

UPPER MORELAND TOWNSHIP
Community Development Committee Meeting
January 13, 2025 at 7:00 p.m.
AGENDA ITEMS ARE SUBJECT TO CHANGE

INSTRUCTIONS TO JOIN:

Go to Zoom.us. Click “Join a Meeting” Webinar ID: 917 5771 7982
Join by Phone: Dial 1-929-205-6099 Webinar ID: 917 5771 7982

Password: 182130
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***Residents requiring special accommodations:
please call the Township during normal business hours at 215-659-3100 x1058 or x1057***

Community Development Committee Members: Commissioner and Committee Demond Mullen, Commissioner and Board President, Kip McFatridge and Commissioner Nicholas Scull; Township Staff Committee Members: Paul E. Purtell, Director of Code Enforcement and David Elsier, Director of Public Works.

- I. Moment of Silent Meditation**
- II. Pledge of Allegiance**
- III. Call to Order**
- IV. Announcements**
- V. Roll Call**
- VI. Presentation**
- VII. Public Comments – Non-Agenda Items Only**
- VIII. Approval of Minutes – November 18, 2024**
- IX. Land Development/Subdivision**
- X. New Business:**
 - A. Portion of Helen Street for abandonment (attachments)
 - B. DRAFT Bamboo Ordinance (attachments)
- XI. Old Business:**
 - A. Downtown Parking Lot Improvements (attachments)
- XII. Redevelopment**
- XIII. Acceptance and Approval of the following monthly reports (attachments)**
 - A. Code Enforcement Department Reports
 - B. Public Works Department Report and Recycling Report
 - C. Engineer's Report and Landscape Architect's Report
 - D. Traffic Engineer's Report
 - E. Environmental Advisory Council
 - F. Historical Commission
- XIV. Other**
- XV. Commissioner Comments**
- XVI. Adjournment**

UPPER MORELAND TOWNSHIP
Community Development Committee
November 18, 2024 - Meeting Minutes

Community Development Committee Members - Commissioner and Committee Chair Kip McFatridge, Commissioner Demond Mullen and Commissioner Nicholas Scull; Township Staff Committee Members: Paul E. Purtell, Director of Code Enforcement and David Elsier, Director of Public Works

- I. **Moment of Silent Meditation**
- II. **Pledge of Allegiance**
- III. **Call to Order** - The meeting was called to order by Commissioner and Committee Chair McFatridge.
- IV. **Roll Call:** Commissioner and Committee Chair McFatridge, Commissioners Scull and Mullen, Mr. Elsier, Mr. Purtell. Also present: James Hersh, Gilmore & Associates, Patrick T. Stasio, Township Manager, and Sean Kilkenny, Township Solicitor.
- V. **Announcements/Presentations** – Nothing to report.
- VI. **Public Comments – Non-Agenda Items Only** – Nothing to report.
- VII. **Approval of Minutes** – October 21, 2024:
 - Dr. Lynnette Saunders amended Section E., second arrow to read, “Outdoor” Environment Education Center, and amended the third arrow, third line to read, Moon Tree, “which is” a Sweet Gum Tree.
 - The Committee unanimously approved the minutes as amended.
- VIII. **Land Development/Subdivision** – Nothing to report.
- IX. **New Business:**
 - A. Special Events Permit Ordinance:
 - Mr. Purtell explained that special events would require a permit and the ordinance provides more guidance.
 - The Committee shared that a previous event had caused issues, which affected Township Police and Emergency Services. The new permit process provides additional information to the Township, and requires approval in order to hold a special event.
 - The Committee recommends the Board of Commissioners approve at the December 2, 2024 Regular Meeting.
 - B. Montgomery County Building – 102 N. York Road:
 - Sarah Gaughan, Architect at Norr, Jennifer Altman, Civil Engineer at Kimley Horn, David Hahn, Capital Projects Director for Montgomery County discussed improvements that include the parking lots, enclosure of the first floor, enhancements to the entrance, patio, ADA access, wayfinding signage, and additional green space.
 - The Committee discussed items that include: the wall along York Road should match with other existing walls and signs across the street in the downtown, requirements that buildings face the street, that the Zoning Hearing Board will review the application, landscaping and maintenance, space to accommodate the homeless, and traffic entrances and exits.

**UPPER MORELAND TOWNSHIP
Community Development Committee
November 18, 2024 - Meeting Minutes**

- Dr. Lynnette Saunders, Environmental Advisory Council Chair, commented safety concerns regarding birds being attracted to the building's glass.
- Mr. Purtell commented that there are parking space overflow problems and Mr. Hahn discussed solutions.
- The Committee awaits a decision from the Zoning Hearing Board.

X. Old Business – Nothing to report.

XI. Redevelopment – Nothing to report.

XII. Acceptance and Approval of the following monthly reports:

- A. Code Enforcement Department Report – Nothing to report.
- B. Public Works Department Report and Recycling Report – Mr. Elsier discussed the following:
 - Attended a meeting last week at the Public Utility Commission (PUC) to discuss three fines received by the Township from 2019 to present regarding emergency calls that were required to be cleared out within two hours. Working with Mr. Stasio to establish a plan and avoid future fines from nighttime emergency calls. Mr. Stasio explained difficulty with the PUC's process and requested the Board of Commissioners support to improve notifications.
- C. Township Engineer and Landscape Architect Report:
 - Mr. Purtell commented that Federal Reality anticipates submitting permit applications by the end of January for the next phase of construction on the Willow Grove Shopping Center.
 - Susan Worth-LaManna, Historical Commission Chair, asked about the landscaping plan for trees removed from the Executive Mews. Mr. Hersh explained that an arborist report is included as part of the Land Development Application process, which can be found in a previous Community Development Agenda Meeting materials (June 10, 2024).
- D. Traffic Engineer's Report – Mr. Stasio reported the following:
 - Maryland Road culvert project is preparing to move forward once construction easements are signed and anticipating the start of work mid- to late-winter.
- E. Environmental Advisory Council (EAC) – Dr. Lynnette Saunders, Chair, discussed the following:
 - Outdoor Environment Education Center's first plantings behind the Library have been installed in a native plant bed, which was created near the fence between the Library and Treasure Sign. Raised planters were also installed and will be used for future projects.
 - The Moon Tree was planted by students at Upper Moreland Intermediate School with a ceremony that included Donna Rosenbaum. Staff for the School District helped to install deer and rodent fencing.
 - Weeds were removed from the Wet Meadow at Pileggi Park on November 10th. Requesting to install bluebird boxes along the edge between the meadow and wooded area. The EAC and the Shade Tree Commission are planning an event for the public to build bluebird boxes.
 - Reiterated the need for a water bottle filling station at Masons Mill Park, as well as other Township parks.
 - Reiterated the need for a bamboo ordinance.
 - Coordinating with the Shade Tree Commission to hold an event at one of the parks to provide information to residents about the benefits of trees and have a give-away of native trees. Mr. Stasio directed to work with Kate Kollar, Director of Parks and Recreation.

**UPPER MORELAND TOWNSHIP
Community Development Committee
November 18, 2024 - Meeting Minutes**

- Commissioner Scull inquired about bird-proofing the glass on the County building. Dr. Saunders will follow up with the architect to provide them with options.
- F. Upper Moreland Historical Commission – Nothing to report.

XIII. Visitor Comments – Nothing to report.

XIV. Other:

- A. Consider the cancellation of the December 9, 2024 Meeting:
 - The Committee stated that there are no items for discussion on the December 9, 2024 Community Development Committee Meeting Agenda, and a final announcement to cancel the meeting will be made at the December 2, 2024 Regular Meeting.

XV. Commissioner Comments – Nothing to report.

XVI. Adjournment - There being no further business to discuss, the meeting was adjourned at 8:05 p.m.

Respectfully submitted by Kathleen Kristire.

TOWNSHIP OF UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215
Telephone (215) 659-3100 / Fax (215) 659-7363

COMMISSIONERS

KIP McFATRIDGE
President
CHERYL LOCKARD
Vice President
ANTHONY BENVENUTTI
DEMOND MULLEN
BENJAMIN W. OLSZEWSKI
NICHOLAS O. SCULL
CHARLES M. WHITING



OFFICIALS

Pat Stasio
Township Manager
JOHN D. BATES
*Assistant Township Manager/
Director of Finance*
ALEX H. LEVY
Township Treasurer
SEAN P. KILKENNY, ESQ.

Agenda Summary Community Development Committee - January 13, 2025

Agenda Item:

Helen Street

Prepared by:

David Elsier, Director of Public Works

Attachments:

Letter from Applicant's Attorney, 1992 Plan, 2019 Permit, 2022 Permit, Aerial, and Tax Map

Background/Analysis:

Helen Street is a non-dedicated street off of Skrobul Road. There is a 40' wide portion of Helen Street that runs the entire northeast side of Unit 41. Unopened streets, not accepted by the municipality within 21 years of dedication, revert to abutting properties. The Township wants to confirm that they have no interest in the paper street that lies between Units 41 and 27.

Fiscal Impact/Source:

None.

Alternatives:

None.

Recommended Action:

Recommend the Committee move forward for full Board of Commissioners consideration at the February 3, 2025 Regular Meeting.

KUHLS LAW LLC

Joseph C. Kuhls
Attorney at Law

December 3, 2024

Alex J. Baumler, Esquire
Kilkenny Law
519 Swede Street
Norristown, PA 19401

Re: Upper Moreland Township Paper Street

Alex,

This is the information I promised regarding the old paper street in Block 55 of Upper Moreland Township's Tax Map.

My client Anthony Greco and his wife Traci own Unit 41, at 106 Castello Avenue. His home fronts on and faces Castello Avenue. An unopened, unbuilt, and un-dedicated forty-foot-wide paper street runs down the entire northeast side of Unit 41, roughly perpendicular to Castello Avenue. This paper street starts at the stub-end of Helen Street and ends at Castello Avenue. In other words, an extension of Helen Street (though originally envisioned) was never built or dedicated, from the rear of Unit 41 to Castello Avenue. See "Aerial", attached.

A 1992 two-lot subdivision plan (see attached "1992 Plan") shows that not only does the surface construction of Helen Street stop at the rear of Unit 41, but an existing sanitary sewer main in the bed of Helen Street also stops at the rear of Unit 41. This makes sense. There would have been (and remains) no need to build or improve Helen Street beyond the rear of Unit 41, since the next properties, on both sides of the paper street (Units 41 and 27), front on, gain access from, and are served by utilities within, Castello Avenue.

