satisfaction of the Township Landscaping Consultant.

☐ Granted ☐ Denied

- E. § 300-43.D(1)(d): A waiver from the requirement that planting end islands are to be a minimum of 15 wide by 20 feet long. A minimum of one single trunked shade tree is to be placed in each island. Three proposed end islands are six feet wide. Applicant proposes to plant two trees within two existing ten-foot by thirty-six-foot islands separating the proposed Chipotle parking area from the existing L.A. Fitness parking area.

☐ Granted ☐ Denied

- F. § 300-45: From the requirement concerning replacement trees. Existing trees in the vicinity of the proposed site improvements are assumed to be Parking Lot landscaping or Individual Lot landscaping per previous development requirements. The Applicant agrees to replace existing trees if removed or damaged by construction with the same quantity of trees removed.

☐ Granted ☐ Denied

- G. § 300-50.B: From the requirement of a preliminary plan submission to permit Applicant's Plan to be classified as Preliminary/Final.

☐ Granted ☐ Denied

11. Unless construction has begun in accordance with the Plans, this Resolution will expire in two years from the date of this Resolution, unless extended in writing by the Township.

12. This Conditional Preliminary/Final Land Development Approval does not and shall not authorize the construction of improvements or buildings exceeding those shown on the Plans. Furthermore, this Conditional Preliminary/Final Land Development Approval shall be rescinded automatically upon the Applicant's or the Applicant's agent's failure to accept, in writing, all conditions herein imposed within ten (10) days of receipt of this Resolution, such acceptance to be evidenced by the Applicant's or the Applicant's agent's signature below.

13. By approving this Resolution, the Applicant is signifying acceptance of the conditions contained herein.

**[Remainder of Page Left Intentionally Blank]**

**DULY PRESENTED AND ADOPTED** by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, in a public meeting held this 1st day of August, 2022.

**UPPER MORELAND TOWNSHIP  
BOARD OF COMMISSIONERS:**

ATTEST:

\_\_\_\_\_  
Matthew H. Candland, Township Manager

By: \_\_\_\_\_  
Clifton McFatridge, President

**In the event that the executed Resolution is not delivered to the Township within ten (10) days of receipt, it shall be deemed that the Applicant does not accept these conditions, and approvals conditioned upon its acceptance are revoked, and the application is considered denied for the reasons set forth above.**

Date: \_\_\_\_\_

ACCEPTED BY:

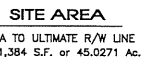
**APPLICANT  
NEW CENTURY ASSOCIATES  
GROUP, L.P.**

\_\_\_\_\_  
Name: Brian Regli  
Title: Managing Partner

EXHIBIT

A

SOIL CLASSIFICATIONS	
SYMBOL	SOILS
Ba	Bromontville-Kreutz silt loam (Xlviii)
CfB	Chalfont silt loam, 3 to 8 percent slopes
DaA	Drydentown silt loam, 0 to 3 percent slopes
FaB	Readington silt loam, 3 to 8 percent slopes
RaB	Ravenscliff silt loam, 3 to 8 percent slopes
UgB	Union land, 0 to 8 percent slopes
UuaB	Union land-Uniontown, shale and sandstone complex, 0 to 8% slopes



**REFERENCE PLANS:**

1. Site Plan, Land Development (Wahner), Proposed Movie Theater, The Marketplace at Huntington Valley for New Century Associates Group, LP, prepared by Herbert E. MacComble, Jr., P.E. dated November 3, 2017
2. ALTA/ACSM Land Title Survey Plan for The Marketplace at Huntington Valley, 2000 County Line Road prepared by Herbert E. MacComble, Jr., P.E. dated July 22, 2011 and last revised March 26, 2013.
3. Land Development Plan of The Marketplace at Huntington Valley for New Century Associates, prepared by Herbert E. MacComble, Jr., P.E. Consulting Engineers and Surveyors, Inc. dated December 7, 2004 and last revised May 17, 2005.

MCPC No. 22-XXXX-XXX  
 PROCESSED and REVIEWED. Report prepared by  
 Montgomery County Planning Commission  
 in accordance with the Municipalities Planning Code  
 Certified this date \_\_\_\_\_  
 \_\_\_\_\_  
 For the Director  
 Montgomery County Planning Commission

OWNER / APPLICANT

**NEW CENTURY ASSOCIATES GROUP, L.P.**  
C/O BRIAN REGLI, MANAGING PARTNER  
2010 COUNTY LINE ROAD  
HUNTINGDON VALLEY, PA 19008  
215-355-9513

## RECORDED OF DEEDS

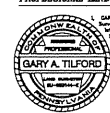
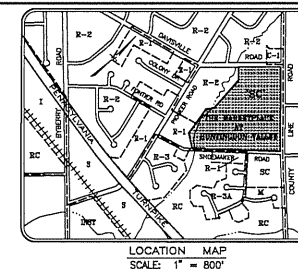
Recorded this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_, in the office  
for the recording of deeds, in and for the County of Montgomery, at Norristown, Pennsylvania  
in Plan Book No. \_\_\_\_\_ Page \_\_\_\_\_

\* PLAN SHEETS 1 & 2 TO BE RECORDED WITH TOLSON COUNTY RECORDER OF DEEDS OFFICE.

### LIST OF DRAWINGS

SHEET No.	CIVIL SITE PLANS	LAST REVISION
* 1	MARKETPLACE SITE PLAN	5/24/22
* 2	CHIPOTLE LAYOUT PLAN	5/24/22
3	PROJECT NOTES	5/24/22
4	DEMOLITION PLAN	5/24/22
5	GRADING PLAN	5/24/22
6	UTILITY PLAN	5/24/22
7	EROSION CONTROL PLAN	5/24/22
8	CONSTRUCTION DETAILS	5/24/22
9	CONSTRUCTION DETAILS	5/24/22
10	CONSTRUCTION DETAILS	5/24/22

### PROFESSIONAL LAND SURVEYOR'S CERTIFICATION

\_\_\_\_\_  
(Signature of Registered Professional Land Surveyor) (Date)

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF MONTGOMERY:

On the \_\_\_\_\_ day of \_\_\_\_\_, 2022, A.D., before me, the subscriber, a Notary Public of the Commonwealth of Pennsylvania, personally appeared \_\_\_\_\_, County, personally appeared before me, BRIAN REGEL, MANAGING PARTNER OF NEW CENTURY ASSOCIATES GROUP, L.P., a Pennsylvania limited partnership, and that as such, being authorized to do so, he executed the foregoing plan by signing that the said partnership is the owner of the described land, that all necessary approval of the plan has been obtained and is evidenced thereon, and that said company desires that the foregoing plan may be duly recorded according to law.

Witness my hand and notarial seal the day and year aforesaid.

\_\_\_\_\_  
Notary Public

My Commission Expires \_\_\_\_\_

I, BRIAN REGLI, MANAGING PARTNER of New Century Associates Group, LP have laid out upon our land, situated in the Township of Upper Merion, County of Montgomery, Commonwealth of Pennsylvania, certain improvements according to the accompanying plan, which is intended to be recorded.

BRIAN REGI, MANAGING PARTNER  
NEW CENTURY ASSOCIATES GROUP, L.P.  
2010 COUNTY LINE ROAD  
HUNTINGDON VALLEY, PA 19005  
215-333-8513

**TOWNSHIP SIGNATURES**

Approved by the Board of Commissioners of the Township of Upper Moreland this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
President

Attest: \_\_\_\_\_  
Secretary

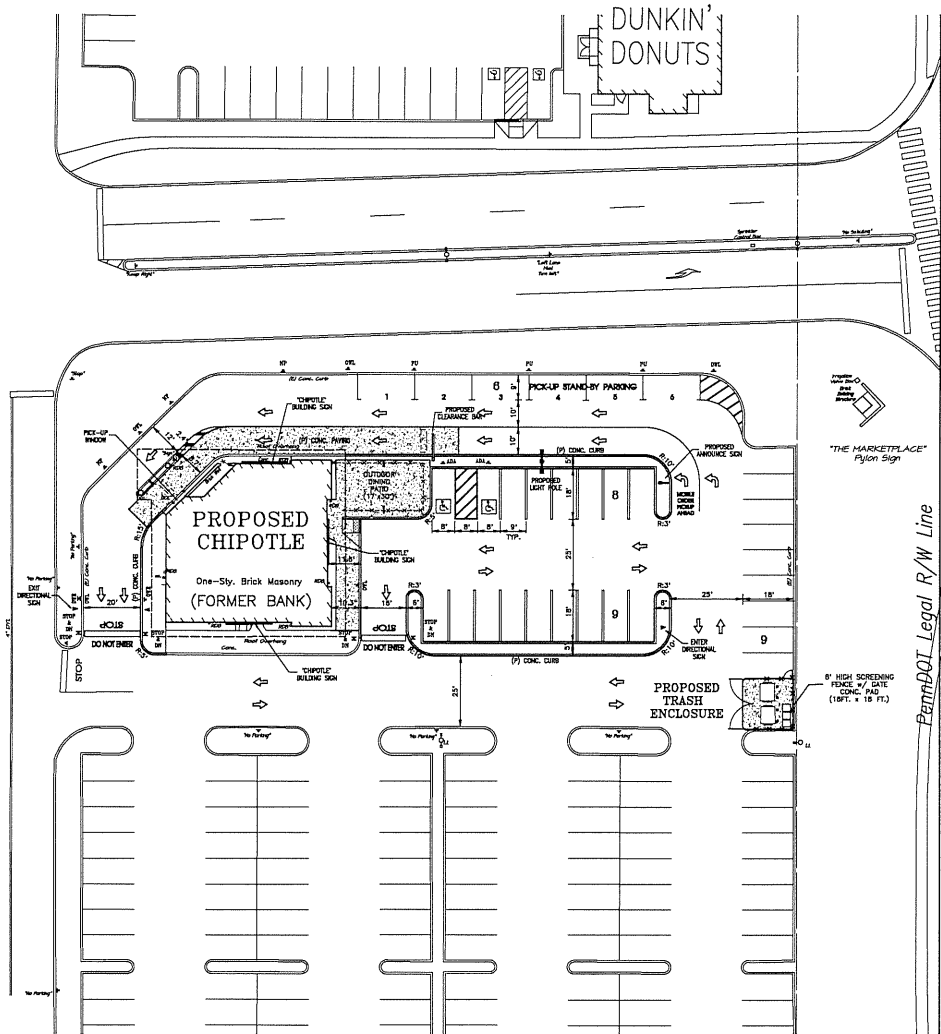
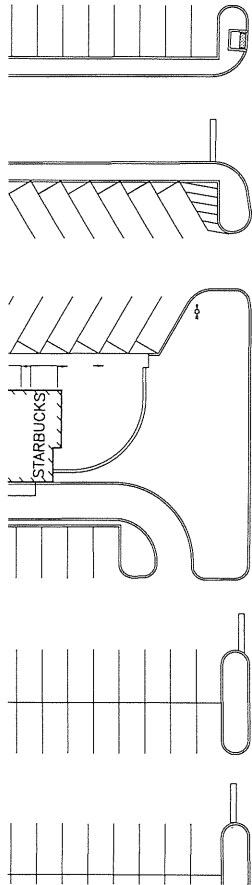
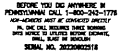
This land development plan was reviewed by Gilmore & Associates, Inc., the appointed Township Engineer for Upper Moreland Township this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

GENERAL NOTES:

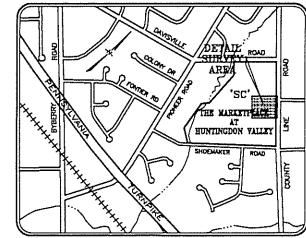
- [illegible]

MARKETPLACE AT HUNTINGDON VALLEY  
PREPARED FOR  
NEW CENTURY ASSOCIATES  
GROUP, L.P.  
2000 COUNTRY LINE ROAD  
PETER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA

DATE  
MAY 24, 2022  
DWG NO.  
UP. MORL-1-40  
JOB NO.  
26623  
SHEET NO.  
1 OF 10



# COUNTY LINE ROAD









LOCATION MAP  
SCALE: 1" = 800'

