

**UPPER MORELAND TOWNSHIP**  
**Community Development Committee Meeting**

**November 24, 2025 at 7:00 p.m.**

*AGENDA ITEMS ARE SUBJECT TO CHANGE*

**INSTRUCTIONS TO JOIN:**

<b>Go to Zoom.us.</b> Click "Join a Meeting"	Webinar ID: 917 5771 7982	Password: 182130
<b>Join by Phone:</b> Dial 1-929-205-6099	Webinar ID: 917 5771 7982	Password: 182130

*\*\*Residents requiring special accommodations:  
please call the Township during normal business hours at 215-659-3100 x1058 or x1057\*\**

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**Community Development Committee Members:** Commissioner and Committee Chair Demond Mullen, Commissioner and Board President, Kip McFatridge and Commissioner Nicholas Scull; Township Staff Committee Members: Paul E. Purtell, Director of Code Enforcement and David Elsier, Director of Public Works.

**I. Call to Order**

**II. Presentations/Announcements**

- Update on Walkability Audit by Claire Warner, Montgomery County Planning Commission

**III. Roll Call**

**IV. Public Comments – Non-Agenda Items Only**

**V. Approval of Minutes – October 20, 2025 (attachment)**

**VI. Land Development/Subdivision**

- A. Land Development Application for the Upper Moreland Township Municipal Complex (attachments)

**VII. New Business:**

- A. Authorization to Advertise Ordinance No. XXXX amending the International Property Maintenance Code (attachment)
- B. Amusement Device License Application located at 425 W. Moreland Road (attachments)
- C. Consider the cancellation of the December 15, 2025 Community Development Committee Meeting.

**VIII. Old Business**

**IX. Redevelopment**

**X. Acceptance and Approval of the following monthly reports (attachments)**

- A. Code Enforcement Department Reports
- B. Public Works Department Report and Recycling Report
- C. Engineer's Report and Landscape Architect's Report
- D. Traffic Engineer's Report
- E. Environmental Advisory Council
- F. Historical Commission

**XI. Other**

**XII. Commissioner Comments**

**XIII. Adjournment**

# TOWNSHIP OF UPPER MORELAND

*Montgomery County, Pennsylvania*

117 Park Avenue, Willow Grove, PA 19090-3215  
Telephone (215) 659-3100 / Fax (215) 659-7363

## COMMISSIONERS

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SEAN P. KILKENNY, ESQ.  
*Township Solicitor*

## Agenda Summary

### Community Development Committee Meeting – November 24, 2025

**Agenda Item:** **Walkability Audit Presentation by MCPC**

**Prepared By:** Paul Purtell, Director of Code Enforcement

**Attachments:** Copy of Power Point presentation and memo from Claire Warner, MCPC

**Background/Analysis:** The Montgomery County Planning Commission, along with the Advisory Planning Agency, have been conducting an audit of the Town Center area for pedestrian access and any obstacles/safety hazards that pedestrians may find. The purpose of the audit is to identify areas that could make the downtown area safer, and user friendly, for pedestrians.