As you know, unopened streets not accepted by a municipality within 21 years of dedication revert to abutting property owners, to the centerline; and any public right assertible by a municipality terminates at that time.

With knowledge of that law, my client has consistently maintained his ownership of the paper street along the northeast side of his Unit 41, to the centerline of that paper street. Understanding, of course, that the paper street area to the far side of the centerline is owned by Unit 27 (see attached "Tax Map").

In fact, Greco applied for and received a building permit in 2019 (see attached "2019 Permit") for a frame shed on Unit 41, seven feet from the centerline of the paper street, the precise minimum setback mandated by Upper Moreland Zoning Ordinance §350-172.A(2)(c). The Township issued the permit, thereby acknowledging the centerline of the paper street as the northeast boundary of Unit 41. That permitted shed has existed for the past five years, within the area of the paper street, properly and sufficiently setback seven feet from the Unit 41 northeast boundary: the paper street centerline.

Further, in 2022 Greco applied for and obtained a building permit for an addition (see attached "2022 Permit"), which properly described Unit 41 as including the area within his 50% of the abutting paper street, thereby depicting a northwest property line 20 feet longer than shown on the tax map (164 feet) and a southeast property line 20 feet longer than shown on the Tax Map (177 feet). All building and impervious coverage calculations in the application include that 20-foot-wide area within the paper street. The Township also approved that permit, thereby acknowledging an acquisition of 20 feet of the paper street's 40-foot width. That permitted addition also exists today.

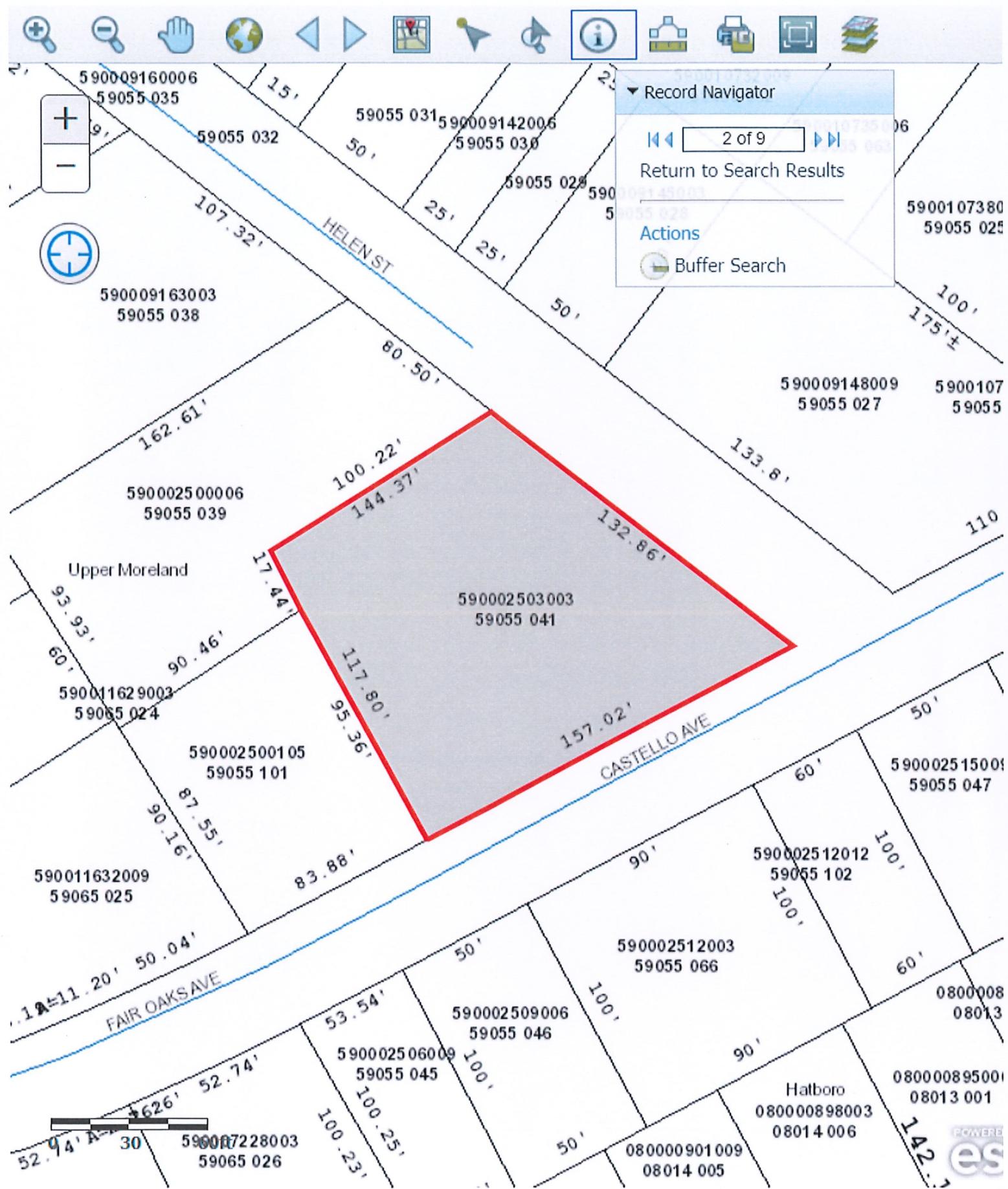
I trust this information is sufficient for you to confirm that the Township has no interest or rights in the paper street; and that no further steps are necessary to "vacate" the paper street as it lies between Units 41 and 27. Specifically, since no public street exists, there is nothing for the Township to vacate. See Tobin v Radnor Township 142 Pa. Cmwlth. 567, 597 A.2d 1258 (1991) and Kramer Appeal, 438 Pa. 498, 503-04, 266 A.2d 96, 97-98 (1970).

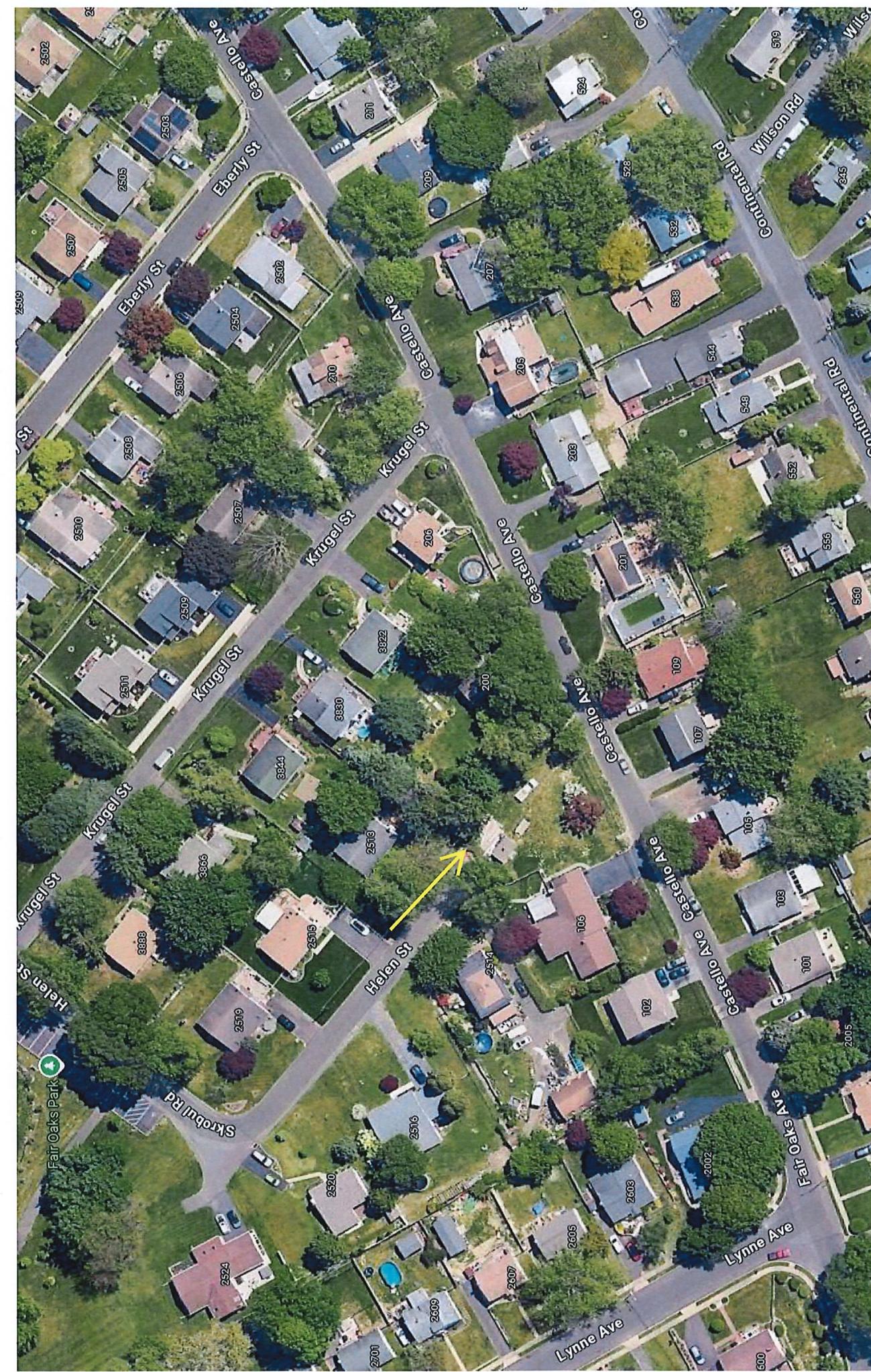
Please let me know if you disagree and believe that any petition to vacate is necessary.

Thank you very much for your attention.



Joseph C. Kuhls





PERMIT SUMMARY:

106 CASTELLO AVE Hatboro, PA 19040
(590002503003)

GRECO ANTHONY R & TRACI A
106 CASTELLO AVE
HATBORO PA , 19040

PAYMENT RECEIVED

OCT 26 2022

ALEX H. LEVY
TREASURER
UPPER MORELAND TWP.