LEGEND

EXISTING

	CONTOUR LINE
	SPOT ELEVATION
	FORDING
	FIRE HYDRANT
	UTILITY POLE
	GAS VALVE
	WATER VALVE
	SEWER CATCH
	STORM DRAIN
	OVERHEAD WIRE
	GAS ELECTRIC CONDUIT
	SEWER
	WATER LINE
	SANITARY SEWER LATERAL
	WATER SERVICE
	TRAFFIC SIGN
	ODDNESS TREE
	ELEVATION TREE
	SAWNEY FORCE MAIN

PROPOSE

	CONC. FILLED STEEL PIPE
	TRAFFIC SIGN
	PAVEMENT MARKINGS
	LIGHT STRG.
	CONCRETE PAVEMENT
	NUMBER OF PARKING SPACES

KEY	DESCRIPTION	SERIES	SIZE
"T"	"STOP" SIGN	(R1-1)	30" x 30"
"ADA"	ADA "RESERVED PARKING"	(R2-8)	12" x 18"
	ADA "VAN ACCESSIBLE"	(R2-8A)	12" x 18"
	"VIOLATORS SUBJECT TO FINE"	(R2-8B)	12" x 18"
"DN"	"DO NOT ENTER"	(R5-1)	30" x 30"
"TM"	"NO PARKING FIRE LANE"		12" x 18"
"ONE"	"ONE WAY" RIGHT	(R6-1R)	36" x 12"
"ONE"	"ONE WAY" LEFT	(R6-1L)	36" x 12"
"PL"	"PICK-UP PARKING ONLY"		12" x 18"

**GENERAL NOTES:**

1. Location and elevation survey conducted by Charles E. Shoemaker, Inc. during March 2022.
2. Topographic information derived by field survey by Charles E. Shoemaker, Inc. based on NAD 83, using a total station and indirect virtual network method.
3. BENCHMARK: Front Entry Drive Dwell Station 24.54, NAVD 83 Datum.
4. Existing underground utility locations were plotted from utility company plans supplied to us in accordance with PA INE call or by physical survey locations.
5. Existing underground utility locations are supported by evidence as required by PA INE call to verify the exact locations of all underground utilities and structures, except as noted below. The telephone company City Systems, Inc. phone No. 1-800-242-1778
6. The subject property is located outside of the 100-year floodplain as determined by the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) (Panel 312 of 451), map effective March 2, 2016.
7. The subject is not a natural gas or propane gas service area.
8. Public water is provided by Apala Pannayawilla and sanitary sewage facilities provided by the Upper Merionke-Hobart Joint Sewage Authority with treatment provided at the Merionke-Hobart - Hobart Wastewater Treatment Plant.
9. The proposed number of parking spaces in vicinity of Chilipe Restaurant exceeds 28 spaces per lot pick-up and stand-by spaces. Two ADA accessible parking spaces are proposed for this use.



COUNTY PARCEL NO.  
59-00-15925-00-9

BLOCK - UNIT  
59-001-011

SITE ADDRESS  
2000 COUNTY LINE RD  
HUNTINGDON VALLEY,  
PA 19004

DEED BOOK - PAGE  
5473-02273

**RECORD OWNER:**  
**NEW CENTURY ASSOCIATES**  
**GROUP, LP**  
c/o BRYAN REGAL, MANAGING PARTNER  
2010 COUNTY LINE ROAD  
HUNTINGDON VALLEY, PA 19006  
215-355-9513

**CHARLES E. SHOEMAKER, INC.**  
ENGINEERS & SURVEYORS  
110 KEYSTONE DRIVE  
MONTGOMERYVILLE, PA 18938  
PHONE 215-887-2165 FAX 215-678-7771  
E-MAIL [info@ceshoemaker.com](mailto:info@ceshoemaker.com)

THE MARKETPLACE AT HUNTINGDON VALLEY

CHIPOTLE LAYOUT PLAN  
PREPARED FOR  
NEW CENTURY ASSOCIATES  
GROUP, L.P.  
2000 COUNTRY LINE ROAD  
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE MAY 24, 2022  
DWN NO. 00  
UPP. MORL-1-4053  
JOB NO. 26623  
SHEET NO. 2 OF 10

DATE  
MAY 24, 2022

DWG NO.  
UP. MORL.-1-4053

JOB NO.  
26623

SHEET NO.  
2 OF 10

Surveyors, Inc., dated November 3, 2017.

**PARKING LOT LANDSCAPE AREA:**

---

EXISTING PARKING AREA = 520,188 S.F.

EXISTING LANDSCAPING WITHIN PARKING AREAS:  
30,458 S.F. = 9.7% OF TOTAL PARKING AREA

PROPOSED LANDSCAPING WITHIN PARKING AREAS:  
30,414 S.F. = 9.7% OF TOTAL PARKING AREA

1. Sec. 20.12 PARKING 5.(c) - FOR THE REDUCTION OF TOTAL PARKING SPACES BY 25 PERCENT DUE TO JOINT USE OF COMMON PARKING AREAS.

BUILDING ROOF COVER = 4,560 S.F.  
BUILDING FOOTPRINT = 3,000 S.F.  
BUILDING LEASE AREA = 2,700 S.F.  
GREEN AREA = 1,837 S.F.  
IMPERVIOUS COVERAGE = 27,543 S.F.  
PARKING GREEN AREA = 1,132 S.F.  
PARKING SPACES = 32 PARKING SPACES.

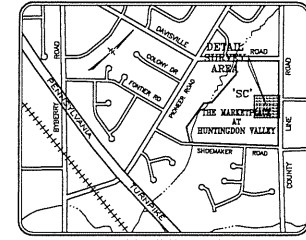




BEFORE YOU DO ANYTHING IN  
MONTGOMERY COUNTY, CALL 1-800-242-1778  
FOR A FREE COPY OF THE MONTGOMERY COUNTY  
UNIFORM ZONING ORDINANCE, WHICH IS  
THE BASIS FOR ALL ZONING DECISIONS.  
CALL 1-800-242-1778

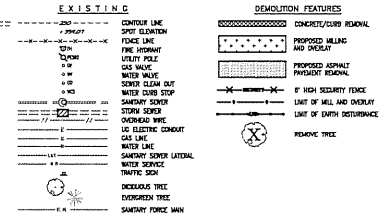
PA ONE CALL LIST OF RESPONDING USERS		
1-800-242-1778		
NAME OF USER	USERS ADDRESS	CONTACT PERSON
Allegheny Township	1176 Oak Hill Road Allegheny, PA 15001	Tim Clark tclark@allegheny.org
Comcast	4400 Wayne Avenue Pittsburgh, PA 15206	Robert Henry rob_henry@comcast.com
PG&E ENERGY (A/E/DES)	600 S. Washington Road, Suite 5 King of Prussia, PA 19406	Julie Shindler jshindler@pgandenergy.com
Allegheny Township Waterworks	1000 Flaxton Road Allegheny, PA 15001	George Wilkey gwilkey@allegheny.org
Agate Persepolis, Inc.	792 W. Lancaster Avenue Bryn Mawr, PA 19010	James Thornton jthornton@agatemarket.com
Verizon Pennsylvania, LLC	1000 Virginia Drive Fort Washington, PA 19034	Dorine Lippert-Johnson djohnson@verizon.com

DUNKIN'  
DONUTS



SCALE: 1" = 800'

#### LEGEND



#### DEMOLITION NOTES:

- Contractor shall visit site prior to bid and investigate items requiring demolition to determine full extent of work required. Distances are noted generally on this plan.
- Structures are noted generally on this plan. All concrete, light, signs, trees, bituminous paving etc. and all miscellaneous debris materials demolished shall not be buried on the subject site and removed. All excavated material and debris (solid waste) shall be disposed of in accordance with Allegheny County, State, and Federal laws and applicable codes. The Contractor shall properly remove and dispose of hazardous/available material off-site in accordance with all applicable codes, ordinances, and laws.
- The General Site Contractor shall be responsible for the coordination of interrupted utility services if necessary, including ELECTRIC, TELEPHONE, GAS, AND WATER etc., between the Owner and the local utility companies. All utilities and services, including but not limited to gas, water, electric, sanitary, telephone, cable, fiber optic cable, etc., within the limits of disturbance, shall be vertically and horizontally located. The Contractor shall use and comply with the requirements of the applicable utility notification system to locate all the underground utilities.
- Charles E. Shoemaker, Inc. assumes no responsibility for the information shown or not shown regarding underground storage tanks and environmental issues.
- Site materials which are removed through demolition such as bituminous paving shall be recycled, or disposed of in accordance with the Department of Environmental Protection Solid Waste Management Regulations per 25 Pa Code 280.1 et seq., 271.1 et seq., and 287.1 et seq. The Contractor shall not illegally bury, dump, or discharge any building material or waste at this site.
- The Contractor is responsible to safeguard the site or necessary to perform the demolition in such a manner as to prevent the unauthorized entry of persons at any time.
- The Demolition Contractor is responsible for all repairs of damage to all items that are to remain as a result of his activities.

PROPOSED EARTH DISTURBANCE = 14,250 S.F. or 0.33 ACRES

#### GENERAL NOTES:

- Location and elevation survey conducted by Charles E. Shoemaker, Inc. during March 2022.
- Topographic information derived by field surveys by Charles E. Shoemaker, Inc. based on MVD 88, using Lloyd Instrument virtual network system. BENCHMARK: Front Entry Door Elevation 204.54, MVD 88 Datum.
- Existing underground utility locations were plotted from utility company plans supplied to us in accordance with PA ONE CALL or by physical survey locations. All underground utility locations are approximate only. Contractors are required by PA ONE CALL to verify the exact locations of all underground utilities prior to commencing excavation activities. Pennsylvania One Call Systems, Inc., phone No. 1-800-242-1778.
- The subject property is located outside of the 100-year floodplain as determined by the Federal Emergency Management Agency, Flood Insurance Rate Map, No. 42091C03120, (Panel 312 of 451), map effective March 2, 2016.
- The subject parcel is within the SC Shopping Center District.
- Public water is provided by Agate Persepolis and sanitary sewage facilities provided by the Upper Meriand-Holbrook Joint Sewage Authority with treatment provided at the Upper Meriand - Holbrook Joint Sewage Authority Waste Water Treatment Plant.
- The proposed number of parking spaces is vicinity of Chipotle Restaurant equals 25 spaces plus 6 pick-up/drop-off spaces. Two ADA accessible parking spaces are proposed for this use.