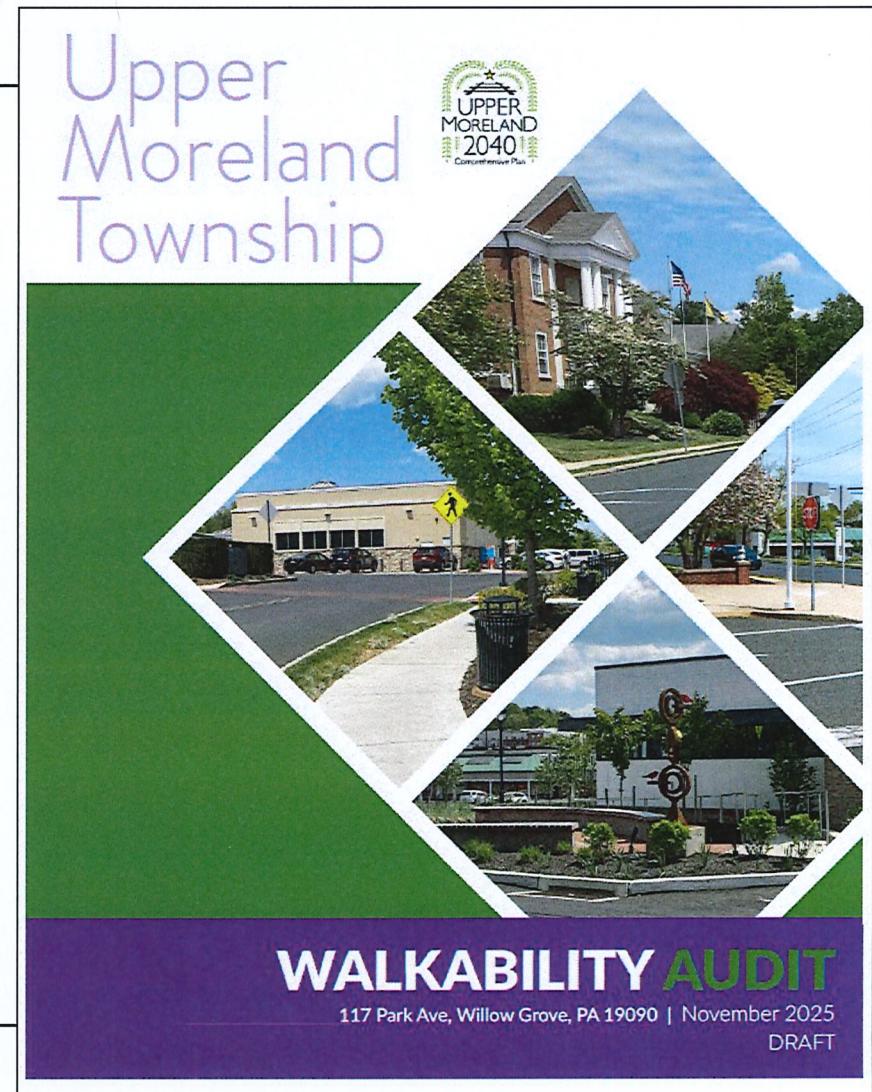
**Fiscal Impact/Source:** N/A

**Alternatives:** N/A

**Staff Recommendation:** Provide feedback to the Montgomery County Planning Commission and Advisory Planning Agency, as applicable.

# Update on the *Willow Grove* *Walkability Audit*

November 24, 2025 Upper Moreland Township  
Community Development Committee



# What is a Walkability Audit (or Walk Audit)?

A walk audit is a review of walking conditions along specified streets.

Key areas of interest and concern are visited and analyzed for both positive and negative conditions, and the conditions are documented with photographs.

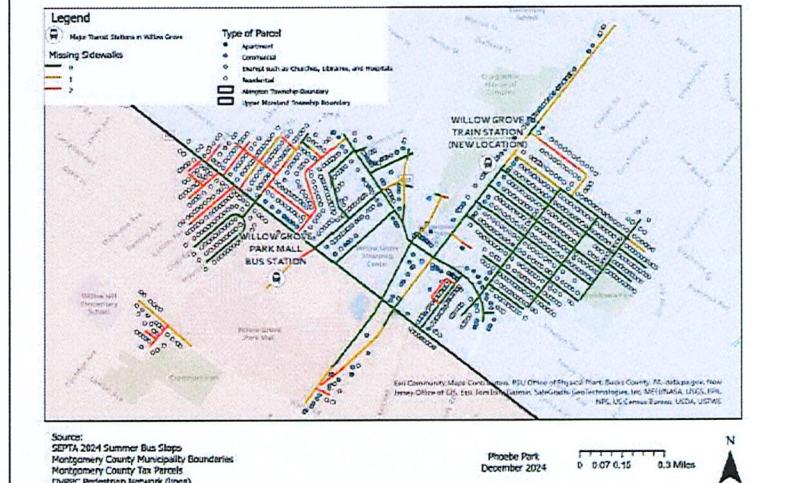
During a walk audit, it is noted where people are crossing the street, driveways, sidewalk conditions, and what it feels like to walk in that environment.