Permit Information		Status: Issued	
Permit Number:	152282	Issued Date:	10/26/2022
Permit Type:	Electrical	Total Fees:	\$29.50
Permit Sub Type:	Residential Additions & Alterations	Estimated Cost:	\$800.00
Square Footage:			
Notes:			Install outlets and lighting for addition

Property Information			
Owner:	GRECO ANTHONY R & TRACI A	Tax ID:	590002503003
Phone:	None	Lot Number:	-
Address:	106 CASTELLO AVE Hatboro, PA 19040 (590002503003)		
Zoning District:	R4		

Fee Details		
Payment Information	Payment Type	Amount
Electrical Fee	Check	\$25.00
Paid By: Greco's Custom Carpentry Inc. - Notes: 3327		
UCC Fee	Check	\$4.50
Paid By: Greco's Custom Carpentry Inc. - Notes: 3327		
	AMOUNT PAID	\$29.50
	BALANCE DUE	\$0.00

Township of Upper Moreland
Department of Code Enforcement
117 Park Avenue, Willow Grove, PA 19090
Telephone 215-659-3100 exts 1032 & 1033 / Fax 215-659-8899

Location: 106 Castello Avenue Project: Add. fin
Reviewer: B. Rosser Date: 10/26/22

- 1) This project has been reviewed and approved by the UMT Code Enforcement Department in accordance with the PA UCC. If changes are required for compliance and re-submission is not necessary, the changes have been noted in red.
- 2) The APPROVED and stamped construction documents must be on site at all times and presented during inspections. Failure to present these documents for an inspection will result in a failed inspection.
- 3) Not-with-standing the issuance of this permit or permits, all provisions of all codes and ordinances adopted by Upper Moreland Township shall be complied with, whether specified herein or not. All contractors and/or permit holders are responsible to inquire and make themselves aware of all codes and ordinances enforced by UMT. Copies of all codes are available at the Code Enforcement Office. All codes other than the UCC codes are available for review are available online at www.uppermoreland.org.
- 4) A minimum of 48 hours notice is required to schedule an inspection. Anytime less is on a case by case basis. See reverse side of this form for the required inspections for this project.
- 5) Commercial construction plans are reviewed for compliance with Chapter 11 of the current International Building Code/Accessibility and the ICC A117.1-2009/Accessibility and Usable Buildings and Facilities.
- 6) If changes to the approved plans are made for any reason after the permit is issued, it shall be the responsibility of the applicant and/or the contractor to submit the changes to UMT for review and approval. Inspections will not be approved unless the changes receive prior approval by UMT.
- 7) A building or portion thereof shall not be occupied until a Certificate of Occupancy has been issued by UMT

I have read and understand all of the items listed above and will comply with the requirements of each.

Received by (print name) _____ Date: ____ / ____ / ____

Signature _____

Signature waived by: _____ Date: ____ / ____ / ____



117 Park Avenue
Willow Grove, PA
19090

152281

Date Printed: 10/26/2022

PERMIT SUMMARY:

106 CASTELLO AVE Hatboro, PA 19040
(590002503003)

PAYMENT RECEIVED

GRECO ANTHONY R & TRACI A
106 CASTELLO AVE
HATBORO PA , 19040

OCT 26 2022

ALEX H. LEVY
TREASURER
UPPER MORELAND TWP.

Permit Information		Status: Issued	
Permit Number:	152281	Issued Date:	10/26/2022
Permit Type:	Building	Total Fees:	\$364.50
Permit Sub Type:	Residential Additions & Alterations	Estimated Cost:	\$20000.00
Square Footage:			
Notes:			Build a one story addition onto rear of existing home as per plans.

Property Information			
Owner:	GRECO ANTHONY R & TRACI A	Tax ID:	590002503003
Phone:	None	Lot Number:	
Address:			106 CASTELLO AVE Hatboro, PA 19040 (590002503003)
Zoning District:			R4

Fee Details		
Payment Information	Payment Type	Amount
New Work - Residential - Certificate of Occupancy	Check	\$25.00
Paid By: Greco's Custom Carpentry Inc. - Notes: 3327		
Additions & Alterations - Additions, decks, repairs, roofing, siding, demolition, etc	Check	\$335.00
Paid By: Greco's Custom Carpentry Inc. - Notes: 3327		
UCC Fee	Check	\$4.50
Paid By: Greco's Custom Carpentry Inc. - Notes: 3327		
	AMOUNT PAID	\$364.50
	BALANCE DUE	\$0.00



Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

MECHANICAL PERMIT

152283

Date Printed: 10/26/2022

PERMIT SUMMARY:

106 CASTELLO AVE Hatboro, PA 19040
(590002503003)

GRECO ANTHONY R & TRACIA
106 CASTELLO AVE
HATBORO PA, 19040

PAYMENT RECEIVED

OCT 26 2022

ALEX H. LEVY
TREASURER
UPPER MORELAND TWP.

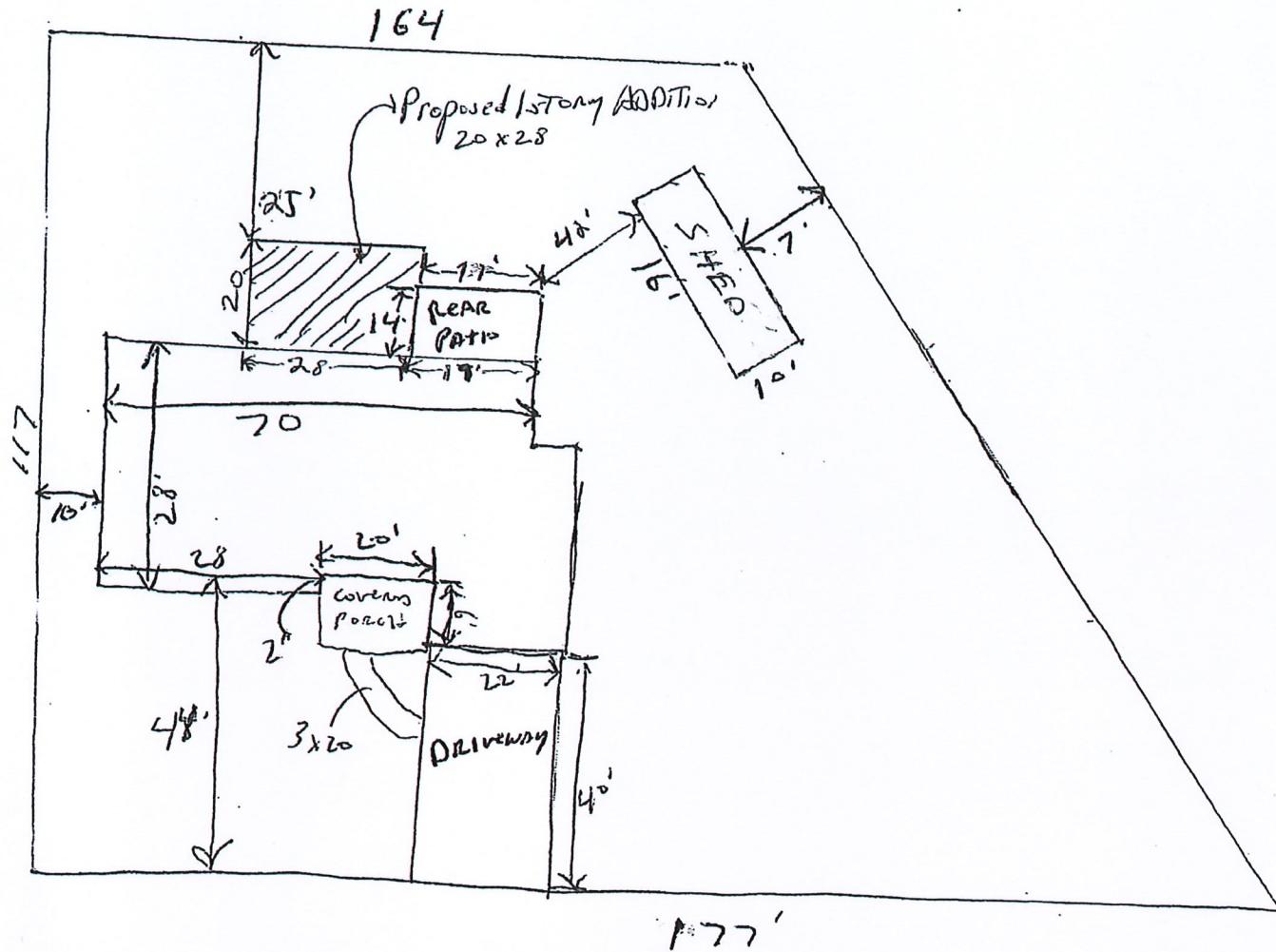
Permit Information		Status: Issued
Permit Number:	152283	Issued Date: 10/26/2022
Permit Type:	Mechanical	Total Fees: \$34.50
Permit Sub Type:	Residential Additions & Alterations	Estimated Cost: \$3000.00
Square Footage:		
Notes:	Mini split for addition	

Property Information	
Owner:	GRECO ANTHONY R & TRACIA
Phone:	None
Address:	106 CASTELLO AVE Hatboro, PA 19040 (590002503003)
Zoning District:	R4
Tax ID:	590002503003
Lot Number:	

All boiler installations require backflow protection of all domestic water.
Oil tanks above equipment to have anti-siphon valves.
Equipment not to be in service until final inspection.