COUNTY PARCEL NO. 1-100-100-20-1  
BLOCK - LOT 20  
SITE ADDRESS  
110 KESTONE DRIVE  
HUNTINGDON VALLEY, PA 19006  
COUNTY LINE ROAD  
210-330-7711

RECORD OWNER  
NEW CENTURY ASSOCIATES  
GROUP, LP  
415 SEAWAY DRIVE  
HUNTINGDON VALLEY, PA 19006  
210-330-7711

CHARLES E. SHOEMAKER, INC.  
110 KESTONE DRIVE  
HUNTINGDON VALLEY, PA 19006  
PHONE 210-330-7711 FAX 210-330-7711  
E-MAIL: info@ceshoemaker.com  
SCALE: 1" = 800'

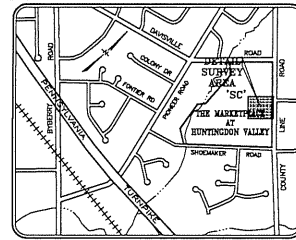
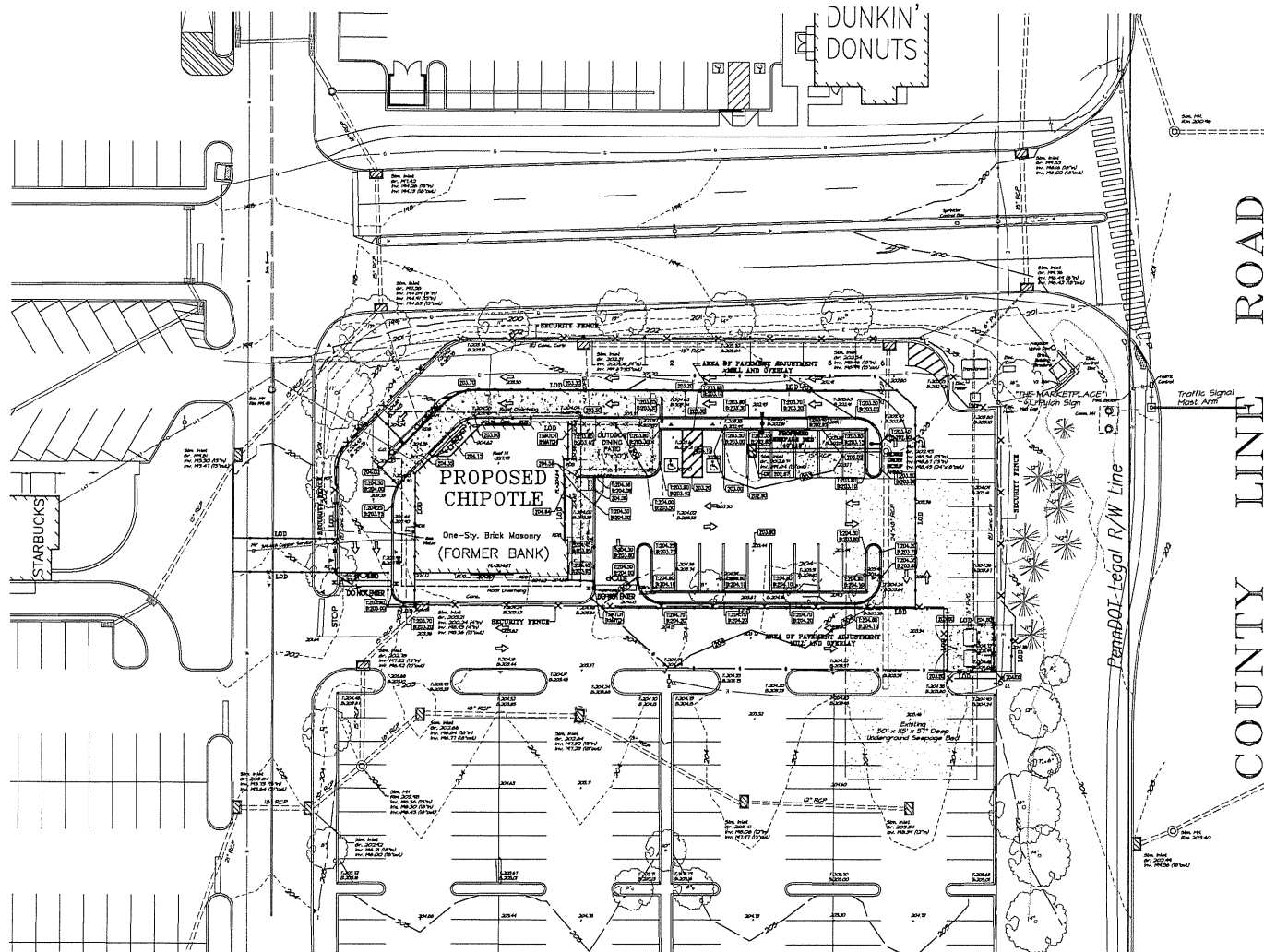
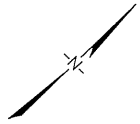
THE MARKETPLACE AT HUNTINGDON VALLEY

DEMOLITION PLAN  
NEW CENTURY ASSOCIATES  
GROUP, L.P.  
2000 COUNTY LINE ROAD  
UPPER MERIAND TOWNSHIP, MONTGOMERY COUNTY, PA

DATE MAY 24, 2022  
DWG NO. U.P. MORL-1-4054  
JOB NO. 26623  
SHEET NO. 4 OF 10



BEFORE YOU DO ANYTHING IN  
PENNSYLVANIA CALL 1-800-242-1778  
AND ASK FOR THE ONE CALL SERVICE  
IN THE ONE CALL SERVICE AREA NUMBER  
AND THEN TO THE ONE CALL SERVICE  
AREA NUMBER OF PENNSYLVANIA  
BEFORE YOU DO ANYTHING



LOCATION MAP  
SCALE: 1" = 800'

LEGEND

EXISTING	PROPOSED
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
TOP & BOTTOM	TOP & BOTTOM
CONCRETE PAVEMENT	CONCRETE PAVEMENT
SECURITY FENCE	SECURITY FENCE
LIMIT OF MLL & OVERLAY	LIMIT OF MLL & OVERLAY
LIMIT OF EARTH DISTURBANCE	LIMIT OF EARTH DISTURBANCE

GENERAL NOTES:

- Location and elevation survey conducted by Charles E. Shoemaker, Inc. during March 2022.
- Topographic information derived by field surveys by Charles E. Shoemaker, Inc. based on NAVD 83, using Board of Survey virtual network system. BENCHMARK: Front Entry Door Elevation 204.54, NAVD 83 Datum.
- Existing underground utility locations were plotted from utility company plans supplied to us in accordance with PA ONE CALL or by physical survey locations. All underground utility locations are approximate only. Contractors are required by PA ONE CALL to verify the exact locations of all underground utilities prior to commencing excavation activities. Pennsylvania One Call Systems, Inc., phone No. 1-800-242-1778.
- The subject property is located outside of the 100-year floodplain as determined by the Federal Emergency Management Agency, Flood Insurance Rate Map, No. 42081C03720, (Panel 312 of 451), map effective March 2, 2018.
- Public water is provided by Aqua Pennsylvania and sanitary sewage facilities provided by the Upper Merion-Halbors Joint Sewage Authority with treatment provided at the Upper Merion - Halbors Joint Sewage Authority Wastewater Treatment Plant.
- The proposed number of parking spaces in vicinity of Chipotle Restaurant equals 25 spaces plus 6 pick-up stand-by spaces. Two ADA accessible parking spaces are proposed for the use.

THE MARKETPLACE AT HUNTINGDON VALLEY

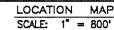
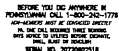
GRADING PLAN  
PREPARED FOR  
NEW CENTURY ASSOCIATES  
GROUP, L.P.  
2000 COUNTY LINE ROAD  
UPPER MERION TOWNSHIP, MONTGOMERY COUNTY, PA

DATE: MAY 24, 2022  
DWG NO.: UPR\_MORL-1-4055  
JOB NO.: 26623  
SHEET NO.: 5 OF 10

CHARLES E. SHOEMAKER, INC.  
110 KESTONE DRIVE  
MONTGOMERYVILLE, PA 19360  
PHONE: E-MAIL: ash@eshoemaker.com  
SCALE: 1" = 200'

RECORD OWNER:  
NEW CENTURY ASSOCIATES  
GROUP, L.P.  
110 KESTONE DRIVE  
MONTGOMERYVILLE, PA 19360  
PHONE: 610-335-4013  
FAX: 610-335-4013





15' WIDTH

TYPICAL PAVING SECTION

15' PERFORATED PIPE (0.005' / 1/16')

1' FILTER FABRIC (ALL SIZES)

INV. 198.54

AASHTO #57 STONE

BOTTOM OF STONE ELEV. 197.54

UNCOMPACTED SUBGRADE

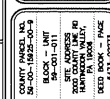
SEEPAGE BED DETAIL

**WATER QUALITY INLET/SEEPAGE BED CONSTRUCTION REQUIREMENTS:**

1. Cautions proposed bed area as delineated on the Utility Plan and clearly bed bottom.
2. Install filter fabric on slope of excavated drain.
3. Install 12" stone layer.
4. Install 15' perforated HDPE pipe and backfill with #57 stone.
5. Install 6" polyurea on top of stone.
6. Install water quality separator per manufacturer. Seal as required to prevent sediment from entering the system until silt is stabilized.
7. Place and compact appropriate fill as per the design grades.
8. Final sediment protection should be immediately placed on all inlets if not already present.

GENERAL NOTES:

1. Location and elevation statement conducted by Charles E. Shoemaker, Inc. during March 2002.
2. Topographic information derived by field survey was obtained by Charles E. Shoemaker, Inc. based on NAVD 83, Johns Bay, instrument used, wetted network system.
- BENCHMARK: Front Entry Drive Station 204.84, NAVD 85 26.5
3. Existing underground utility locations were plotted from utility company plans and were not confirmed by field survey. Utility locations are approximate only.
4. All underground utility locations are approximate only. Connections are required to the CAC and to the City of Portland. The City of Portland is responsible for connecting existing facilities. Penetration City of Portland, Inc. phone No. 1-800-242-1771.
5. The subject property is located outside of the 100-year Floodplain as determined by the Federal Emergency Management Agency, Flood Insurance Rate Map, No. 420910C1312C, (FIRM 42091C131), map effective 08/01/00.
6. The subject parcel is located within the SC School District Center District.
7. Public water is provided by City of Pennington and sanitary sewage facilities provided by the Upper Mendenhall-Hatboro Joint Sewage Authority with treatment provided at the Hatboro Sewage Treatment Plant - historic site.
8. The proposed number of parking spaces in vicinity of Chopin Restaurant equals 25 spaces plus a pick-up/drop-off spaces. Two ADA accessible parking spaces are provided for public use.



**RECORD OWNER**  
**NEW CENTURY ASSOCIATES**  
**GROUP, LP**  
100 BRIAN REGEL, MANAGING PARTNER  
2010 COUNTY LINE ROAD  
HUNTINGDON VALLEY, PA 19008

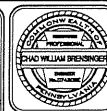
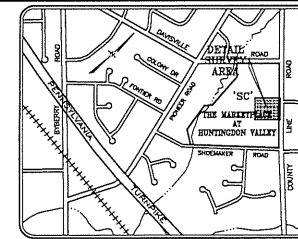
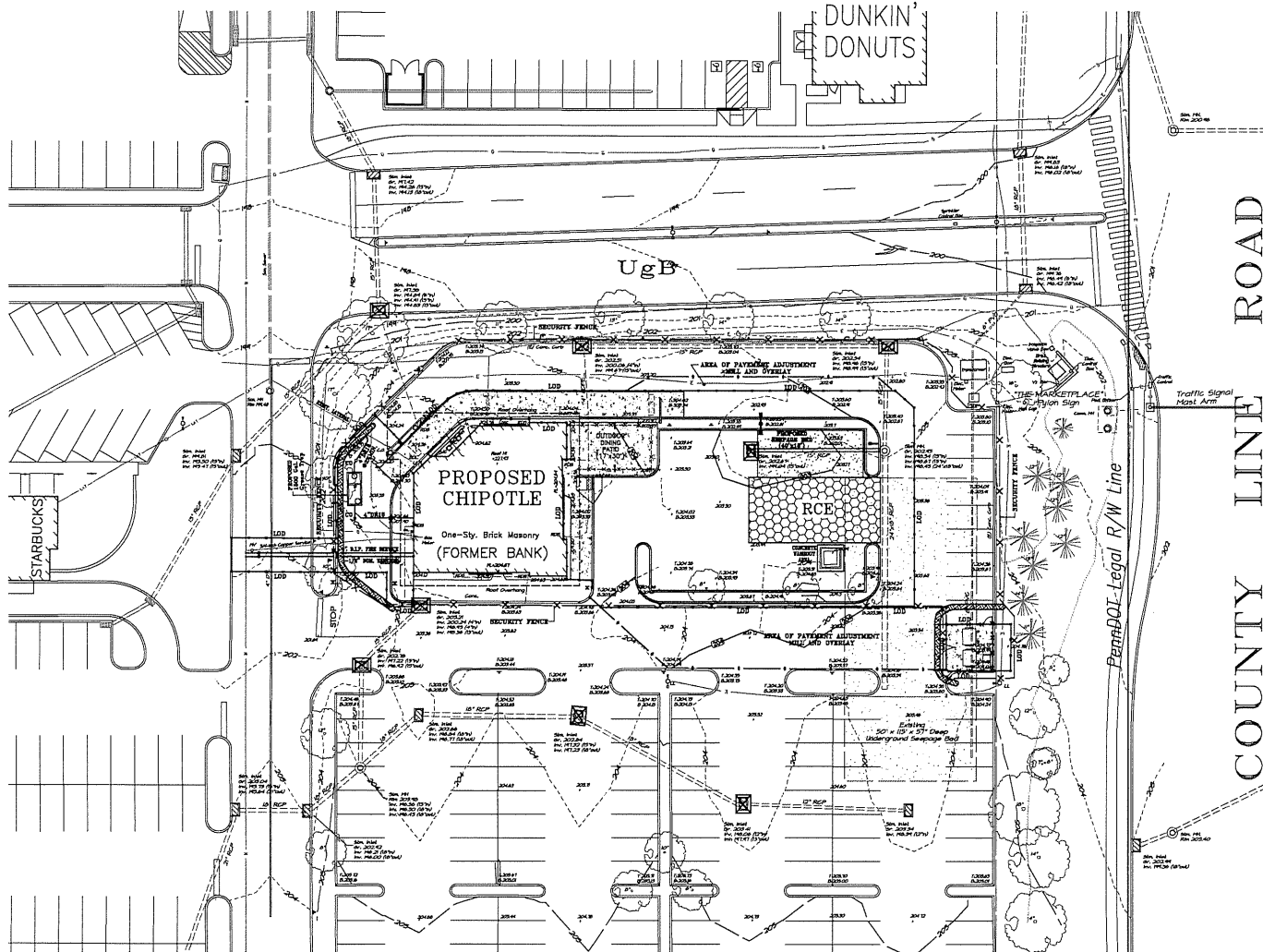
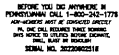
**CHARLES E. SHOEMAKER, INC.**  
ENGINEERS & SURVEYORS  
110 KEYSTONE DRIVE  
MONTGOMERVILLE, PA 18938  
PHONE 215-867-2165 FAX 215-576-7791  
E-MAIL [info@ceshoemaker.com](mailto:info@ceshoemaker.com)  
SCALE 1" = 20'