**Based on the comprehensive plan recommendations, a walk audit would help identify projects that the township can implement in the short-term to improve walkability in Willow Grove.**

*Recommendations for Transit-Oriented Development in Willow Grove related to the upcoming SEPTA Regional Rail Willow Grove Station Upgrades*

Figure 1: Missing Sidewalks within the Willow Grove TOD 10-minute walkshed

Within a 0.5 mile walk shed from major transit stations in Willow Grove, 17% of sidewalks are missing entirely and 18% only have coverage on one side along walkways



*Image from a report by a Temple University student*

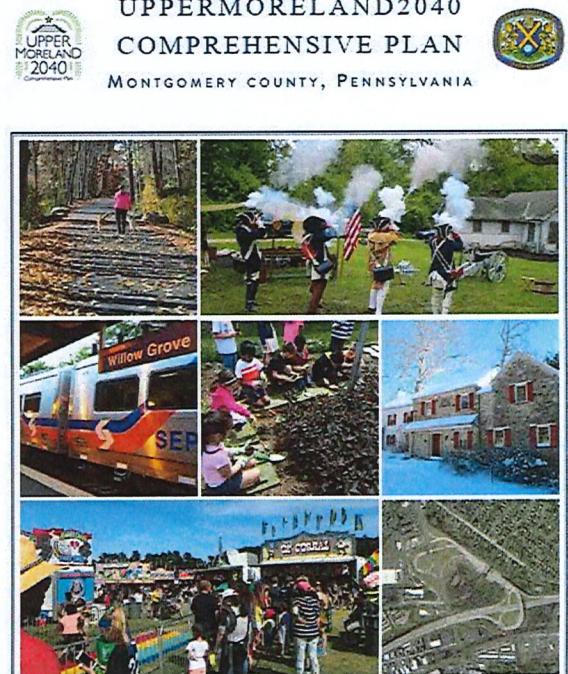
# How does a Walk Audit Relate to the Comprehensive Plan and other studies?

## Transportation Recommendations

- 10C. Prioritize crosswalk improvements in downtown Willow Grove, near schools, parks and other critical areas.
- 10K. Systematically fill gaps in the sidewalk network by identifying existing gaps, categorizing gaps in terms of funding sources and approaching property owners to implement a plan.
- 10L. Upgrade SALDO to better provide for crosswalks. Sidewalk patterns and/or decorative crosswalks will be required to continue across driveway aprons.
  - Verge. The SALDO will be amended to add provisions requiring these in all zoning districts. These would address width and planting/ paving materials and can greatly affect the appearance and character of an area.
  - Crosswalk Specifications. The SALDO requires a minimum crosswalk width, but does not specify design or materials. We recommend the requirements specify a highly-visible design

## Economic Development Recommendations

- 11J. Pursue a “placemaking” strategy in downtown Willow Grove. This would include:
  - **Providing and strengthening incentives for pedestrian accommodations and amenities, with the foundation for such improvements being created by preparing a “walk audit”, examining and documenting the pedestrian system in downtown Willow Grove on foot, in coordination with MCPC.**
- 13L. In downtown Willow Grove, use “placemaking” to strengthen “sense of place” and image, and draw more people downtown. Continue to create linkages between the two sides of Route 611 with pedestrian connections, safety measures, signage and development, while using zoning to strengthen mixed-use development on each side of the road.