Fee Details	Payment Type	Amount
Payment Information		
UCC Fee	Check	\$4.50
Paid By: Greco's Custom Carpentry Inc. - Notes: 3327		
A/C & Exhaust Systems	Check	\$30.00
Paid By: Greco's Custom Carpentry Inc. - Notes: 3327		
	AMOUNT PAID	\$34.50
	BALANCE DUE	\$0.00

Mr. M.S. Green
106 Castello Ave.
Hartford, Ct. 06105



CASTELLO AVE

LOT SIZE 16,997 - R4

MAX BUILDING 30% = 5099

EXISTING BLDG 2767 sq ft

PROPOSED ADDITION 560 sq ft

TOTAL BUILDING 3327 sq ft

MAX IMPERVIOUS = 40% = 6798

BUILDING + ADDN = 3327

DRIVEWAY - WALKWAYS = 1112

TOTAL IMP. = 4439

MINUS 172 sq ft. WALKWAYS REMOVED FOR NEW ADDITION
TOTAL IMP. = 4267



Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

BUILDING PERMIT

145441

Date Printed: 09/26/2019

PERMIT SUMMARY:

106 CASTELLO AVE Hatboro, PA 19040
(590002503003)

Anthony Greco
106 Castello Avenue
Hatboro, PA 19040

Permit Information

Status: Issued

Permit Number:	145441	Issued Date:	09/26/2019
Permit Type:	Building	Total Fees:	\$29.50
Permit Sub Type:	Residential Additions & Alterations	Estimated Cost:	\$150.00
Square Footage:			
Notes:			
10 X 16 Shed			

Property Information

Owner:	KOPACZ ILKO & SOPHIA	Tax ID:	590002503003
Phone:	None	Lot Number:	
Address:	106 CASTELLO AVE Hatboro, PA 19040	(590002503003)	
Zoning District:	R4		

SEP 26 2019

Fee Details

Payment Information		Payment Type	Amount
UCC Fee		Check	\$4.50
Paid By: Greco's Custom Carpentry Inc. - Notes: 2068			
Additions & Alterations - Additions, decks, repairs, roofing, siding, demolition, etc		Check	\$25.00
Paid By: Greco's Custom Carpentry Inc. - Notes: 2068			
		AMOUNT PAID	\$29.50
		BALANCE DUE	\$0.00

Township of Upper Moreland

Department of Code Enforcement

117 Park Avenue, Willow Grove, PA 19090

Telephone 215-659-3100 exts 1032 & 1033 / Fax 215-659-8899

Location: 106 Castello Ave. Project: Accessory Building
Reviewer: B. Rosser Date: 9/23/19

- 1) This project has been reviewed and approved by the UMT Code Enforcement Department in accordance with the PA UCC. If changes are required for compliance and re-submission is not necessary, the changes have been noted in red.
- 2) The APPROVED and stamped construction documents must be on site at all times and presented during inspections. Failure to present these documents for an inspection will result in a failed inspection.
- 3) Not-with-standing the issuance of this permit or permits, all provisions of all codes and ordinances adopted by Upper Moreland Township shall be complied with, whether specified herein or not. All contractors and/or permit holders are responsible to inquire and make themselves aware of all codes and ordinances enforced by UMT. Copies of all codes are available at the Code Enforcement Office. All codes other than the UCC codes are available for review are available online at www.uppermoreland.org.
- 4) A minimum of 48 hours notice is required to schedule an inspection. Anytime less is on a case by case basis. See reverse side of this form for the required inspections for this project.
- 5) Commercial construction plans are reviewed for compliance with Chapter 11 of the current International Building Code/Accessibility and the ICC A117.1-2009/Accessibility and Usable Buildings and Facilities.
- 6) If changes to the approved plans are made for any reason after the permit is issued, it shall be the responsibility of the applicant and/or the contractor to submit the changes to UMT for review and approval. Inspections will not be approved unless the changes receive prior approval by UMT.
- 7) A building or portion thereof shall not be occupied until a Certificate of Occupancy has been issued by UMT

I have read and understand all of the items listed above and will comply with the requirements of each.

Received by (print name) _____ Date: ___/___/___

Signature _____

Signature waived by: _____ Date: ___/___/___

SHED TO BE ANCHORED AT 4 CORNERS TO GROUND

NOTE:
BUILDING DESIGNED
TO BE FREESTANDING.

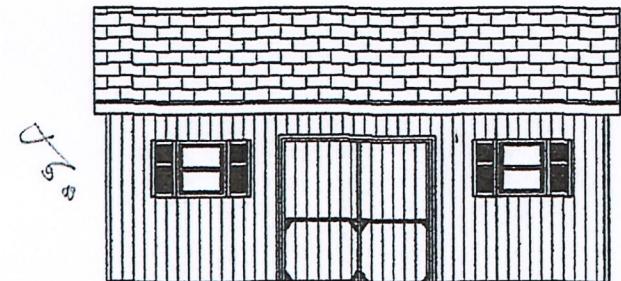


STOLTZFUS STRUCTURES
5015 Lower Valley Rd
Atglen, PA 19310

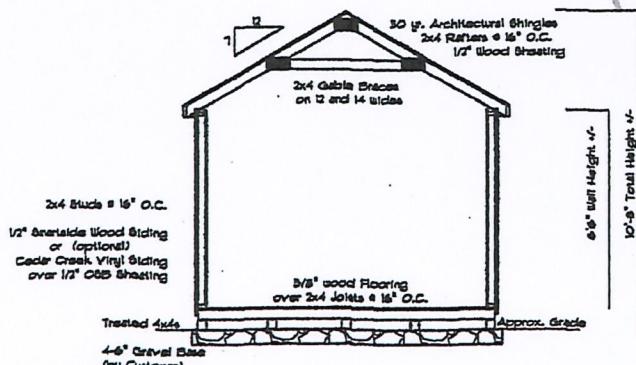
(610) 593-7100

For:

Garden Shed



Front Elevation



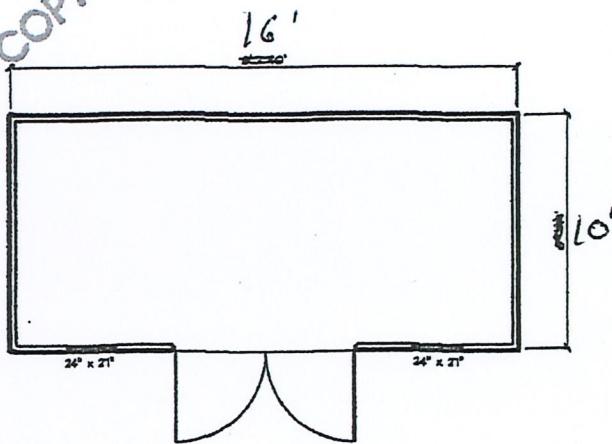
Section Detail

Notes:
1. Snow Load - 30 psf
2. Wind Load - 100 mph
3. Weathering - Severe
4. Termites - Moderate to Heavy
5. Decay - Slight to Moderate
6. Flood Hazard/See Local Flood Maps

Note Specifications:
1. 2 x 4 - 8PF - Spruce, Pine, Fir
Stud Grade No. 2
2. Siding - 1/2" Barn Panel or Vinyl
3. Occupancy Classification - Utility (Storage)

Mr. H.R.S. Green
106 Castello Ave
Hartboro Dr. 19040
267-246-7739

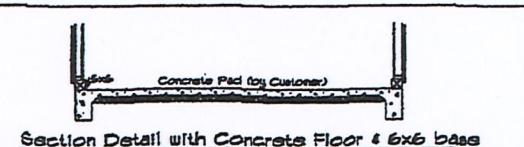
APPLICANT'S COPY



RECEIVED

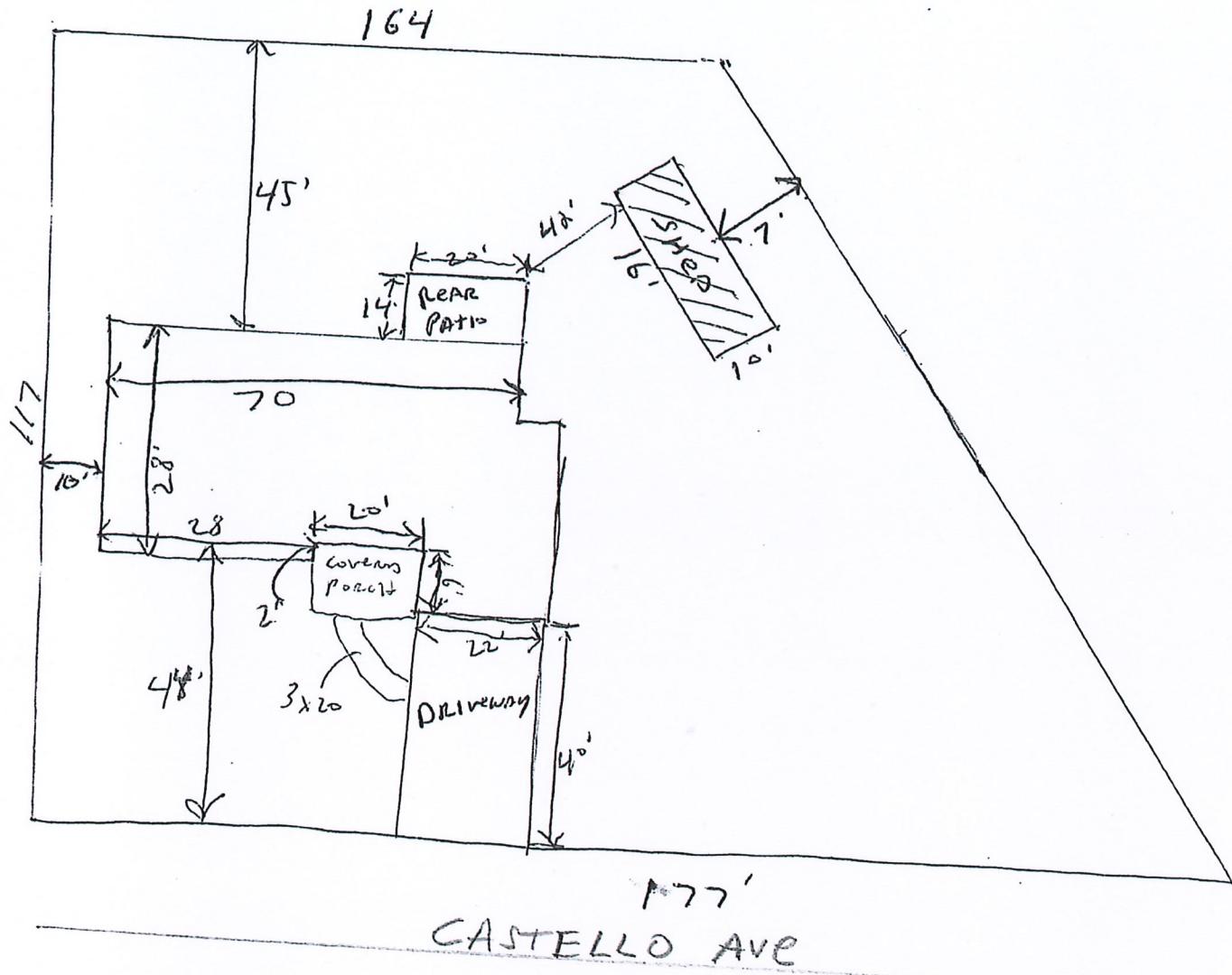
SEP 16 2019

UPPER MORELIA
CODE ENFORCER



Section Detail with Concrete Floor & 6x6 base

MIL & MRS. Greco
106 CASTELLO Ave
HATBORO PA. 19040



TOWNSHIP OF UPPER MORELAND

Montgomery County, Pennsylvania
117 Park Avenue, Willow Grove, PA 19090-3215
Telephone (215) 659-3100 / Fax (215) 659-7363

COMMISSIONERS

KIP McFATRIDGE
President
CHERYL LOCKARD
Vice President
ANTHONY BENVENUTTI
DEMOND MULLEN
BENJAMIN W. OLSZEWSKI
NICHOLAS O. SCULL
CHARLES M. WHITING



OFFICIALS

PATRICK T. STASIO
Township Manager
JOHN D. BATES
Assistant Township Manager/Director of Finance
ALEX H. LEVY
Township Treasurer
SEAN P. KILKENNY, ESQ.
Township Solicitor

Agenda Summary Community Development Committee Meeting – January 13, 2025

Agenda Item: **Bamboo Ordinance**

Prepared by: Patrick Stasio, Township Manager

Attachments: **Draft Ordinance**

Background/Analysis: The Board of Commissioners asked the solicitors office to prepare a draft Bamboo Ordinance for review and discussion. Bamboo is an invasive, non-native plant that is difficult to contain and remove.