[illegible]

## THE MARKETPLACE AT HUNTINGDON VALLEY

UTILITY PLAN  
PREPARED FOR  
NEW CENTURY ASSOCIATES  
GROUP, L.P.  
2000 COUNTRY LINE ROAD  
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA

DATE  
MAY 24, 2022  
DWG NO.  
UP. MORL-1-405  
JOB NO.  
26623  
SHEET NO.  
6 OF 10



COUNTY PARCEL NO. 59-00-15825-00-9	BLOCK - UNIT 59-001-011	SITE ADDRESS 2000 COUNTY LINE RD HUNTINGTON VALLEY, PA 19006	DEED BOOK - PAGE
<div> <div> COUNTY PARCEL NO. 59-00-15825-00-9 </div> <div> BLOCK - UNIT 59-001-011 </div> <div> SITE ADDRESS 2000 COUNTY LINE RD HUNTINGTON VALLEY, PA 19006 </div> <div> DEED BOOK - PAGE </div> </div>			

**RECORD OWNER:**  
**NEW CENTURY ASSOCIATES GROUP, LP**  
c/o BRIAN REGLI, MANAGING PARTNER  
2010 COUNTY LINE ROAD  
HUNTINGDON VALLEY, PA 190  
215-355-9513

**CHARLES E. SHOEMAKER, INC.**  
ENGINEERS & SURVEYORS  
110 KEYSTONE DRIVE  
MONTGOMERVILLE, PA 18036  
PHONE 215-867-2105 FAX 215-876-7791  
E-MAIL [slaff@eshoemaker.com](mailto:slaff@eshoemaker.com)  
SCALE 1" = 20'

# LEGEND

## EXISTING

	CONTAIN LINE
	SPOT ELEVATION
	TRANS. CENTER LINE
	TRANS. RIGHT OF WAY
	UTILITY
	WATER
	SEWER
	STORM SEWER
	WATER CUP STOP
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	SEWER
	STORM SEWER
	WATER CUP STOP
	WATER
	SEWER
	STORM SEWER
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	WATER
	SEWER
	STORM SEWER
	WATER CUP STOP
	WATER
	SEWER
	STORM SEWER
	WATER CUP STOP

PROPOSED EARTH DISTURBANCE = 14.250 S.Y. or 0.33 ACRES

GENERAL NOTES:

- 1. Location and elevation survey performed by Charles E. Shoemaker, Inc. during March 2022.
- 2. Topographic information derived by field surveys by Charles E. Shoemaker, Inc. based on NAD 83, using Boyl Instrument utility network system.
- 3. BENCHMARK: Front Entry Drive Station 20454, NAD 83 Datum.
- 4. Existing underground utility locations were plotted from utility company plans supplied to us in accordance with PA O&E, Call or by physical survey locations. The underground utility locations were verified by the excavations are marked by PA O&E Call to verify the exact locations of all underground utilities prior to commencing excavation activities. Pennsylvania One Call System, Inc. phone No. 1-800-442-1234.
- 5. The subject property is located outside of the 100-year Floodplain as determined by the Federal Emergency Management Agency's National Flood Map No. 4229910212G, (Panel 312 of 451), most effective March 2, 2018.
- 6. The subject parcel is within the SC Shopping Center District.
- 7. Public water is provided by Aqua Pennsylvania and sanitary sewage facilities provided by the Upper Merion and Hottelboro Sanitary Sewerage Authority. Wastewater provided by the Upper Merion – Hottelboro Joint Sewage Authority Waste Water Treatment Plant.
- 8. The proposed number of parking spaces in vicinity of Chicago Restaurant equals 26. It is noted that a pick-up/drop-off zone, two ADA accessible parking spaces are proposed for this use.
- 9. Soil classification taken from the USDA-NRCS State Survey of Montgomery County, PA, April 16, 1989, is: 2010.
- 10. Utility values of Chicago site improvements are classified as:
  - UgB – Urban Load, 20 to 5 percent slopes.

THE MARKETPLACE AT HUNTINGDON VALLEY

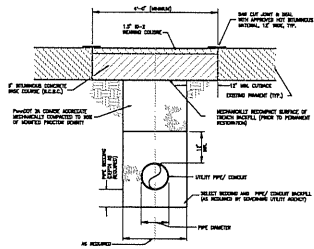
EROSION CONTROL PLAN

PREPARED FOR

NEW CENTURY ASSOCIATES  
GROUP, L.P.

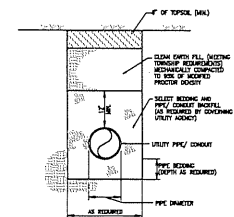
2000 COUNTY LINE ROAD  
PEPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE: MAY 24, 2022  
DWG NO. UP. MORL-1-405  
JOB NO. 26623  
SHEET NO. 7 OF 10

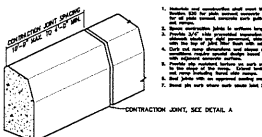
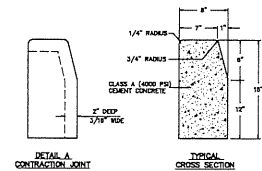


- NOTES:
1. TRENCH RESTORATION SHALL BE TO ORIGINAL FINISH GRADE.
  2. CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE.
  3. REINFORCEMENT SHALL BE 1/2" DIA. BARS.
  4. JOINTS SHALL BE LOCATED AT THE END OF THE TRENCH.
  5. THE TRENCH SHALL BE FILL WITH GRANULAR FILL.
  6. THE TRENCH SHALL BE FILL WITH GRANULAR FILL.
  7. THE TRENCH SHALL BE FILL WITH GRANULAR FILL.
  8. THE TRENCH SHALL BE FILL WITH GRANULAR FILL.
  9. THE TRENCH SHALL BE FILL WITH GRANULAR FILL.
  10. THE TRENCH SHALL BE FILL WITH GRANULAR FILL.

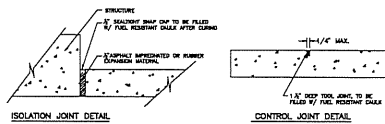
TYPICAL TRENCH RESTORATION DETAIL  
(FOR PAVED AREAS)



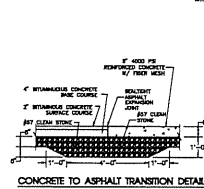
TYPICAL TRENCH RESTORATION DETAIL  
(FOR NON PAVED AREAS)



PLAIN CEMENT CONCRETE CURB

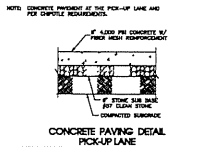


- NOTES:
1. ISOLATION JOINTS SHALL BE 1/2" DIA. BARS.
  2. ISOLATION JOINTS SHALL BE 1/2" DIA. BARS.
  3. ISOLATION JOINTS SHALL BE 1/2" DIA. BARS.
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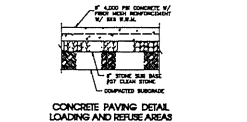


CONCRETE TO ASPHALT TRANSITION DETAIL

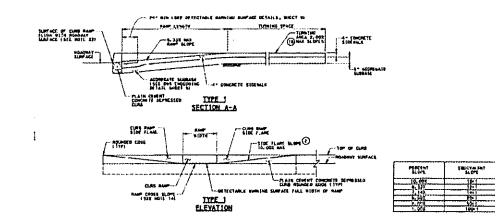
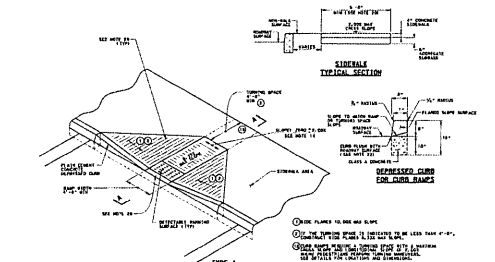
- CONCRETE PAVING SPECIFICATION
1. LIGHT BROWN FINISH.
  2. USE OF SHEDDING-CURBING COMPOUND WITH ASTM C-108 SHOULD BE USED.
  3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AS SPECIFIED AT 28 DAY STRENGTH.
  4. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" (DO WITHIN A TOLERANCE OF 1").
  5. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
  6. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
  7. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
  8. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
  9. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
  10. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.



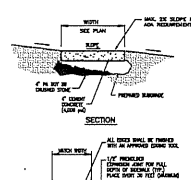
CONCRETE PAVING DETAIL PICK-UP LANE



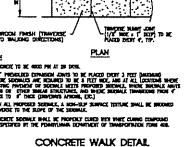
CONCRETE PAVING DETAIL LOADING AND REFUSE AREAS



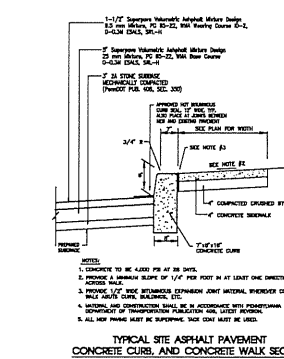
EQUIVALENT SLOPES



CONCRETE CURB DEPRESSION FOR SIDEWALK RAMPS



CONCRETE WALK DETAIL



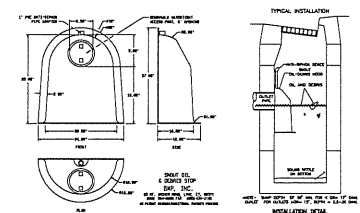
TYPICAL SIDEWALK PAVEMENT

# ADA ACCESSIBILITY NOTES:

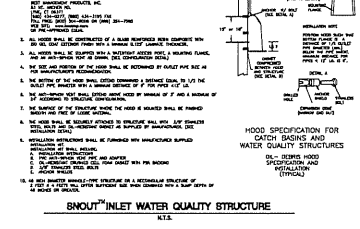
1. All handicapped parking spaces and access aisles to the handicap parking spaces shall have a maximum of 2% slope in all directions (this includes running slope and cross slope).
2. An accessible route from the public street or sidewalk to a building entrance must be provided. This accessible route shall be a minimum of 60" wide. The running slope of an accessible route shall not exceed 5% and the cross slope shall not exceed 2%.
3. Slopes exceeding 5% but less than 8% will require a ramp and must conform to the requirements for ramp design (handrails, curbs, landings). No ramps shall exceed 8% running slope or 2% cross slope.
4. In the case that a new sidewalk will be constructed in the R-O-W of a site, the running slope of the sidewalk shall not exceed 5% and the cross slope shall not exceed 2%. This standard applies to cross walks in the driveway as well and will require special attention during staking to make sure the 2% cross slope is met in the cross walk.
5. It will be the responsibility of the General Contractor to ensure that the handicap parking spaces, accessible routes, and sidewalk/crosswalks are constructed to meet ADA requirements.
6. Any requirements listed above that can not be met shall be brought to the Engineer's attention immediately. Anything not built to the above standards will require removal and replacement of the non-compliant areas at the General Contractor's cost.