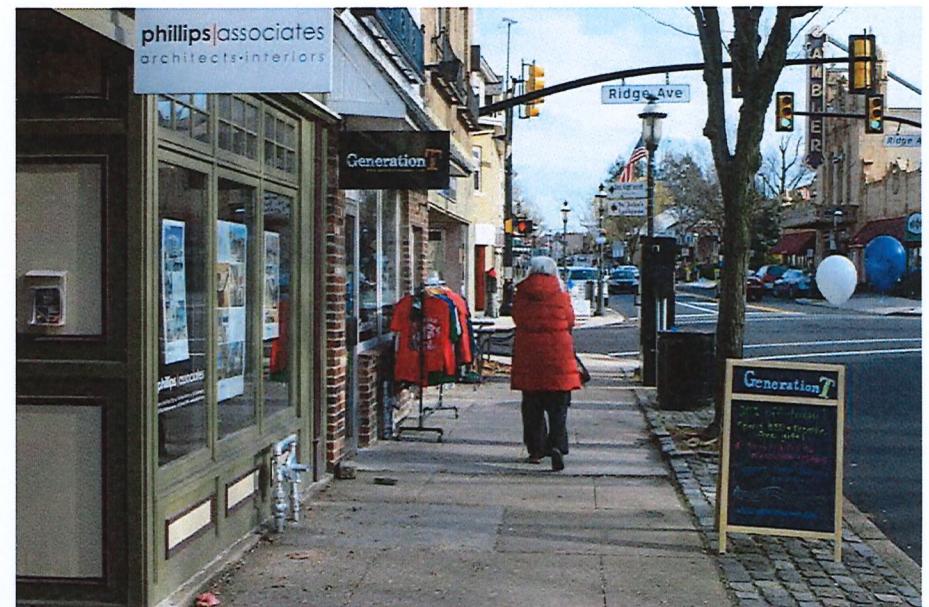


July 6, 2020

# Benefits of Walkability

## Walkable neighborhoods...

- help create vibrant business districts
- help improve physical and mental health
- are good for the environment