Fiscal Impact/Sources: No financial impact to the Township; however, pending the decision by the Board of Commissioners the financial impact would fall to the land owner where the Bamboo would need to be removed.

Alternatives: Do not enact the ordinance; instead, educate the community on the effects of Bamboo.

Recommend Action: Recommend the Committee move forward for full Board of Commissioner consideration at the February 3, 2025 meeting.

UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

ORDINANCE NO. _____

AN ORDINANCE OF UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA, ESTABLISHING REGULATIONS FOR THE PLANTING, CULTIVATING, GROWING, CONTROL AND/OR REMOVAL OF BAMBOO AND PENALTIES FOR VIOLATIONS OF THE SAME THROUGH THE CREATION OF A NEW CHAPTER 81 TO PART II: GENERAL LEGISLATION OF THE TOWNSHIP CODE OF ORDINANCES ENTITLED "BAMBOO"; REPEALING ALL INCONSISTENT ORDINANCES OR PARTS THEREOF; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Upper Moreland Township, Montgomery County, Pennsylvania (hereinafter "the Township") is a Township of the First Class, organized and existing under the laws of the Commonwealth of Pennsylvania; and

WHEREAS, the Pennsylvania First Class Township Code (the "Code"), 53 Pa. C.S. § 1502(1), grants the Board of Commissioners of Upper Moreland Township the authority to enact certain regulations relating to the public health, safety and welfare of the citizens of the community of Upper Moreland Township; and

WHEREAS, the Township Board of Commissioners has determined that it is in the best interests of the health, protection, safety, welfare and benefit of its citizens and the public at large at this time to establish regulations relating to the planting, cultivating and/or growing of a certain running plant, specifically Bamboo, within the Township, together with penalties for violations of such regulations, so as to prevent the spread of running bamboo onto neighboring property; and

NOW, THEREFORE, be it, and it is hereby **ORDAINED** by the Upper Moreland Township Board of Commissioners, and it is hereby **ENACTED** and **ORDAINED** by authority of same as follows:

SECTION I: AMENDMENT OF THE CODE.

The Upper Moreland Township Code of Ordinances, Part II: General Legislation, is hereby amended to create a new Chapter 81 entitled "Bamboo" and shall read as follows:

§ 81-1. Vegetative Growth a Nuisance Under Certain Conditions.

The purpose of Chapter 81 is to preserve and protect private and public property from the damaging effects of uncultivated gardens, tall grasses, unabated weeds, and the spread of certain invasive, non-native plantings such as bamboo; to protect indigenous plant materials from the invasive spread of non-native plantings such as bamboo; and to maintain the general welfare of residents of Upper Moreland Township.

§ 81-2. Definitions.

For purposes of this chapter, the following definitions shall apply:

BAMBOO

Any monopodial (running) tropical or semi-tropical grasses from the genera *Phyllostachys* or *Pseudosasa*, including, but not limited to, *Phyllostachys aureosulcata* — Yellow Groove bamboo. In addition, this definition includes common bamboo, golden bamboo and arrow bamboo.

BAMBOO OWNER

Any owner/occupant who has planted and/or grows bamboo on his or her property; who maintains bamboo on his or her property; or who permits bamboo to grow or remain on his or her property, even if the bamboo has spread from an adjoining property.

PERSON

Any individual, corporation, partnership, joint venture, unincorporated association, municipal corporation or agency, other group acting as a unit, or combination thereof.

OWNER/OCCUPANT

Any person owning or occupying any premises within Upper Moreland Township. For purposes of this chapter, owner/occupant responsibilities shall apply to the owner in the case of vacant premises or premises occupied by the owner, or to the occupant of the premises in case of premises occupied by other than the owner.

§ 81-3. Height and Certain Vegetation Restricted.

- A. Owner/occupants shall not permit any grass, or weeds, or any vegetation whatsoever not edible or planted for some ornamental purpose to grow or remain upon such premises so as to exceed a height of eight inches or to throw off any unpleasant or noxious odor or to conceal any filthy deposit or to create or produce pollen. Any grass, weeds or other vegetation growing upon any premises in the Township in violation of any provision of this section is hereby declared to be a nuisance and detrimental to the health, safety, cleanliness and comfort of the inhabitants of the Township. Uncultivated gardens shall be treated the same as weeds and tall grasses.
- B. The planting or growing of bamboo shall be prohibited within the Township, unless:
 - (1) The root system of such bamboo plant is entirely contained within a planter, barrier, or other vessel, located entirely above ground level, and of such design, material, and location as to entirely prevent the spread/growth of the bamboo's root system beyond the container in which it is planted; or
 - (2) The root system is contained within a barrier, constructed in accordance with the following specifications, and only after a permit is issued by the Township:
 - (a) The barrier shall be composed of high-density polypropylene or polyethylene, 40 mil or heavier, or equivalent;

- (b) Portions or sheets of the barrier shall be secured or joined together by the use of stainless-steel clamps or stainless-steel closure strips designed for such barriers;
- (c) The entire perimeter of the barrier shall be more than 30 inches below ground level and more than three inches above ground level; and
- (d) When installed, the barrier shall slant outward from the bottom to the top.

C. Any person who hereafter plants or grows, or causes to be planted or grown, bamboo within the Township, except as under the conditions set forth in Subsections A and B above, shall be deemed to be in violation of this chapter, and shall be subject to such penalties as are set forth herein. For purposes of this chapter, bamboo found growing upon a property shall constitute presumptive evidence that the bamboo was planted and/or grown by and/or with the consent of the bamboo owner.

D. Property Lines and Removal of Bamboo.

- (1) Bamboo shall not be planted, maintained, or otherwise be permitted to exist within 40 feet of the edge of the pavement or traveled portion of any public roadway in the Township. Any bamboo owner whose property contains bamboo shall remove and abate the growth of the bamboo within 40 feet of the edge of the pavement or traveled portion of a public road in the Township.

E. Whether planted or growing in a container or contained within a barrier, all bamboo plants shall be located, trimmed, and maintained so that no part of the plant (including stalks, branches, leaves, and/or roots) shall extend nearer than 10 feet to any property line.

F. When removing and destroying bamboo, all rhizome (underground plant stem capable of producing the shoot and root systems of a new plant) disposal must be by incineration only. No composting or trash disposal of rhizomes shall be allowed.

G. Other Noxious Weeds. In accordance with Pennsylvania's Noxious Weed Control Law (3 P.S. § 255), no owner/occupant shall sell, transport, plant, or otherwise propagate a noxious weed, as identified in the Noxious Weed Control List (7 Pa. Code § 110.1), except as permitted by the Pennsylvania Secretary of Agriculture for specific horticultural or experimental use.

§ 81-4. Owner and Occupant Responsibilities.

- A. The owner/occupant shall remove, trim or cut all grass, weeds, bamboo, or other vegetation growing or remaining upon such premises in violation of the provisions of § 81-3 of this Chapter.
- B. The owner/occupant shall be responsible for the cost of removal and/or abatement of bamboo that has encroached upon an adjoining property in violation of this chapter.

C. Preexisting Bamboo.

(1) Any bamboo that has been planted or otherwise permitted to grow on any property within the Township prior to the effective date of this Chapter may remain on such property, subject to compliance with § 81-3 of this Chapter.

(2) Each bamboo owner shall be responsible to ensure that the bamboo planted or growing on the property prior to the effective date of this Chapter does not encroach or grow upon any adjoining or neighboring property, including all public property and rights-of-way. Such bamboo owners shall be required to take such measures as are reasonably expected to prevent such invasion or encroachment, including, but not limited to, the installation of a barrier to sufficient depth as outlined in § 81-3, Subsection B(2), within the property line or lines where the bamboo is planted or is growing to prevent the growth or encroachment upon adjoining or neighboring property by the bamboo.

D. Replanting prohibited. Any bamboo existing on a property prior to the effective date of this Chapter may not be replanted or replaced in kind once such bamboo is or has become, for any reason, dead, destroyed, uprooted, or otherwise removed, except in compliance with the provisions of this chapter.

§ 81-5. Grass, Weed, Vegetation or Bamboo Removal from Township Property.

A. Encroachment. In the event that bamboo growing on a bamboo owner's property invades or grows onto Township property, including, but not limited to, rights-of-way, the Township shall notify the bamboo owner, in writing, that bamboo has invaded the Township property, and that the bamboo owner is responsible for the removal of such bamboo from the Township property. This encroachment notice shall be sent by certified mail, return receipt requested, and by regular mail to the last known address of the bamboo owner, and a copy of the notice shall also be posted in a conspicuous location on the bamboo owner's property.

B. In case any person, firm or corporation shall neglect, fail or refuse to comply with such encroachment notice within the time period stated therein, the Township may order the removal, trimming or cutting of such grass, weeds or vegetation, and the cost thereof shall be collected by the Township from such person, firm or corporation, in the manner provided by law. Such costs may be assessed against the property of the bamboo owner and, in the event that the costs remain unpaid more than 30 days after the demand of payment has been made by the Township on the bamboo owner, the Township may lien the property of the bamboo owner for these costs, plus interest, fees, and expenses, as allowed by law.