# CONSTRUCTION NOTES:

1. All Dimensions are based upon local NAD 88 Datum.
2. Unless otherwise stated, all construction or material standards not specifically shown or referred to herein shall comply with the provisions of Pennsylvania Department of Transportation Publication 408, Publication 72 (Standards for Roadway Construction - RC Standards), Pennsylvania Code, Title 67, Chapter 441 (Access to and Occupancy of Highways by Drivers and Local Residents), or any other applicable Pennsylvania Department of Transportation Publication. Deviation from any standard specified in the ordinance or stated herein, shall be approved by the Township Engineer.
3. All concrete utilized in the construction of approved structures/facilities shall, as a minimum be PENNDOT Class "A" (4000 p.s.i. - 28 day compressive strength) unless more stringent standards are specified elsewhere on the construction details or in PennDOT Publications 408 and/or 72.
4. Existing underground utilities were plotted from utility company plans supplied to us in accordance with PA ONE CALL and are approximate only. Contractors are required by PA ONE CALL to determine the exact location of all underground utilities prior to commencing construction.
5. All utilities and services, including but not limited to gas, water, electric, sanitary and storm sewer, telephone, cable, fiber optic cable, etc. within the limits of disturbance, shall be vertically and horizontally located. The Contractor shall use and comply with the PA ONE CALL system and on-site investigations to locate all the underground utilities prior to work disturbance.
6. Site grading shall be performed in accordance with these plans and specifications, and the recommendations by the on-site construction Geotechnical Engineer.
7. All excavated or fill areas shall be compacted to 95% of modified proctor maximum density per ASTM Test D-1557. Should subbase be deemed unsuitable by the District or Owner's representative, subbase to be removed and filled with approved fill material compacted to 95% optimum density.
8. The Contractor shall be required to secure all necessary permits (including Conservation District and D.E.P., etc.) for all off-site haul and/or borrow area.
9. All new curb on-site shall be concrete curb with six (6) inch reveal unless otherwise noted.
10. Contractor shall notify Township and Township Engineer 48 hours prior to start of construction.
11. The Contractor is responsible for coordination of the site plan documents and submittal design for exact building utility connection locations, precise tree requirements/details, door access, and exterior grading.
12. The Public shall not have access to active construction zone. Site Contractor shall provide orange protection fencing or temporary 6 Ft. high chain link fencing during construction activities.



TYPICAL INSTALLATION



HOOD SPECIFICATION FOR



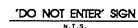
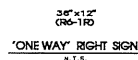
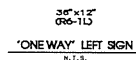
RECORD OWNER  
NEW CENTURY ASSOCIATES  
GROUP, LP  
110 MESSINE DRIVE  
MONTGOMERY COUNTY, PA 19008  
HUNTINGDON VALLEY, PA 19008  
215-339-9010

CHARLES E. SHOEMAKER, INC.  
110 MESSINE DRIVE  
MONTGOMERY COUNTY, PA 19008  
PHONE: 215-339-9010  
E-MAIL: info@ceshoemaker.com  
SCALE: AS NOTED

DATE: MAY 24, 2022  
DWG NO.: 26623  
SHEET NO.: 8 OF 10

THE MARKETPLACE AT HUNTINGDON VALLEY  
CONSTRUCTION DETAILS  
NEW CENTURY ASSOCIATES  
GROUP, L.P.  
2000 COUNTY LINE ROAD  
UPPER MERIDON TOWNSHIP, MONTGOMERY COUNTY, PA





**SIGNAGE REQUIREMENTS:**

1. SIGNS TO BE A MINIMUM SIZE OF 12" IN WIDTH AND 18" IN HEIGHT.
2. SIGN TO BE DOUBLE SIDED AND PLACED PERPENDICULAR TO THE FLOW OF TRAFFIC.
3. MINIMUM HEIGHT OF LETTERS IS THREE (3) INCHES.
4. THE BOTTOM OF THE SIGN SHALL BE A MINIMUM OF SEVEN (7) FEET ABOVE THE PAYMENT OR CURB.

**MINIMUM MESSAGE NOTICES**

1. MINIMUM WIDTH OF ANY PART OF A LETTER IS FOUR (4) INCHES.
2. MINIMUM HEIGHT OF LETTER IS THIRTY-SIX (36) INCHES.
3. MINIMUM LENGTH OF MESSAGE IS FIFTY (50) INCHES.
4. WHERE A CURB ACTS AS A BOUNDARY TO A PLANE, CURBS TO BE PAINTED YELLOW.

**COLORS LETTERS**

Legends & Symbols	RED	[4400-REFLECTANCE]
Black/white	WHITE	[85-REFLECTANCE]

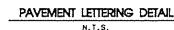
**COLORS Legend**

Legend & Barbell:	RED	(NEW-PROFESSIONAL)
Background:	WHITE	(NEW-PROFESSIONAL)



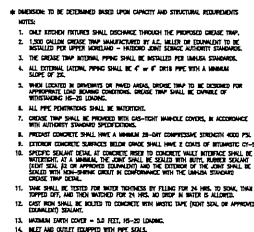
PICKUP  
AHEAD

8'-0"

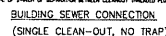


**SANITARY SEWER CONSTRUCTION NOTES:**

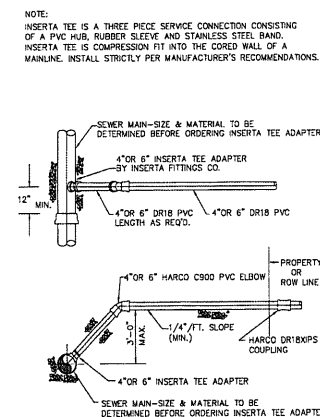
1. All utilities (including but not limited to water, gas, electric, phone, etc.) shall have a minimum of 10 inches of vertical clearance and 10 feet of horizontal clearance with the secondary lines, or whatever is required by the individual utility, whichever is greater.
2. Sanitary lines shall be located below water lines.
3. All building sewer to be tested per Township Code.
4. Cleanouts required one per 50 feet of pipe and at every bend.
5. Cleanouts in non-paved areas shall be East Jordan #1574, Hiemach Foundry R-1975-42, or approved equal. Cleanout cap protection covers shall have a minimum of 2-inch of separation between cleanout, wooded pipe and curbs.



1,500 GALLON (2 COMPARTMENT) TANK  
GREASE TRAP/OIL SEPARATOR DETAIL



UMHJSA DWG 027 - BUILDING SEWER CONNECTION



UMHJSA DWG 029 - LATERAL CONNECTION INTO  
EXISTING MAIN WITH INSERTA TEE ADAPTER

CONSTRUCTION DETAILS  
PREPARED FOR  
NEW CENTURY ASSOCIATES  
GROUP, L.P.  
2000 COUNTRY LINE ROAD  
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE MAY 24, 2022  
DWG NO. UP, MORL-1-4060  
JOB NO. 26623  
SHEET NO. 10 OF 10



COUNTY PARCEL NO. 56-00-15425-00-8 BLOCK - UNIT 56-001-011 SITE ADDRESS 300 HUNTINGTON VALLEY RD HUNTINGTON VALLEY, PA 19006	RECORD OWNER NEW CENTURY ASSOCIATES GROUP, LP % BRUN REEL MANAGING PARTNER 2010 COUNTY LINE ROAD HUNTINGTON VALLEY, PA 19006 014-355-0111
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**CHARLES E. SHOEMAKER, INC.**  
ENGINEERS & SURVEYORS  
110 KEYSTONE DRIVE  
MONTGOMERVILLE, PA 18936  
PHONE: 215-957-2103 FAX: 215-876-7761  
E-MAIL: staff@ceshoemaker.com  
SCALE: AS NOTED

THE MARKETPLACE AT HUNTINGDON VALLEY

# EXHIBIT

## B



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

June 30, 2022

File No. 22-06005

Paul Purtell, Code Enforcement Director  
Upper Moreland Township  
117 Park Avenue  
Willow Grove, PA 19090

Reference: 2010 County Line Road  
The Marketplace at Huntingdon Valley - Chipotle  
Land Development Review 1

Dear Paul:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the submitted land development plans for the above-referenced project. Upon review, we offer the following comments for consideration by Upper Moreland Township.

I. Submission

- A. Marketplace Site Plan prepared by Charles E. Shoemaker, Inc., dated May 24, 2022, consisting of sheets 1 to 10 of 10.
- B. Stormwater Management Narrative, prepared by Charles E. Shoemaker, Inc., dated May 24, 2022.

II. General Information

The subject property is located at 2010 County Line Road within the Township's SC – Shopping Center Zoning District and contains 45 acres. The commercial property is mixed use and contains multiple retail stores, grocery store, movie theater, pharmacy, gym, gas station, and three restaurants. The Applicant is proposing to construct a 3,000 square-foot restaurant to replace the existing bank. Additional improvements include new pavement, curb, and landscaping. To handle runoff from the proposed improvements, the Applicant is proposing to install an underground seepage bed within the parking area.

III. Review Comments

A. Zoning Ordinance

We have identified no issues with the proposed plan with respect to the requirements and provisions of the current Upper Moreland Township Zoning Ordinance (Chapter 350).

B. Subdivision and Land Development Ordinance (SALDO)

We have identified the following issues with respect to the requirements and provisions of the current Upper Moreland Township Subdivision & Land Development Ordinance (Chapter 300):

- 1. §300-14.G – The Board of Commissioners (Board) may grant modification to the requirements of this ordinance provided the Applicant proves undue hardship. Any waivers should be formally requested from the Township unless the plans are revised to address all comments of this letter relative to the SALDO and Stormwater Ordinances. The Record Plan should list the waivers, applicable section numbers, and the date granted as applicable, including any conditions.

65 East Butler Avenue | Suite 100 | New Britain, PA 18901 | Phone: 215-345-4330 | Fax: 215-345-8606

2. §300-17.H – No less than a five-foot radius of curvature should be provided for all curb lines in parking areas. The curb radii for the proposed parking area should be revised to meet the requirements of this section or a waiver requested.
3. §300-17.J – A detail should be provided for the proposed mill & overlay showing a tack coat being applied between the milled surface and new asphalt.
4. §300-18.A(3) – Additional spot elevations should be provided on the Grading Plan, Sheet 5, to show an accessible route from the proposed accessible parking spaces to the building entrance.
5. §300-19.A(7) – All curb should be installed with an 8-inch reveal. The plan proposes a 6-inch curb reveal. The plan should be revised to meet the requirements of this section, or a waiver requested.
6. §300-26 – The plans should be submitted to the Upper Moreland – Hatboro Joint Sewer Authority for review. Also, the required PA DEP Planning Module Application must be submitted to the Authority for review and signature if additional sewage flows are proposed as part of the project.
7. §300-27 – The plans should be submitted to Aqua PA for review and a copy of the agreement with Aqua PA provided upon receipt.
8. §300-29 – The plan proposes lighting within the parking area. A lighting plan should be added to the plan set showing the photometric levels of the proposed light, in addition to any proposed building wall-mounted lights to ensure adequate illumination levels within the pedestrian areas. Details for all proposed light fixtures, poles, and foundations should be added to the plan.
9. §300-32 – We defer to the Township's Fire Marshal for review and approval of the plans. Approval from the Fire Marshal is required prior to recording of the plan. A truck circulation plan should also be added to the plans to ensure emergency vehicles can safely navigate the revised parking layout.
10. §300-39 – We defer review of the plans with respect to the landscaping requirements of the Ordinance to McCloskey & Faber.
11. §300-52(C)(1) – The location of all existing and proposed utilities, sanitary sewers, and water lines within 400 feet of property lines should be added to the plans or a waiver requested.
12. §300-53.C – A note should be added within the List of Drawings on Sheet 1 stating the remaining plan sheets, which are not being recorded, on file at Upper Moreland Township, shall be considered part of the final record plan as if recorded with same.
13. §300-59 – The Applicant is required to post financial security to guarantee the construction of the proposed improvements. An Engineer's Opinion of Probable Cost should be submitted to our office for review and approval.
14. A Construction Sequence should be added to the Erosion Control Plan, Sheet 7.
15. A detail should be provided for the proposed trash enclosure clarifying the proposed screen fencing and cross-section of the concrete dumpster pad.
16. Sidewalks exist along the east side of the main entrance drive in the vicinity of the Dunkin Donuts but there would be no safe pedestrian access to the proposed Chipotle. The Applicant should discuss the prospect of and/or challenges to providing sidewalk access to the proposed restaurant.
17. The Applicant is responsible for all other required approvals, permits, etc. (i.e. MCPC, MCCD, PADEP, PennDOT, Municipal Authority, Fire Marshal, etc.) Copies of these permits or approvals shall be forwarded to the Township.