- encourage community strength
- are safer for pedestrians and all road users



PennDOT Crash Data - Montgomery County

2019 - 2020 - 2021 - 2022 - 2023

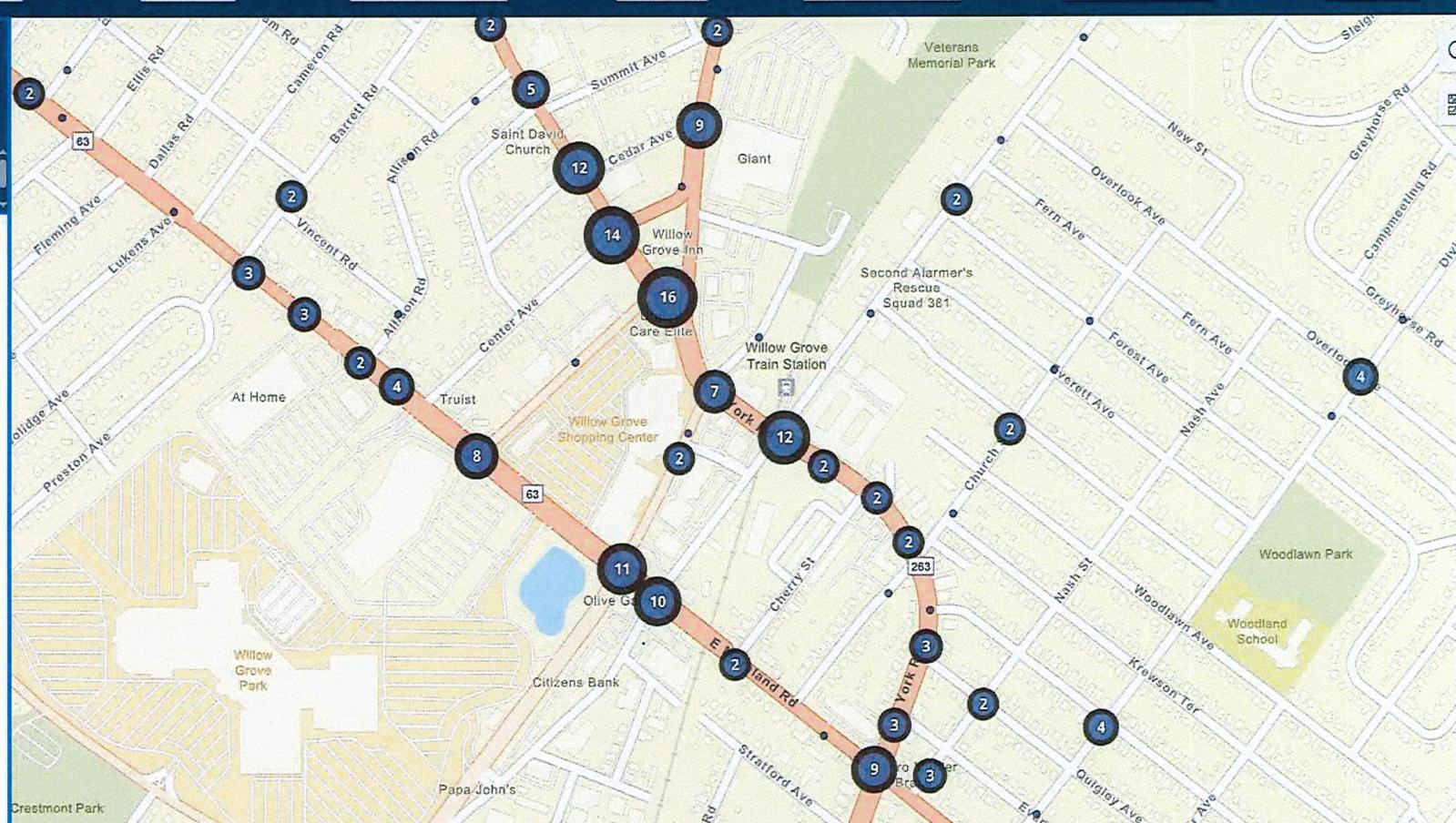
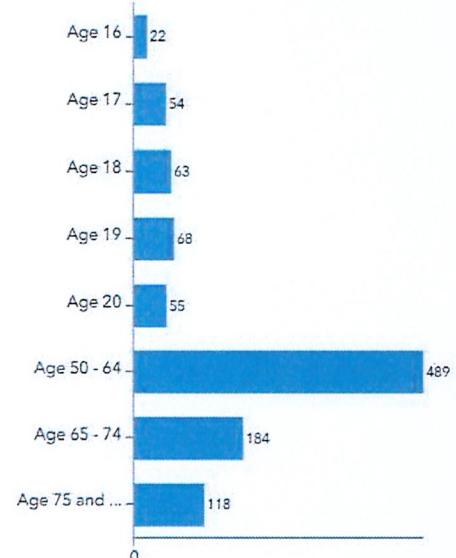