C. In the event that the Township is compelled to undertake the removal of bamboo, as provided for above, neither the Township nor its employees, contractors, or agents shall have any liability to the bamboo owner for any damages or other claims arising out of the removal of such bamboo. In the event such removal entails or causes damages to the property of any other person or entity other than the bamboo owner, the bamboo owner shall be responsible for such damages.

§ 81-6. Notice of Violation.

- A. In the event that there is any grass, weeds, bamboo, or other vegetation growing or remaining upon such premises in violation of the provisions of § 81-3 of this Chapter, the Township shall notify the owner/occupant, in writing, of the existence of such violation. Notice of violation shall be served by handing it directly to the owner/occupant; sent by certified mail, return receipt requested, and by regular mail to the last known address of the owner/occupant. Whenever, in the judgment of the Township, it shall appear to be impracticable to give notice as above provided, either because the owner or occupant cannot readily be found or because a search for the owner or occupant would entail unreasonable delay, the Township or any officer or employee of the Township designated thereby for that purpose may give notice by posting conspicuously on the property where such nuisance exists a notice or order directing and requiring that such nuisance be abated within five days.
- B. Any owner/occupant receiving a notice of violation shall bring his or her property into compliance with this chapter within five calendar days of the owner/occupant's receipt of said notice. In addition, where an owner/occupant does not, within five calendar days, remedy and correct (or make arrangements to remedy or correct) the violations set forth in any notice of violation issued to him or her, the Township may:
 - (1) Cut any grasses; and/or
 - (2) Remove any weed, bamboo, or other vegetation that is in violation of this Chapter and located upon the owner/occupant's property and/or that has spread to an adjoining property, taking all reasonable action to eradicate its re-growth; and/or
 - (3) Restore any real property to its natural condition prior to such removal and eradication.
- C. Any costs incurred by the Township in remedying any violation of this Chapter shall be at the expense of the owner/occupant, and in the event that the costs remain unpaid more than 30 days after the demand of payment has been made by the Township on the owner/occupant, the Township may lien the property of the owner/occupant for these costs, plus interest, fees (including attorney's fees), and expenses, as allowed by law.
- D. In the event that the Township is compelled to undertake remediation of any violation, as provided for above, neither the Township nor its employees, contractors, or agents shall have any liability to the owner/occupant for any damages or other claims arising out of the remediation. In the event such remediation entails or causes damages to the property of any other person or entity other than the owner/occupant, the owner/occupant shall be responsible for such damages.

§ 81-7. Violations and Penalties.

- A. Any person who violates any of the provisions of this chapter shall, upon conviction in a summary proceeding before any District Justice of Montgomery County, be punishable by a fine of not more than \$500 and costs of prosecution for each and every offense. Each day that such violation is continued shall constitute a new and separate offense, punishable by like fine.
- B. In addition, the Board of Commissioners may institute suits, in equity or at law, to restrain, prevent, or abate a violation of this Chapter. Such proceedings may be initiated before any court of competent jurisdiction. The expense of such proceedings shall be recoverable from the violator in any manner as may now or hereafter be provided by law.

SECTION II. REPEALER.

All Ordinances or parts Ordinances inconsistent herewith or in conflict with any of the specific terms enacted hereby, to the extent of said inconsistencies or conflicts, are hereby specifically repealed.

SECTION III. REVISIONS.

The Upper Moreland Township Board of Commissioners does hereby reserve the right, from time to time, to adopt modifications of, supplements to, or amendments of its Ordinance, including this provision.

SECTION IV. SEVERABILITY.

To the extent that any provision of this ordinance is deemed to be unlawful, such provision shall be severable from the remainder of provisions which are not deemed to be unlawful, which lawful provisions shall continue in full force and effect.

SECTION V. EFFECTIVE DATE.

This amendment shall become effective five (5) days after date of adoption.

SECTION VI. FAILURE TO ENFORCE NOT A WAIVER.

The failure of Upper Moreland Township to enforce any provision of this Ordinance shall not constitute a waiver by the Township of its rights of future enforcement hereunder.

ORDAINED AND ENACTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, this _____ day of _____, 2025.

Attest:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Patrick Stasio, Secretary

President

DRAFT

TOWNSHIP OF UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215
Telephone (215) 659-3100 / Fax (215) 659-7363

COMMISSIONERS

KIP McFATRIDGE
President
CHERYL LOCKARD
Vice President
ANTHONY BENVENUTTI
DEMOND MULLEN
BENJAMIN W. OLSZEWSKI
NICHOLAS O. SCULL
CHARLES M. WHITING



OFFICIALS

PATRICK T. STASIO
Township Manager
JOHN D. BATES
*Assistant Township Manager/
Director of Finance*
ALEX H. LEVY
Township Treasurer
SEAN P. KILKENNY, ESQ.
Township Solicitor

Agenda Summary Community Development Committee Meeting – January 13, 2025

Agenda Item: **Downtown Parking Lot**

Prepared by: Patrick Stasio, Township Manager

Attachments: **Cost Estimates, Concept Drawing**

Background/Analysis: Upper Moreland Township owns a downtown parking lot consisting of (13) parking spaces. The lot is located at the intersection of Davisville and York Roads. The Township desires to improve and redesign the parking lot as part of the downtown beautification projects.

The redesign includes: retaining (9) of the (13) parking spaces, the addition of a raised area for pedestrian seating, plantings, walkways, and other improvements. The enhancement and redesign will provide a safe passage way for downtown visitors to make their way from the parking lot to local downtown shops. The improvement will also provide an outdoor seating area for downtown visitors and improve accessibility for all visitors to the downtown area.

Fiscal Impact/Sources: The project construction estimate is \$125,097.75. Cost does not include Public Works demolition and paving of the new parking area, estimated to be \$15,000, for a total project cost of \$140,097.75. The Township has applied for a grant in the amount of \$57,175.

Alternatives: Do not improvements and leave the parking area in its current condition.

Recommend Action: Recommend the Committee move forward for full Board of Commissioner consideration at the February 3, 2025 meeting.

Equal Opportunity Employer

VISIT US ON THE WEB @ www.uppermoreland.org

OPINION OF PROBABLE COST

PROJECT: 2400193 DAVISVILLE-YORK AMENITY SPACE

PREPARED BY: CG/JH

LOCATION: 98 N YORK RD. WILLOW GROVE, PA

 **GILMORE & ASSOCIATES, INC.**
ENGINEERING & CONSULTING SERVICES

DESCRIPTION: DAVISVILLE-YORK POCKET PARK

DATE: 12/19/2024

PARK IMPROVEMENTS

ITEM				TOTAL	
NO.	DESCRIPTION	NO.	UNIT	\$/UNIT	COST
A	PEDESTRIAN WALKWAYS & SEATING AREA				
1	STAMPED CONCRETE OR FLAGSTONE	460	SF	\$40.00	\$18,400.00
2	STANDARD CONCRETE SIDEWALK	745	SF	\$25.00	\$18,625.00
3	BRICK BAND	24	LF	\$50.00	\$1,200.00
4	CONCRETE CURB	116	LF	\$100.00	\$11,600.00
	PAVEMENT TOTAL				\$49,825.00
B	SITE AMENITIES				
1	STONE VENEER PILLARS, SEAT WALL & CAP	1	EA	\$30,000.00	\$30,000.00
2	SOLAR CHARGING TABLE	1	EA	\$7,500.00	\$7,500.00
	SITE AMENITIES TOTAL				\$37,500.00
C	LANDSCAPE				
1	TREES	2	EA	\$600.00	\$1,200.00
2	EVERGREEN TREES	4	EA	\$400.00	\$1,600.00
3	SHRUBS	10	EA	\$90.00	\$900.00
4	PERENNIALS	48	EA	\$30.00	\$1,440.00
5	PLANTING SOIL (18" DEPTH)	70	CY	\$40.00	\$2,800.00
6	MULCH (3" DEPTH)	12	CY	\$60.00	\$720.00
7	DRAINAGE/PIPING/TRENCH DRAINS	1	LS	\$3,500.00	\$3,500.00
	LANDSCAPE TOTAL				\$12,160.00
D	MOBILIZATION				
		1	LS	\$10,000.00	\$10,000.00
	CONSTRUCTION SUBTOTAL				\$109,485.00
	CONTINGENCY (15%)				\$16,422.75
	TOTAL COST				\$125,907.75

NOTE: All costs are in 2024 dollars and are for budgetary purposes only.

* Public works to do demoition, asphalt parking area pavement, and line striping.



DAVISVILLE-YORK PUBLIC AMENITY SPACE





Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

Commissioners Report

For the period of: 2024-11-01 to 2024-11-30 23:59:59

Date Printed: 12/03/2024

PERMITS

Type	# of Apps. Created	# of Permits Issued	Estm. Cost of Issued	Revenue Collected
Grading	1	1	\$16,000.00	\$24.50
Bulk Pick Up	26	25	\$0.00	\$542.00
Trailer	5	4	\$0.00	\$160.00
Plumbing	11	13	\$115,447.00	\$1,155.50
Garage Sale	1	1	\$0.00	\$10.00
Public Works	36	36	\$1,224,364.00	\$5,555.60
Building	48	44	\$1,008,781.08	\$17,264.00
Commercial Zoning Use	6	9	\$0.00	\$600.00
Fire	6	14	\$69,950.00	\$2,944.50
Miscellaneous	0	0	\$0.00	\$0.00
Holding Tank	0	0	\$0.00	\$0.00
Sign	4	4	\$14,500.00	\$445.00
Well	0	0	\$0.00	\$0.00
Electrical	18	15	\$83,052.00	\$2,342.50
Mechanical	8	6	\$68,648.00	\$1,497.00
Totals:	170	172	\$2,600,742.08	\$32,540.60

CONTRACTORS

Commercial

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	1	0	\$75.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	1	0	\$75.00
Totals:	2	0	\$150.00

Residential

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
Totals:	0	0	\$0.00

Home Improvement

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	1	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	7	0	\$0.00
Sign Contractor	0	0	\$0.00



Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

Commissioners Report

For the period of: 2024-11-01 to 2024-11-30 23:59:59

Date Printed: 12/03/2024

General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	2	0	\$0.00
Totals:	10	0	\$0.00

Uncategorized Subtype

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
Totals:	0	0	\$0.00

PERMIT INSPECTIONS

Total Inspections:	75
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LICENSING