C. Stormwater Management Ordinance

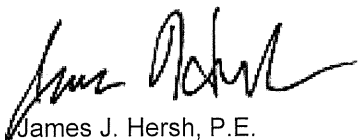
We have identified the following issues with the proposed plan with respect to the requirements and provisions of the current Upper Moreland Township Stormwater Management Ordinance (Chapter 287):

1. §287-18.K – Storage facilities should drain the volume control and rate control capacities over a period not less than 24 hours and not more than 72 hours. Dewatering calculations should be added to the Narrative to show compliance with the requirements of this section.
2. §287-18.W – We offer the following comments with respect to the proposed underground seepage bed:
  - a. The top of stone elevation should be added to the Seepage Bed Detail to determine the proposed cubic feet of volume provided by the BMP.
  - b. The plan should specify perforated pipe within the proposed BMP and solid pipe outside the proposed BMP.
  - c. Protective fencing should be proposed around the underground BMP to protect the area from compaction during construction.
3. §287-22.A – A minimum soil depth of 24 inches shall be provided between the bottom of the proposed BMP and any limiting zone. Infiltration Testing should be complete to ensure no limiting zones exist above the bottom of the BMP. The Report should be forwarded to our office for review and approval.
4. §287-23 – The provided Worksheet 4 should be revised to include the proposed BMP volume credit to confirm compliance with the requirements of this section.
5. §287-31 – The Record Plan should indicate the maintenance and ownership of the stormwater facilities will be the responsibility of the lot owner. The maintenance schedule and guidelines should be provided on the Utility Plan, Sheet 6. Lastly, a Stormwater Maintenance Agreement will be prepared by the Township Solicitor and executed prior to the plans being recorded.
6. §287-36 – The location of the proposed roof drains should be noted on the plan. We recommend the proposed drains be connected to the underground seepage bed, as opposed to discharging over pedestrian walkways. The pipe invert, size, material, slope, etc. should be noted on the plan.

In order to expedite the review process of the resubmission of the plan, the Applicant should submit a response letter which addresses each of the above comments. Changes that have been made to the application that are unrelated to the review comments should also be identified in the response letter. Additional review comments not referenced in this letter may be made upon review of the revised plan submission.

If you have any questions regarding the above, please contact this office.

Sincerely,



James J. Hersh, P.E.  
Senior Project Manager  
Gilmore & Associates, Inc.

JJH/dr/sl

cc: Mathew Candland, Township Manager  
Sean Kilkenny, Esq., Township Solicitor  
Kim Flanders, RLA, McCloskey & Faber, PC  
Chad Dixon, P.E., McMahon & Associates  
Chad Brensinger, P.E., Charles E. Shoemaker, Inc.  
Brian Regli, New Century Associates Group, LP

# EXHIBIT

## C



## **McCloskey & Faber, P.C.**

**Landscape Architecture • Land Planning • Graphic Design**

June 23, 2022

Mr. Paul E. Purtell  
Director, Code Enforcement  
Upper Moreland Township  
117 Park Avenue  
Willow Grove, PA 19090

Reference: First Landscape Plan Review for **Chipotle, 2010 County Line Road, The Marketplace at Huntingdon Valley**, Upper Moreland Township, Montgomery County, PA; M&F No. 215

Dear Mr. Purtell:

We are in receipt of an application and ten-sheet Land Development Plan submission dated May 24, 2022, and prepared by Charles E. Shoemaker, Inc. The drawings were received by our office on June 6, 2022. Existing site conditions were observed on June 7, 2022.

The applicant proposes to construct a Chipotle restaurant with associated parking within the existing parking lot (former Bank) at The Marketplace at Huntingdon Valley shopping center. The site is located in the SC Shopping Center District. We have the following comments and recommendations:

### **GENERAL REQUIREMENTS (Article 5, Section 300-40)**

1. Landscape Plans shall be prepared sealed and signed by a Landscape Architect registered in the Commonwealth of Pennsylvania. (Section 300-40 C.) Due to the small size of this development, we are not opposed to a *waiver* of this requirement, if requested, and contingent on Applicant satisfactorily addressing the comments noted below.

### **LANDSCAPE PLAN REQUIREMENTS (Article 5, Section 300-42)**

1. A Landscape Plan is required and was not included with the submission. (Section 300-41.) In addition to the proposed Landscape design, plan requirements are to include a plant schedule, notes, details, and specifications:
  - All plant materials shall be guaranteed by the developer for eighteen (18) months following final written approval by the Landscape Architect or Township engineer. (Section 300-40 G.) A note stating this is to be added to the plan.
  - The plant schedule is to be provided and to include minimum caliper and planting *height* and *spread* for trees and *height* and *spread* for shrubs at installation. (Section 300-42 K.)

## **McCloskey & Faber, P.C.**

Mr. Paul Purtell, Director, Code Enforcement

2010 County Line Road - Chipotle

June 23, 2022

Page 2

- The plant schedule is to indicate Native species plant material intended to satisfy minimum native species requirements. (Section 300-42 K. and Table 3)
  - Planting Details and Specifications are to be added to the plan. (Sections 300-42. M., and P.)
  - Tree stakes are to be installed for a period of twelve months and are to be removed prior to the End of Guarantee. A note is to be added to the plan. (Section 300-42 M.)
2. A detailed landscape cost estimate is to be included with the final landscape plan submission for determination of the escrow fund. The estimate is to include the guarantee as well as the labor, material, installation and maintenance cost. (Section 300-42 Q.) Estimate is to identify Shade tree caliper size and minimum height for Ornamental trees, Evergreen trees, and shrubs at the time of planting that meet or exceed minimum required sizes. It is to be sent to the Township Engineer with a copy to this office.
  3. It appears that the proposed Security Fences, understood to be temporary during construction, to surround the development area will satisfy the requirements for protection of existing trees to remain adjacent to the proposed construction. (Section 300-42 R.)
  4. Except for one existing tree not shown near the driveway, it appears that the information provided on the Demolition Plan (Sheet 4 of 10) meets the requirement of Section 300-42 H. that all trees with trunks eight (8) inch in caliper or greater are to be shown on the plan. The plans are to be revised to indicate this missing tree.

### **PLANTING REQUIREMENTS (Article 5, Section 300-43)**

#### **A. Street Trees (Section 300-43, A.)**

1. The street tree requirement will be met by the preservation of existing trees. (Section 300-43, A.)

#### **B. Screen Buffer (Section 300-43, C.)**

1. Construction details are to be provided for the screening fence associated with the proposed trash enclosure. (Section 300-43 C. (2) (b))

#### **C. Parking Area Landscaping (Section 300-43, D.), Individual Lot Landscaping (Section 300-43, G.) and Additional landscaping for shopping centers (Section 300-43, E.)**

1. It is assumed that the existing landscaping to be removed are plantings that were required trees per previous development of this site. As such, the equivalent amount of plantings removed should be replaced.

## **McCloskey & Faber, P.C.**

Mr. Paul Purtell, Director, Code Enforcement

2010 County Line Road - Chipotle

June 23, 2022

Page 3

2. Planting end islands are to be a minimum of 15 feet wide and 20 feet long. A minimum of one single trunked shade tree is to be placed in each island. (Section 300-43 D. (1) (d)) Six (6) foot end islands are proposed. Therefore, it appears that a *waiver* from these requirements will be necessary.

### **REPLACING TREES DESTROYED BY DEVELOPMENT (Article 5, Section 300-45)**

1. Trees proposed to be removed are assumed to be Parking Lot landscaping and Individual Lot Landscaping that were required trees per the previous development of this site. As such, as noted above, we recommend that the Applicant, at a minimum, be required to replace the quantity of trees removed. If this approach is taken, we would not be opposed to a *waiver* of replacement tree requirements.

The above Landscape Plan review is based on our review of the drawings submitted. It is recommended that the Applicant and their Landscape consultant review and address the recommendations listed in this letter. Further comments may be forthcoming following our review of the revised drawings addressing the above comments.

We trust that this landscape plan review letter responds to your request and satisfactorily addresses the landscape ordinance requirements that are apparent to us at this time. If you or the Township have any questions, or require clarification, please contact me.

Very truly yours,



Kimberli J. Flanders, R.L.A.

Assistant to Township Landscape Architect

cc: Matt Candland, Township Manager, Upper Moreland Township (email)  
David Elsier – Upper Moreland Township (email)  
Jim Hersh, P.E. – Township Engineer (email)  
Sean Kilkenny, Esq. and Alex Baumler – Township Solicitor (email)  
Gary Tilford, Project Surveyor (email)  
Chad Brensinger, Project Engineer (email)  
Brian Regli, Managing Partner, New Century Associates (email)  
James R. Faber, ASLA, Township Landscape Architect (email)

# EXHIBIT

## D



June 29, 2022

Mr. Paul Purtell  
Director of Code Enforcement  
Upper Moreland Township  
117 Park Avenue  
Willow Grove, PA 19090

RE: **Traffic Review #1 – Land Development Plans**

The Marketplace at Huntingdon Valley Shopping Center Modifications – Proposed Chipotle  
Upper Moreland Township, Montgomery County, PA  
McMahon Project No. 822595.11

Dear Paul:

Per the request of the Township, McMahon Associates, Inc. (McMahon) has prepared this letter that summarizes our initial traffic engineering review of the proposed modifications to the Marketplace at Huntingdon Valley Shopping Center in Upper Moreland Township, Montgomery County, PA. Based on our review of the plans submitted for review, the proposed modifications will consist of converting the existing 2,700 square-foot bank with drive-thru lane, which is currently vacant, into a 2,700 square-foot Chipotle restaurant with drive-thru lane. Access to the site will continue to be provided via the existing accesses along County Line Road (S.R. 2038), Davisville Road (S.R. 2042), and Shoemaker Road.

The following document was reviewed and/or referenced in preparation of our traffic review:

1. Land Development Plans for The Marketplace at Huntingdon Valley - Chipotle, prepared by Charles E. Shoemaker, Inc., dated May 24, 2022.

Based on our review of the document listed above, McMahon offers the following comments for consideration by the Township and action by the applicant:

1. According to **Section 300-17.H** of the **Subdivision and Land Development Ordinance**, no less than a five-foot curb radius shall be permitted in parking areas. It appears as though some of the curb radii located in the parking area adjacent to the proposed Chipotle are less than five feet, thereby not satisfying the ordinance requirement.
2. The plans should be revised show a minimum of three ADA parking spaces in the immediate vicinity of the proposed Chipotle.
3. It is imperative that the drive-thru not impact on-site traffic operations. A narrative should be provided by the applicant on how the drive-thru service is to be operated, and if it is a pick-up drive-thru only for online orders placed before entering the property or if there is an intent to allow for drive-thru orders to be placed on the property/in the drive-thru lane. There would be a

425 Commerce Drive, Suite 200, Fort Washington, PA 19034

P: 215.283.9444

[mcmahonassociates.com](http://mcmahonassociates.com) | [bowman.com](http://bowman.com)

significant difference in the drive-thru wait times for vehicles, and this should be clarified. In addition, the applicant must provide details on how Chipotle will address the drive-thru window queue should the success of the restaurant cause the drive-thru window queue to impact traffic operations on-site.