**Total Crashes: 1,348**  
**Total Fatalities : 2**

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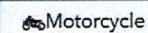
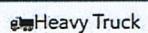
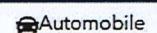
### Age of Driver



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## PennDOT Crash Data - Montgomery County

2019 - 2020 - 2021 - 2022 - 2023



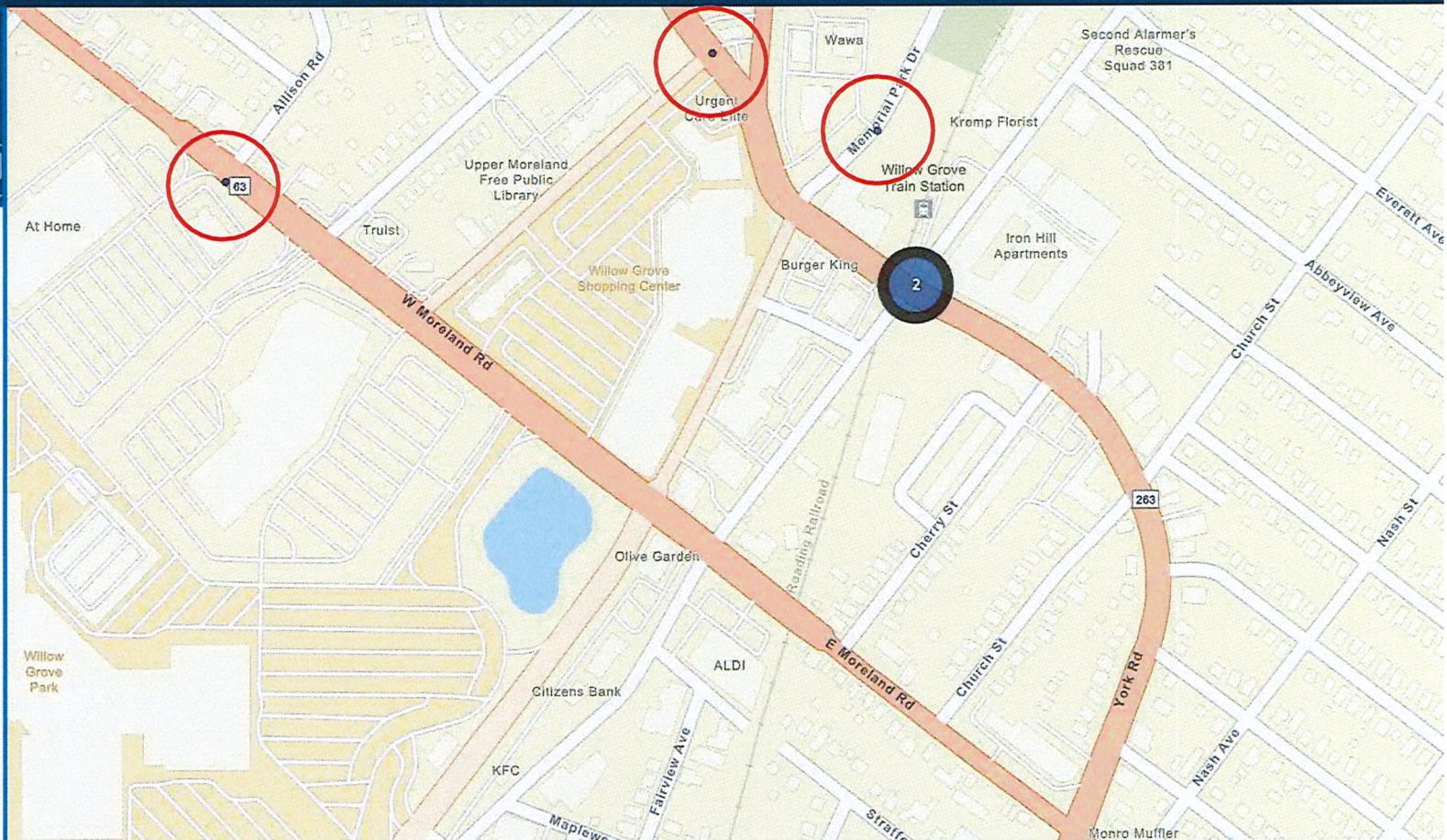
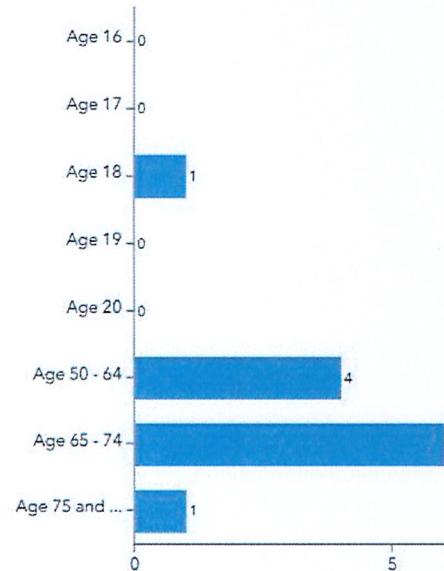
**Total Crashes: 19**  
**Total Fatalities : 1**

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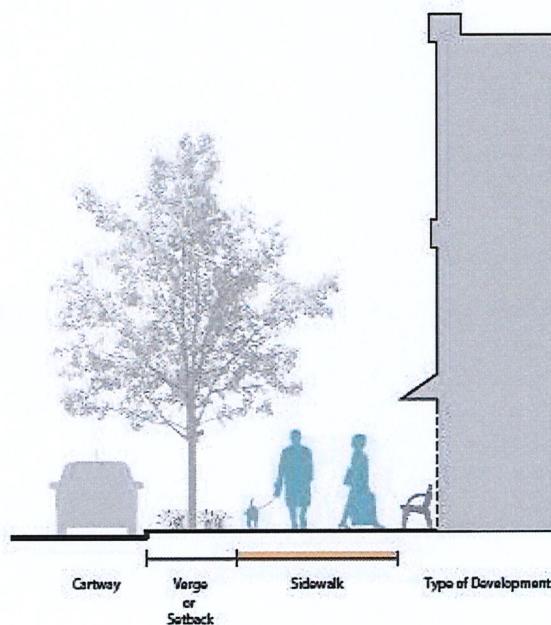
Age of Driver