Type	# of New Licenses	# of Renewals	Revenue Collected
Home Occupancy Zoning Use	7	2	\$450.00
Amusement License	0	0	\$0.00
Sandwich Sign	0	0	\$0.00
Massage	0	0	\$0.00
Billboard	0	0	\$0.00
Recreational Trailer	1	0	\$5.00
Totals:	8	2	\$455.00

LAND DEVELOPMENT

Type	# of Apps. Created	Revenue Collected
Zoning Change	0	\$0.00
Conditional Use	0	\$0.00
Subdivision	0	\$0.00
Land Development	0	\$0.00
Public Hearing	2	\$1,550.00
Totals:	2	\$1,550.00

CODE ENFORCEMENT

Type	# of Complaints
Trash and Debris	0
Misc	9
Exterior Maintenance	1
High Grass	0
Work Without Permit	2
Totals:	12

CASHIERING

Type	# of Transactions	Revenue Collected
Total Transactions	0	\$0.00
Totals:	0	\$0.00



Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

Commissioners Report

For the period of: 2024-11-01 to 2024-11-30 23:59:59

Date Printed: 12/03/2024

OPEN RECORDS

Type	# of Requests	Revenue Collected
Public Record Request	0	\$0.00
Totals:	0	\$0.00

Total Revenue Collected: \$34,695.60



PERMITS

Type	# of Apps. Created	# of Permits Issued	Estm. Cost of Issued	Revenue Collected
Grading	0	2	\$9,000.00	\$54.50
Bulk Pick Up	42	42	\$0.00	\$1,031.00
Trailer	1	1	\$0.00	\$40.00
Plumbing	12	12	\$74,898.00	\$1,191.00
Garage Sale	1	1	\$0.00	\$10.00
Public Works	0	1	\$250.00	\$30.00
Building	30	27	\$624,385.85	\$12,591.50
Commercial Zoning Use	5	10	\$0.00	\$750.00
Fire	37	25	\$50,561.00	\$2,417.50
Miscellaneous	1	3	\$0.00	\$300.00
Holding Tank	0	0	\$0.00	\$0.00
Sign	6	5	\$33,015.00	\$570.00
Well	0	0	\$0.00	\$0.00
Electrical	15	18	\$105,250.00	\$2,906.00
Mechanical	10	14	\$139,285.30	\$2,388.00
Totals:	160	161	\$1,036,645.15	\$24,279.50

CONTRACTORS

Commercial

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	3	0	\$225.00
General Contractor	1	2	\$225.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	1	0	\$75.00
Totals:	5	2	\$525.00

Residential

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	1	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
Totals:	1	0	\$0.00

Home Improvement

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	3	0	\$0.00
Sign Contractor	0	0	\$0.00



Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

Commissioners Report

For the period of: 2023-11-01 to 2023-11-30 23:59:59

Date Printed: 12/03/2024

General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	2	0	\$0.00
Totals:	5	0	\$0.00

Uncategorized Subtype

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
Totals:	0	0	\$0.00

PERMIT INSPECTIONS

Total Inspections:	86
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LICENSING

Type	# of New Licenses	# of Renewals	Revenue Collected
Home Occupancy Zoning Use	4	13	\$850.00
Amusement License	0	0	\$0.00
Sandwich Sign	0	0	\$0.00
Massage	0	0	\$0.00
Billboard	0	0	\$0.00
Recreational Trailer	0	0	\$0.00
Totals:	4	13	\$850.00

LAND DEVELOPMENT

Type	# of Apps. Created	Revenue Collected
Zoning Change	0	\$0.00
Conditional Use	0	\$0.00
Subdivision	0	\$0.00
Land Development	0	\$0.00
Public Hearing	1	\$750.00
Totals:	1	\$750.00

CODE ENFORCEMENT

Type	# of Complaints
Trash and Debris	2
Misc	3
Exterior Maintenance	1
High Grass	0
Work Without Permit	6
Totals:	12

CASHIERING

Type	# of Transactions	Revenue Collected
Total Transactions	0	\$0.00
Totals:	0	\$0.00



Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

Commissioners Report

For the period of: 2023-11-01 to 2023-11-30 23:59:59

Date Printed: 12/03/2024

OPEN RECORDS

Type	# of Requests	Revenue Collected
Public Record Request	0	\$0.00
Totals:	0	\$0.00

Total Revenue Collected: \$26,404.50



Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

Commissioners Report
For the period of: 2024-12-01 to 2024-12-31 23:59:59
Date Printed: 01/03/2025

PERMITS

Type	# of Apps. Created	# of Permits Issued	Estm. Cost of Issued	Revenue Collected
Grading	2	3	\$80,590.00	\$269.00
Bulk Pick Up	34	34	\$0.00	\$779.00
Trailer	1	2	\$0.00	\$80.00
Plumbing	21	17	\$106,160.00	\$1,289.50
Garage Sale	0	0	\$0.00	\$0.00
Public Works	3	3	\$406,827.00	\$258.60
Building	23	21	\$656,749.58	\$10,834.50
Commercial Zoning Use	2	7	\$0.00	\$525.00
Fire	5	5	\$1,500.00	\$839.50
Miscellaneous	0	0	\$0.00	\$0.00
Holding Tank	0	0	\$0.00	\$0.00
Sign	0	2	\$15,000.00	\$80.00
Well	0	0	\$0.00	\$0.00
Electrical	11	11	\$111,384.23	\$2,299.50
Mechanical	7	9	\$92,010.00	\$1,950.50
Totals:	109	114	\$1,470,220.81	\$19,205.10

CONTRACTORS

Commercial

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
Totals:	0	0	\$0.00

Residential

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
Totals:	0	0	\$0.00

Home Improvement

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	5	0	\$0.00
Sign Contractor	0	0	\$0.00



Upper Moreland
Township
117 Park Avenue
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Commissioners Report

For the period of: 2024-12-01 to 2024-12-31 23:59:59

Date Printed: 01/03/2025

General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	1	0	\$0.00
Totals:	6	0	\$0.00

Uncategorized Subtype

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
Totals:	0	0	\$0.00

PERMIT INSPECTIONS

Total Inspections: 81

LICENSING

Type	# of New Licenses	# of Renewals	Revenue Collected
Home Occupancy Zoning Use	1	2	\$150.00
Amusement License	1	0	\$250.00
Sandwich Sign	0	0	\$0.00
Massage	0	0	\$0.00
Billboard	0	0	\$0.00
Recreational Trailer	0	0	\$0.00
Totals:	2	2	\$400.00

LAND DEVELOPMENT

Type	# of Apps. Created	Revenue Collected
Zoning Change	0	\$0.00
Conditional Use	0	\$0.00
Subdivision	0	\$0.00
Land Development	0	\$0.00
Public Hearing	4	\$1,950.00
Totals:	4	\$1,950.00

CODE ENFORCEMENT

Type	# of Complaints
Trash and Debris	0
Misc	3
Exterior Maintenance	0
High Grass	0
Work Without Permit	1
Totals:	4

CASHIERING

Type	# of Transactions	Revenue Collected
Total Transactions	0	\$0.00
Totals:	0	\$0.00



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OPEN RECORDS

Type	# of Requests	Revenue Collected
Public Record Request	0	\$0.00
Totals:	0	\$0.00

Total Revenue Collected: \$21,555.10



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PERMITS

Type	# of Apps. Created	# of Permits Issued	Estm. Cost of Issued	Revenue Collected
Grading	1	2	\$2,100.00	\$49.00
Bulk Pick Up	45	45	\$0.00	\$855.00
Trailer	0	0	\$0.00	\$0.00
Plumbing	8	8	\$19,080.00	\$446.00
Garage Sale	0	0	\$0.00	\$0.00
Public Works	3	3	\$3,700.00	\$84.00
Building	29	33	\$844,842.67	\$14,054.00
Commercial Zoning Use	6	10	\$0.00	\$750.00
Fire	3	11	\$16,500.00	\$1,194.00
Miscellaneous	0	0	\$0.00	\$0.00
Holding Tank	0	0	\$0.00	\$0.00
Sign	3	5	\$31,642.00	\$370.00
Well	0	0	\$0.00	\$0.00
Electrical	7	9	\$189,345.82	\$4,875.50
Mechanical	8	5	\$199,804.00	\$1,427.50
Totals:	113	131	\$1,307,014.49	\$24,105.00

CONTRACTORS

Commercial

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
Totals:	0	0	\$0.00

Residential

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	2	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	4	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	1	0	\$0.00
Totals:	7	0	\$0.00

Home Improvement

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	1	0	\$0.00
Sign Contractor	0	0	\$0.00



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General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	1	0	\$0.00
Totals:	2	0	\$0.00

Uncategorized Subtype

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
Totals:	0	0	\$0.00

PERMIT INSPECTIONS

Total Inspections:	66
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LICENSING

Type	# of New Licenses	# of Renewals	Revenue Collected
Home Occupancy Zoning Use	3	3	\$300.00
Amusement License	0	0	\$0.00
Sandwich Sign	0	0	\$0.00
Massage	0	0	\$0.00
Billboard	0	0	\$0.00
Recreational Trailer	1	0	\$5.00
Totals:	4	3	\$305.00

LAND DEVELOPMENT

Type	# of Apps. Created	Revenue Collected
Zoning Change	0	\$0.00
Conditional Use	0	\$0.00
Subdivision	0	\$0.00
Land Development	0	\$0.00
Public Hearing	0	\$0.00
Totals:	0	\$0.00

CODE ENFORCEMENT

Type	# of Complaints
Trash and Debris	0
Misc	3
Exterior Maintenance	0
High Grass	0
Work Without Permit	2
Totals:	5

CASHIERING

Type	# of Transactions	Revenue Collected
Total Transactions	0	\$0.00
Totals:	0	\$0.00



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OPEN RECORDS

Type	# of Requests	Revenue Collected
Public Record Request	0	\$0.00
Totals:	0	\$0.00

Total Revenue Collected: \$24,410.00

To: Public Works Committee

From: David Elsier, Director of Public Works

Date November/December 2024

Re: **UMPW DEPARTMENTAL REPORT**



PUBLIC WORKS DIRECTOR'S NOTES

- Oversaw all day-to-day operations of the Public Works Department
- Repaired potholes throughout the Township.
- Reported street lights that are not working.
- Contacted Penn Dot about pothole concerns on all state roads within the Township.
- Reported traffic and street lights that needed attention.
- Responded to e-mails and phone calls from residents with questions or problems.
- Completed various reports and schedules to help with operations of the Public Works Department.
- Finished Leaf Collection
- Installed Traffic calming signs on Frontier and Shoemaker
- Installed Deer crossing signs on Mill rd
- Had 2 salting events on December

- **Vehicle Maintenance** - Township mechanics maintained all Township vehicles and equipment.
- **Storm Water Maintenance** - Township staff continues to inspect and repair all storm water inlets.