4. We recommend that a condition be placed on any approval of the project that the property owner will be responsible to remedy any traffic circulation and queuing operational problems that impact on-site traffic safety and efficiency.
5. Turning templates should be provided with future plan submissions demonstrating the ability of emergency vehicles, trash trucks, and the largest expected delivery vehicle to maneuver through the modified site area to ensure there are no geometric conflicts. Also, turning templates should be provided demonstrating the ability of a large SUV to maneuver entirely through the proposed drive-thru lane.
6. The Township Fire Marshal should review the emergency vehicle turning templates for accessibility and circulation needs of emergency apparatus. Ensure that any correspondence, including any review comments and/or approvals, is included in subsequent submissions.
7. The applicant should provide details on when deliveries will occur for the proposed Chipotle. Due to the smaller size of the area in the immediate vicinity of the proposed Chipotle and the potential of delivery vehicles to interfere with vehicles on-site, it is recommended that the applicant limit these services to outside normal operating hours.
8. Safe pedestrian access to the Chipotle should be evaluated by the applicant. , Potential pedestrian access options may include connecting to the existing sidewalk along the west side of the County Line Road (S.R. 2038) driveway or adding a sidewalk connection from County Line Road (S.R. 2038) directly to the Chipotle site either from the northeast corner of the intersection with Davisville Road (S.R. 2042) or along the east side of the County Line Road (S.R. 2038) driveway adjacent to the Chipotle site.
9. Review of the on-site ADA ramps has not been completed by our office, but these ramps must be designed by the applicant's engineers to comply with Federal/PennDOT design standards for ADA facilities.
10. The length of the pick-up/stand-by parking spaces located to the north of the proposed Chipotle should be labeled on the plans.
11. A "Stop" sign and stop bar should be shown on the plans on the driveway approach from the parking area to the east of the proposed Chipotle at its intersection with the drive aisle leading to the drive-thru lane.
12. "One-way" signs should be shown on the plans at the beginning of the drive-thru lane, as well as at the beginning of the one-way drive aisle to the east of the proposed Chipotle building.

13. The proposed development will be subject to the Township's Transportation Impact Fee of \$1,904 per "new" afternoon peak hour trip in accordance with the Township's *Transportation Impact Fee Ordinance*. The existing 2,700 square-foot bank with drive-thru would be expected to generate 37 "new" trips during the weekday afternoon peak hour. Since the drive-thru window feature for the proposed Chipotle is a relatively new concept for these types of restaurants, the estimated trip generation for that portion of the building was calculated using Land Use Code 934 (Fast Food Restaurant with Drive-Through Window) in ITE's publication, *Trip Generation Manual*, 11<sup>th</sup> Edition. The proposed 2,700 square-foot Chipotle will generate approximately 40 "new" trips during the weekday afternoon peak hour. Therefore, the proposed Chipotle is expected to generate an additional 3 "new" trips during the weekday afternoon peak hour over what the existing bank with drive-thru would generate, resulting in a transportation impact fee of \$5,712.
14. A PennDOT Highway Occupancy Permit is required for any modifications located within the right-of-way of County Line Road and Davisville Road, since County Line Road (S.R. 2038) and Davisville Road (S.R. 2042) are State Roadways. If the applicant pursues any work within the legal PennDOT right of way, the Township and our office must be copied on all correspondence and submissions to PennDOT, as well as invited to any meetings between the applicant and PennDOT.
15. A response letter must accompany the resubmission of the waiver of land development plans that addresses how each comment has been addressed and satisfied, and where each may be found in the materials being submitted.

We trust that this review letter responds to your request and satisfactorily addresses the traffic issues that are related to the proposed development apparent to us at this time. If you or the Township have any questions, or require clarification, please contact me.

Sincerely,



Chad Dixon, AICP, PP  
Senior Project Manager

CED/BMJ

cc: Matthew Candland, Upper Moreland Township Manager  
Jim Hersh, P.E., Gilmore & Associates

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# EXHIBIT E

**MONTGOMERY COUNTY  
BOARD OF COMMISSIONERS**

VALERIE A. ARKOOSH, MD, MPH, CHAIR  
KENNETH E. LAWRENCE, JR., VICE CHAIR  
JOSEPH C. GALE, COMMISSIONER



**MONTGOMERY COUNTY  
PLANNING COMMISSION**

MONTGOMERY COUNTY COURTHOUSE • PO Box 311  
NORRISTOWN, PA 19404-0311  
610-278-3722 • FAX: 610-278-3941  
[WWW.MONTCOPA.ORG](http://WWW.MONTCOPA.ORG)

SCOTT FRANCE, AICP  
EXECUTIVE DIRECTOR

June 15, 2022

Mr. Paul Purtell, Director, Code Enforcement  
Upper Moreland Township  
117 Park Avenue  
Willow Grove, Pennsylvania 19090-3215

Re: MCPC # 22-0152-001  
Plan Name: Chipotle – The Marketplace  
(1 lot comprising approximately 50 acres, impacting 0.05 acre)  
Situate: County Line Road (cross street: Davisville Road)  
Upper Moreland Township

Dear Mr. Purtell:

We have reviewed the above-referenced land development in accordance with Section 609 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on June 1, 2022. We forward this letter as a report of our review.

## BACKGROUND

The applicant, New Century Associates, is proposing to redevelop an existing one-story building at the Huntingdon Valley Marketplace Shopping Center as a Chipotle restaurant. The site consists of an existing building, parking area with space for 28 cars, and a drive through facility. The proposal would demolish the existing parking area, parking lot islands, and drive through lanes associated with the existing building to construct a new parking area configuration, increasing the number of parking spaces to 32 spaces. In addition, an outdoor dining area is proposed. The site is located in the SC-Shopping Center Zoning District.

## COMPREHENSIVE PLAN COMPLIANCE

*MONTCO 2040* – The proposal is generally consistent with the county's comprehensive plan, *MONTCO 2040: A Shared Vision*, which shows the proposed area as "Community Mixed Use and Services Area". Community Mixed Use areas are designed to serve as local destinations for retail and services.

*Upper Moreland 2040 Comprehensive Plan* – The property is located in the Shopping Center future land use area. The comprehensive plan states that older shopping centers today represent extensive redevelopment opportunities. There should be an increased focus on creating lifestyle centers and enhanced building, site, and landscape design that attracts people for a variety of activities.



## RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal and commends the applicant on the reuse of an existing building, which we encourage as a sustainable development practice. However, in the course of our review we have identified the following issues that the applicant and township may wish to consider prior to final plan approval. Our comments are as follows:

## REVIEW COMMENTS

### LANDSCAPING

A landscape plan was not submitted for the county to review; however, we wish to provide feedback on the proposed development's impact on shade tree coverage.

- A. Shade Trees. The proposed reconfiguration of the parking lot includes a 5-foot wide strip that would be located between the driveways and the parking area. Based on the plans provided, it appears that three trees would be removed during the redevelopment of the parking lot area.

Parking area landscaped islands are required in every 20 parking spaces in shopping centers and every 12 parking spaces for commercial uses (§ 300-43.D(2)). While the parking area that is associated with the proposed Chipotle would not be large enough to require a parking lot landscaped island, we nevertheless encourage the applicant and township to consider the importance of shade trees in parking areas. Trees provide shade for comfort and help to reduce the island effect that is produced by large paved areas, such as shopping center parking lots.

We recommend the applicant plant trees in the proposed 5-foot wide strips that would separate the driveways from the parking area. Specifically, we suggest that the applicant plant trees that work well in a constricted areas and have a somewhat upright branching habit. The following are two cultivars that we suggest would be appropriate for this area:

1. Zelkova serrata "Village Green" – Village Green Zelkova
2. Quercus phellos "QPSTA" – Hightower Willow Oak

### VEHICULAR CIRCULATION

The applicant is proposing six pick-up stand-by parking spaces that would be located along the drive-through aisles. Would these spaces be intended for parallel parking, or would there be some sort of indicator for the people using those parking spaces to move forward sequentially? If they are meant to be used as parallel parking spaces, we recommend that the spaces be at least 22-feet long to ensure safe entry into the drive aisle.


## CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal but we believe that our suggested revisions will better achieve Upper Moreland's planning objectives for commercial development in shopping centers.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. **Please print the assigned MCPC number (22-0152-001) on any plans submitted for final recording.**

Sincerely,



Claire Warner, Community Planner II  
[cwarner@montcopa.org](mailto:cwarner@montcopa.org) – 610-278-3755

c: Brian Regli, Applicant's Representative - [bregli@Myrevere.com](mailto:bregli@Myrevere.com)  
Gerald Foley, Chair, Township Advisory Planning Agency  
Matt Candland, Manager, Upper Moreland Township

Attachment A: Aerial Image of Site  
Attachment B: Reduced Copy of Applicant's Proposed Site Plan  
Attachment C: Reduced Copy of Applicant's Proposed Layout Plan

ATTACHMENTS A, B & C



Chipotle-The Marketplace  
MCPC#220152001

Montgomery  
County  
Planning  
Commission  
Montgomery County Courthouse - Planning Commission  
900 Blue Bell Boulevard, 9th Floor, Suite 900  
(301) 279-3721 (T) (301) 279-3841  
www.montgomeryplanning.org  
Aerial photography courtesy of GeoEye