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# Walkability Best Practices

- Sidewalk width
- Buffer or verge
- Street trees
- Street furniture
- Crosswalks
- Driveways
- Friendly/unfriendly intersection components
- Block length/mid-block crossings



TYPE OF DEVELOPMENT	VERGE WIDTH	SIDEWALK WIDTH
CENTRAL BUSINESS DISTRICT SIDEWALKS	5'	8'
COMMERCIAL, OFFICE, AND INDUSTRIAL SIDEWALKS OUTSIDE OF CENTRAL BUSINESS DISTRICT	5'-8"	5'
RESIDENTIAL SIDEWALKS ALONG MAJOR STREETS	5'-8"	5'
RESIDENTIAL SIDEWALKS ON LOCAL STREETS WITH MORE THAN 4 HOMES PER ACRE	2'	5'
RESIDENTIAL SIDEWALKS ON LOCAL STREETS WITH 4 HOMES PER ACRE OR LESS	2'	4'-5"

# Walkability Best Practices

- Sidewalk width
- Buffer or verge
- Street trees
- Street furniture
- Crosswalks
- Driveways
- Friendly/unfriendly intersection components
- Block length/mid-block crossings

**Street Furniture.** Street furniture is important for the convenience and comfort of pedestrians. In pedestrian-oriented commercial areas, bike racks, benches, and waste disposal bins should be required to be placed every 250-400 feet. In other areas, street furniture should be provided in intervals as needed.

**Lighting.** Pedestrian-scale, full cut-off lighting should be installed in residential and commercial areas. Lighting fixtures should be no more than 12 feet in height.



Wide sidewalk with benches, bike racks, and street trees in front of grocery store and multifamily buildings.

## Crosswalk Design Standards

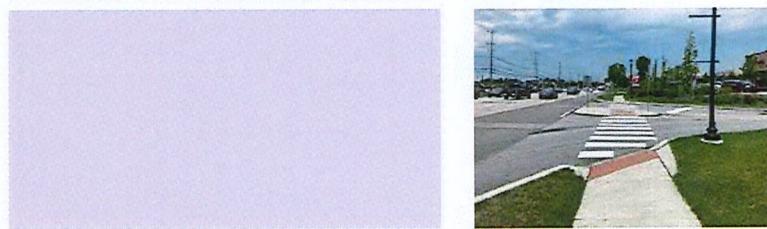
Crosswalks are an important link in the network, particularly in traffic-heavy areas like Willow Grove. Drivers are more likely to stop at highly-visible crosswalks. Crosswalks should be highly-visible and have good sight distance for vehicles approaching the crosswalk. Crosswalks should be well lit by street lights and have signage or flashing lights to alert drivers of the upcoming crosswalk. Crosswalks can be enhanced with curb bump-outs (AKA bulb outs or curb extensions), medians, or refuge islands to shorten the crossing distance and can be implemented as part of a larger traffic calming project.



Crosswalk across long driveway, Media, PA. While there is not a lot of separation between the travel lanes or the parked cars, the painted crosswalk does define the pedestrian space.



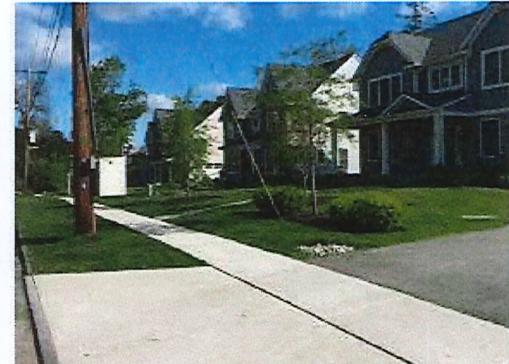
Crosswalk across driveway; separation between sidewalk and parked cars (Wynnewood, Lower Merion)



Crosswalk across driveway (Hershey)

# Walkability Best Practices

- Sidewalk width
- Buffer or verge
- Street trees
- Street furniture
- Crosswalks
- Driveways
- Friendly/unfriendly intersection components
- Block length/mid-block crossings



# Recent Developments in Willow Gove

The recent developments show us how development can be an opportunity to make significant walkability improvements, and it also shows us what improvements should be strengthened through code revisions.