SANITATION DIVISION

November 2024

During the month of November 2024, our Sanitation Division picked up 479 tons of compacted trash. For the same period in 2023 we collected 575 tons of compacted

Since the last report period we had 18 bulk pick-ups. For the same period in 2023 we collected 24 bulk items

We collected 159 tons of yard waste since the last report period. For the same period in 2023, we collected 80 tons of yard waste.

We collected 9 electronic items (E-cycling) since the last report period. For the same period in 2023, we collected 13 electronic items.

SANITATION DIVISION
December 2024

During the month of December 2024, our Sanitation Division picked up 575 tons of compacted trash. For the same period in 2023 we collected 514 tons of compacted

Since the last report period we had 15 bulk pick-ups. For the same period in 2023 we collected 19 bulk items

We collected 94 tons of yard waste since the last report period. For the same period in 2023, we collected 70 tons of yard waste.

We collected 14 electronic items (E-cycling) since the last report period. For the same period in 2023, we collected 13 electronic items.



Public Works Department
November 2024

Summary of materials handled by Sanitation Division
(in tons)

Single Stream	157
Curbside Yard Waste	159
Total Recycling Tonnage	316
Trash Tonnage	479
Tipping Fee Cost Avoidance	\$21,254
Cost of Single Stream	\$ 1,495
Percent of Waste Recycled	\$ 9.52

<u>Materials</u>	<u>Single Stream</u>	<u>Yard Waste</u>	<u>Trash</u>	<u>% Recycled</u>
2024	157	159	479	40%
2023	182	80	536	33%

	2023	2024
Bulk Metal Items	24	18
E-Cycling Items	13	9



Public Works Department
December 2024

Summary of materials handled by Sanitation Division
(in tons)

Single Stream	211
Curbside Yard Waste	94
Total Recycling Tonnage	305
Trash Tonnage	575
Tipping Fee Cost Avoidance	\$20,514
Cost of Single Stream	\$ 1,495
Percent of Waste Recycled	\$ 7.08

<u>Materials</u>	<u>Single Stream</u>	<u>Yard Waste</u>	<u>Trash</u>	<u>% Recycled</u>
2024	211	94	575	35%
2023	191	70	514	34%

	2023	2024
Bulk Metal Items	19	15
E-Cycling Items	13	14



PROJECT	WORK PERFORMED LAST PERIOD (December 9 th to January 13 th)	WORK TO BE PERFORMED THIS PERIOD (January 13 th to February 10 th)
GENERAL TOWNSHIP PROJECTS		
1. NPDES – MS4 Reporting	<ul style="list-style-type: none">• No work performed this period.	<ul style="list-style-type: none">• Monitor project status and perform work as needed.
2. Misc. Consulting Services	<ul style="list-style-type: none">• Site visit to Mill Creek Dam.• Revised budget & layout for York / Davisville public amenity space based on Twp's construction budget.	<ul style="list-style-type: none">• Respond to requests and perform work as necessary.• Discuss York & Davisville amenity project with CDC on January 13th.
3. Woodlawn School Demo / Redevelopment	<ul style="list-style-type: none">• Infiltration testing.• Stormwater & grading design.	<ul style="list-style-type: none">• Work on park redevelopment plans with goal of NDPES permit submission in Q1 2025.• Coordination with Simone Collins and Township Staff.
PRIVATE DEVELOPMENT PROJECTS		
1. Fairhill Commons	<ul style="list-style-type: none">• No work was performed during this period.	<ul style="list-style-type: none">• Project is in 18-month maintenance period which is set to expire in May 2025.
2. Federal Realty – Phase 3 Apartments / Retail	<ul style="list-style-type: none">• No work was performed during this period.	<ul style="list-style-type: none">• Work with Applicant on conditions of approval.
3. Cloud 10 Carwash	<ul style="list-style-type: none">• Attend pre-construction meeting for site construction.• Construction observation.	<ul style="list-style-type: none">• Work with Applicant on conditions of approval.
4. Executive Mews	<ul style="list-style-type: none">• Tree removal site visit & follow up coordination.	<ul style="list-style-type: none">• Work with Applicant on conditions of approval.
5. 1130 Easton Road (Starbucks)	<ul style="list-style-type: none">• No work completed this period.	<ul style="list-style-type: none">• Work with Applicant on conditions of approval.
6. 2005 Pioneer Road	<ul style="list-style-type: none">• No work completed this period.	<ul style="list-style-type: none">• Work with Applicant on conditions of approval.

UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY
PROJECT STATUS
January 8, 2025

MORELAND AVENUE BRIDGE RECONSTRUCTION

- Full reconstruction of bridge along Moreland Avenue at Hatboro Borough border by County.
- Full road closure is required. Approximate 6 - 8 month closure.
- **Project Bids Opened in December 2024**

ROUTE 611 BRIDGE OVER TURNPIKE RAMP

- 2021 DCED MTF grant awarded for Design of Interchange Improvements.
- 2021 PennDOT MTF grant awarded for construction of ramp widening.
- Coordination with PA Turnpike for Open Road Tolling project, which will remove toll booths from Interchange.
- Preliminary design of roadway completed and preliminary bridge design has commenced.
- Environmental Clearance studies underway.
- Project added to 2025 TIP includes project for full construction funding. Meeting with PennDOT to discuss project status to be scheduled. Bowman will continue to progress the design through Preliminary Design.

BLAIR MILL ROAD

- Project for widening along Blair Mill Road at Easton Road to lengthen existing right turn lane to new traffic signal at Gibraltar Road and adding sidewalk along the southern side to connect to existing sidewalk.
- DCED MTF Grant Application submitted July 2024. Announcements pending

BLAIR MILL ROAD (HORSHAM PROJECT)

- Project for widening along Blair Mill Road at Commerce Avenue\Witmer Rd and at Easton Road. Project be led by Horsham Township. Michael Baker is the designer.
- James D. Morrisey is the contractor. Utility Relocation in 2023 and continuing in 2024. Roadwork to begin in 2024.

MARYLAND ROAD BRIDGE

- Final Bridge and Roadway plans complete
- DCED MTF Grant awarded for \$897,375.00 for construction and construction inspection. No required match.
- DEP Permit Approval Obtained.
- Temporary Construction Easements needed. **Bowman sent easement information\requests to two property owners for necessary easements.**
- **Bid Opening Jan 13, 2025**

POWER LINE TRAIL

- Installation of Trail along PECO power line from Blair Mill Road to Maryland Road.
- Final trail alignment approved by PECO. New agreement provided by PECO for trail and parking lot.
- Project selected for TASA grant (\$2.4 million). Kick-off meeting held 2/22/24. Bowman preparing proposal for design services. This project must follow the PennDOT project delivery process due to federal funding.

MONTCO CTP GRANT – MARYLAND AND COMMERCE INTERSECTION IMPROVEMENTS

- Grant Award - \$354,685. Township match \$204,685.
- Design Completed. Need property owner sign-off from Jefferson Health and Finalize utility coordination.

2022 TRAFFIC SIGNAL TECHNOLOGIES AWARD

- Upgrades to 23 intersections along Route 611 and 263 to replace controller timers, install new radio communication, and connect to PennDOT's Traffic Management Center (TMC).
- Grant Award - \$557,000. Township match \$0.

2022 GREEN LIGHT GO AWARD

- Upgrades to 16 intersections along Route 611 and 263 to replace loops with radar\video detection.
- Grant Request - \$513,360. Township match \$128,340.

BONNET LANE PARK – PHASE 1 UTILITY RELOCATION

- Improvements to relocate existing overhead utilities. provide new road connection from Mill Road to Bonnet Lane, with turning lane on Mill Road. Closure of Bonnet Lane between St. Dunstans and Burnbridge, and installation of parking lot per Bonnet Lane park master plan
- Grant Award \$250,000, for utility relocations. Township coordinating with utility companies
- **PECO, Verizon, and Comcast completing design for relocations, including estimates for work.**

December 2024 EAC Report to CDC

At our December 4, 2024 meeting we discussed possible topics for the spring township newsletter.

We have ordered an educational sign, about native plants that people could put in their own yards. We are working with Parks and Rec as to its placement in Masons Mill Park, along with a new native plant garden.

We discussed ways to work with the shade tree committee on tree education and tree give-a-ways for residents.

We are developing a handout, to give to residents at events, about planting and replacing trees. We are also hoping that tree companies may help give them out when they remove a tree.

UPPER MORELAND HISTORICAL COMMISSION

REPORT TO THE CDC: 01/13/2025

MEETING OF 12/03/2024 and 01/07/2025

1. Discussion of our current membership, including how to encourage residents' interest in the work of the Commission through social media. We will be asking the Township for guidance on our website, as it needs to be monitored and brought up to date. Suggestions for the use of student assistance was discussed. Also, accepted the resignations of alternate members, Natalie Baine-Schliskey and Michale Lovecchio.
2. Report by Alan Sentman on the progress at Farmstead Park – particularly on the restoration of heat and light in the house, and the installation of windows in the Barn and sashes in the Carriage House. Currently, the winter/holiday lighting of the farmhouse remains, with candles placed in the windows by the UMHC.
3. Update by Susan Worth-LaManna on historical sign projects. On December 28th, the Schoolhouse sign was destroyed in an accident. The UMHC and UMHA are re-writing the text (as it had historical inaccuracies) and changing the graphic to a picture from the early 1900's which more accurately represents the original schoolhouse.
4. Jackie Cherepinsky has reached out to Dr. Susan Elliot regarding recently found artifacts from the beginning of our school district and will collect them to be reviewed and given to the UMHA.
5. The Events: Spring 2025 – seminar on historical home restoration.
Late Spring – Community historical movie at the Farmstead
Historical Haunts – October 25th (to be confirmed) at the Farmstead
6. Idea raised by Jackie Cherepinsky that we provide tours of the Farmstead through our local paranormal group. Fund-raising was considered. To be reviewed by Alan Sentman with his Board and the Township.

Our next meeting is February 4, 2025 in the Council Room of the Administration Building.

Respectfully submitted,

Susan Worth-LaManna, President
UMHC