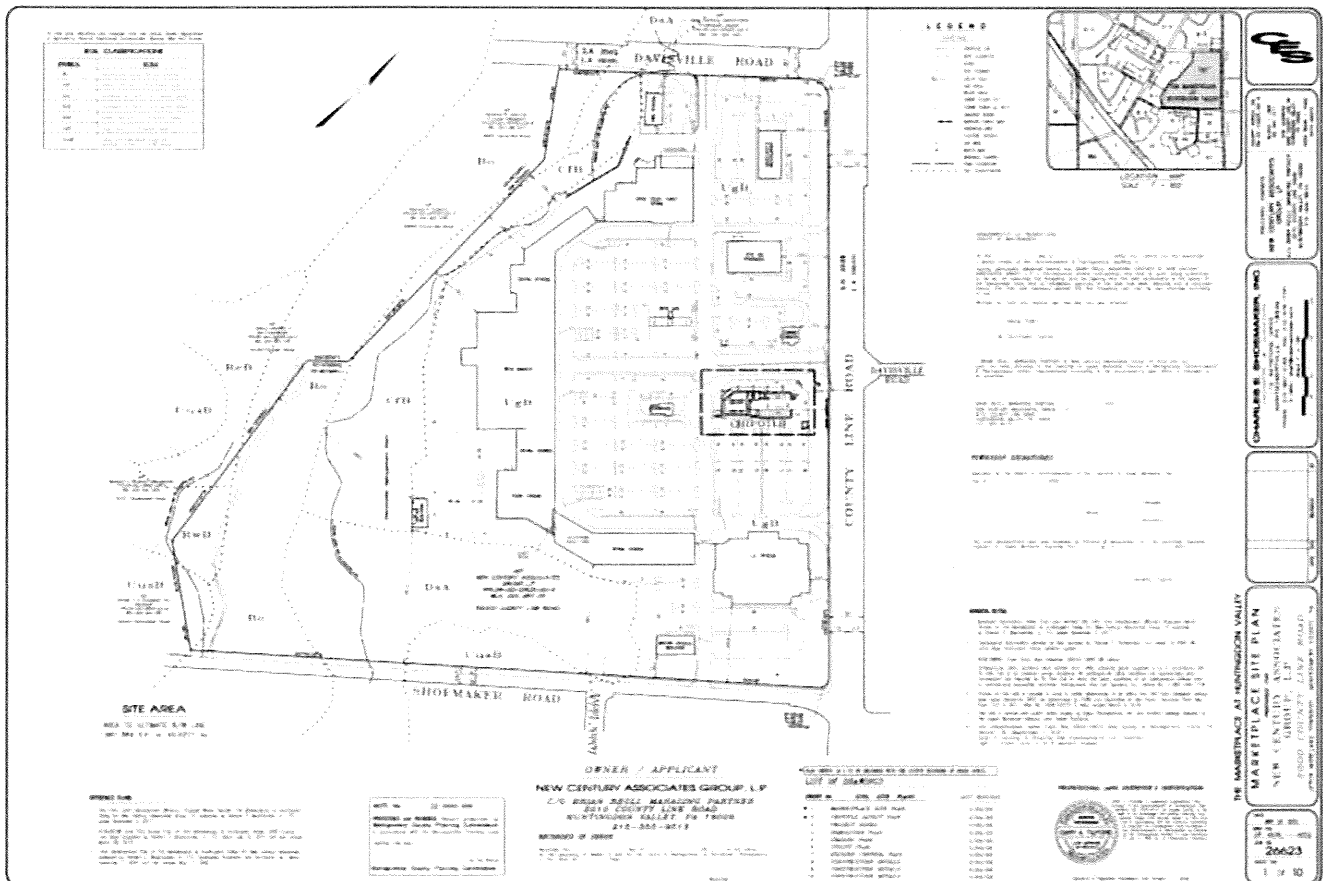
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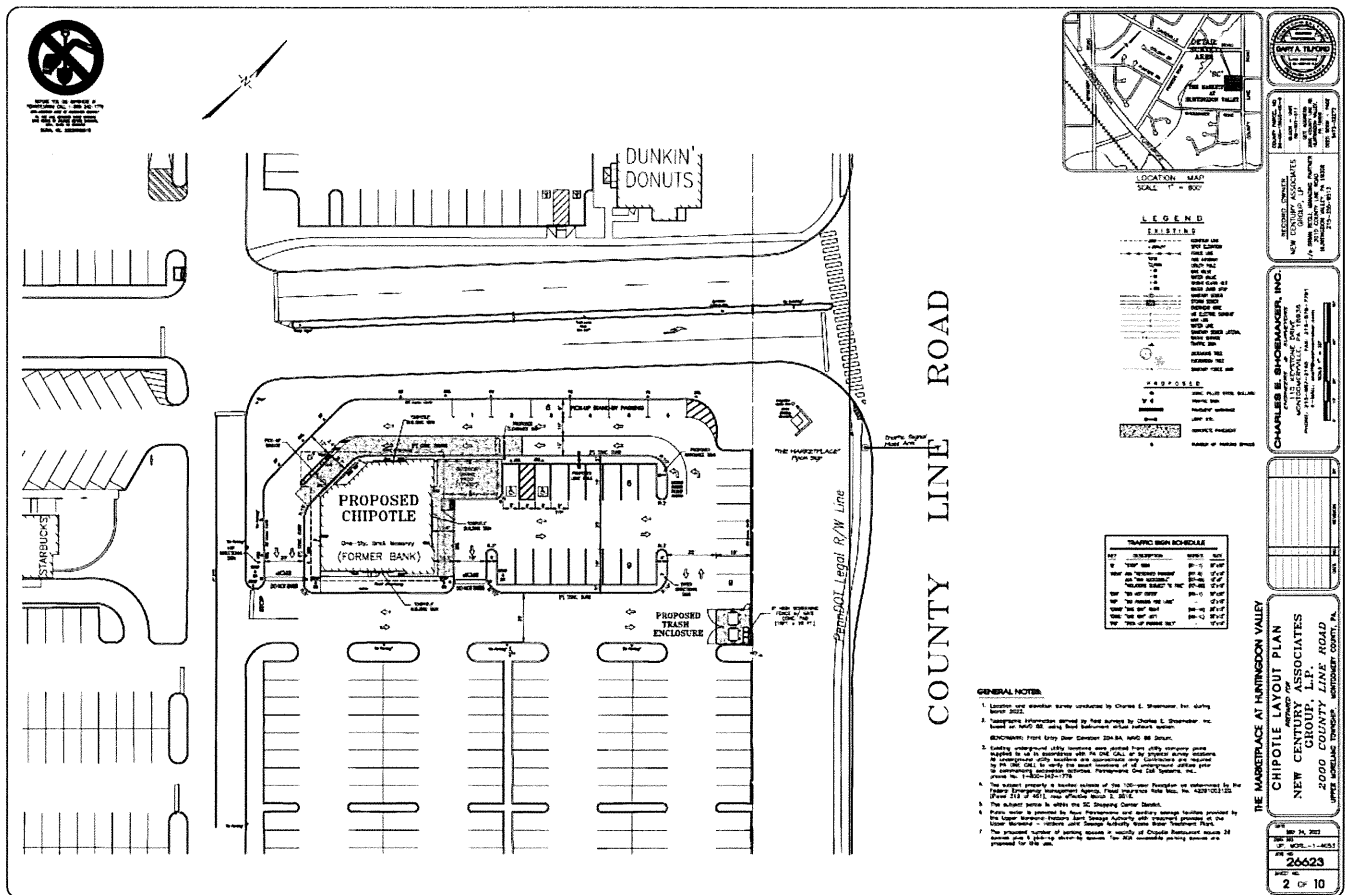


Mr. Purtell

- Attachment B -

June 15, 2022





**UPPER MORELAND TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA**

**RESOLUTION NO. R-2022-29**

**A RESOLUTION OF THE UPPER MORELAND TOWNSHIP BOARD OF COMMISSIONERS AMENDING TOWNSHIP RESOLUTION 2022-21 TO GRANT THE WALMART CORPORATION'S REQUEST FOR THE PLACEMENT OF AN ADDITIONAL SIX (6) PORTABLE STORAGE UNITS AT THE PROPERTY LOCATED AT 2101 BLAIR MILL ROAD FOR THE PERIOD OF OCTOBER 1, 2022 TO DECEMBER 31, 2022.**

**WHEREAS**, Chapter 240 of the Upper Moreland Township Code of Ordinances permits up to two (2) portable storage units ("PSUs") to be placed on a non-residential property located within the Township for a period of up to 60 days with a 30-day renewal period; and

**WHEREAS**, Chapter 240-7.C of the Upper Moreland Township Code of Ordinances allows for applications for additional PSUs to be granted by the Board of Commissioners only upon a showing that the additional PSU is reasonably required for temporary storage or construction purposes and not adverse to the public interest; and

**WHEREAS**, the Walmart Corporation ("Walmart"), applied to Upper Moreland Township (the "Township") for a waiver from Chapter 240's provisions to allow for the placement of up to sixteen (16) 40-foot portable storage trailers on the Walmart property located at 2101 Blair Mill Road, Montgomery County Tax Parcel No. 59-00-01157-02-6, for the purpose of storage of merchandise for the 2022 retail holiday season; and

**WHEREAS**, the Township Board of Commissioners granted such request of Walmart via Resolution 2022-20, dated June 6, 2022; and

**WHEREAS**, Walmart has now requested that the Board of Commissioners grant a waiver from Chapter 240's provisions to allow for the placement of up to an additional six (6) 40-foot portable storage trailers on the Walmart property located at 2101 Blair Mill Road, Montgomery County Tax Parcel No. 59-00-01157-02-6, for the purpose of storage of merchandise for the 2022 retail holiday season to accommodate for the increased amount of holiday stock of goods; and

**WHEREAS**, the waiver requested was considered by the Community Development Committee at its July 18, 2022, public meeting, who recommended approval of the waiver requested.

**NOW THEREFORE, BE IT RESOLVED** by the Board of Commissioners of Upper Moreland Township that the waiver requested by Walmart is hereby granted. Walmart shall be permitted to place up to an additional six (6) 40-foot portable storage trailers at 2101 Blair Mill Road beginning October 1, 2022, ending December 31, 2022. The total number of 40-foot portable storage trailers shall not exceed twenty-two (22) pursuant to Resolution 2022-21 and the terms of this resolution herein.

**DULY PRESENTED AND ADOPTED** by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, this 1st day of August, 2022.

Attest:

**UPPER MORELAND TOWNSHIP  
BOARD OF COMMISSIONERS**

---

Matthew H. Candland, Secretary

---

Clifton McFatridge, President



GILMORE & ASSOCIATES, INC.  
ENGINEERING & CONSULTING SERVICES

July 5, 2022

File No. 22-06059

Patrick Stasio, Director of Parks & Recreation  
Upper Moreland Township  
117 Park Avenue  
Willow Grove, PA 19090

Reference: Farmstead Park – Cost Proposal & Scope

Dear Patrick:

As requested, please see below scope and engineer cost proposal in support of the Farmstead Park improvement project. We understand that the Township has been awarded multiple grants for the improvement project, which will include asphalt trails, native landscape restoration, invasive species removal, green stormwater infrastructure, and parking lot paving. In support of the project, we propose to complete professional services, as outlined in the following scope, for a cost of \$38,950.00:

- Prepare and submit permit application and supporting documents for PA DEP NPDES General Permit and Montgomery County Conservation District E&S Permit. Township is responsible for permit and review fees as applicable.
- Design plan, details, and specifications for paving of existing gravel parking lot. This proposal assumes that G&A will only be responsible for design of the parking lot and associated stormwater management facilities. Design of all other project features to be provided by Think Green, LLC.
- One (1) day of soil infiltration testing and summary report to be used in the design of stormwater management facilities needed to control runoff from the proposed paved parking lot. Fee assumes Township Public Works will provide backhoe & operator to excavate test pits.
- Preparation of Project Manual for public bidding. G&A to compile "Front End" specs and incorporate technical specifications to be provided by Think Green, LLC. It is our understanding that Township Staff will handle advertisement, bid administration, bid opening, and award of the bid. As such, those services are specifically excluded from this scope.

The above scope specifically excludes construction phase services such as: Construction management, inspection, testing, contract administration, etc. Once the project is awarded, we can provide an estimated cost for construction services, such as management and observation, upon request.

Please note that G&A has received and reviewed the Non-Discrimination/Sexual Harassment clause provided by DCNR and agree to the terms.

As always, please call me if you have any questions regarding this matter.

Sincerely,

James J. Hersh, P.E.  
Senior Project Manager  
Gilmore & Associates, Inc.

BUILDING ON A FOUNDATION OF EXCELLENCE

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901 Phone: 215-345-4330 | Fax: 215-345-8606  
www.gilmore-assoc.com

**Stasio, Patrick**

---

**From:** McGuigan, Daniel J. <[REDACTED]>  
**Sent:** Wednesday, June 22, 2022 9:26 AM  
**To:** Stasio, Patrick  
**Subject:** Re: Masons Mill Tennis

Hey Patrick,

Thanks for your response! If you could pass this along for the meeting that would be greatly appreciated

Thank you

**Dan McGuigan**

Athletic Director  
Calvary Christian Academy  
215-315-3652

---

**From:** Stasio, Patrick <PStasio@uppermoreland.org>  
**Sent:** Wednesday, June 22, 2022 9:23 AM  
**To:** McGuigan, Daniel J. <[REDACTED]>  
**Cc:** Obrien, Karin <[REDACTED]>  
**Subject:** Masons Mill Tennis

This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning, and thanks for reaching out. We have five tennis courts, three in one section, then two in another section. They are not all connected, but very close to each other. We do not rent our hardcourts and I do not have authority to reserve courts for non-resident groups. But, you may ask the Parks and Recreation Committee of the Board of Commissioners for permission. If you wish, I can place this as an agenda item for their next meeting, which is July 25 (they met this past Monday). If they approve at the July 25 meeting, it would go to the full Board of Commissioners for a final decision on Monday, August 1.

Let me know if you wish to continue.

Thank you and be well.

Patrick Stasio, C.P.R.P.  
Director of Parks and Recreation  
Upper Moreland Township  
215-659-3100 ext. 1039  
[www.uppermorelandrec.com](http://www.uppermorelandrec.com)

Hello,

My name is Dan McGuigan and I am the athletic director at Calvary Christian Academy. I wanted to reach out to see how many tennis courts you have? And if you ever have/would be interested in renting out your

courts for our high school girls tennis team? We start on August 15th and our season goes to about late October. We typically would practice monday-friday from 315-530

Thanks!

**Dan McGuigan**

Athletic Director

Calvary Christian Academy

215-315-3652