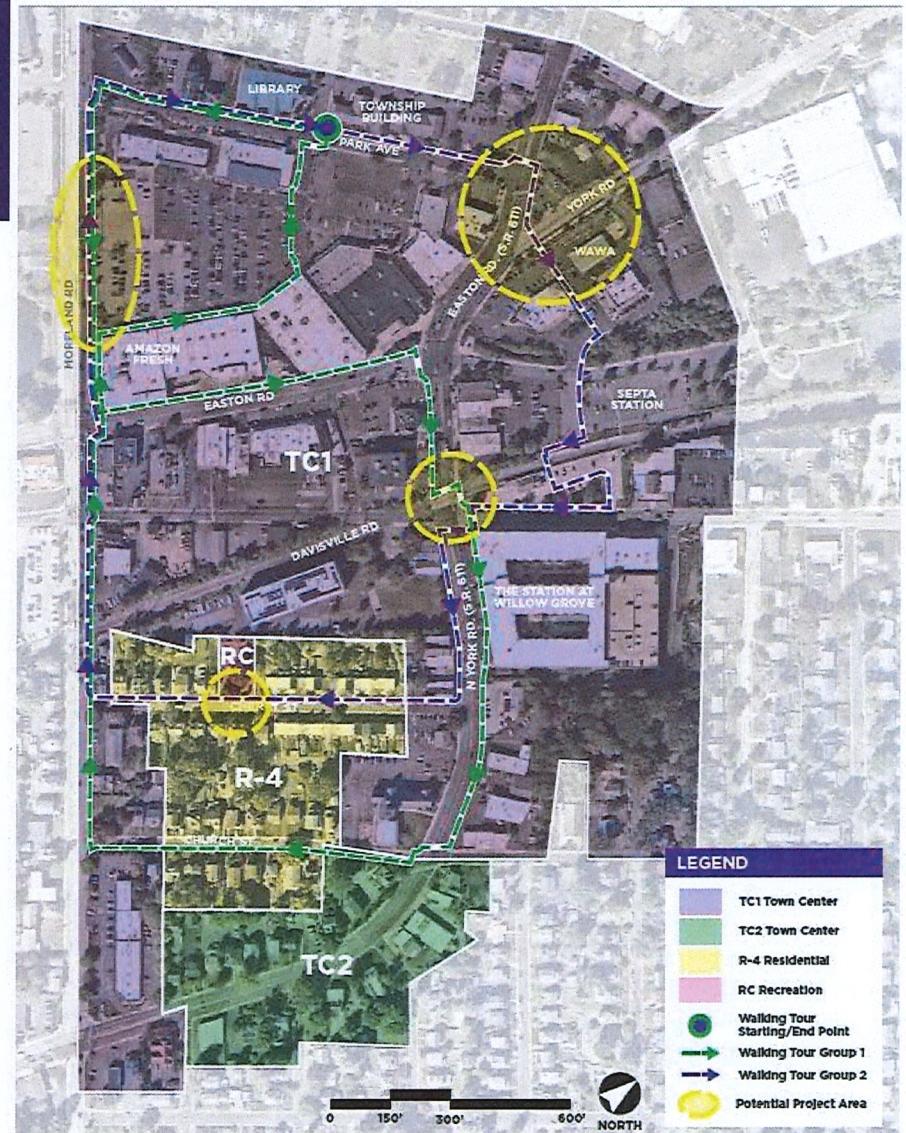


# Walk Audit Notes

*Key Takeaway: Walkability is possible, but feels unsafe in high-traffic areas*

## General Themes

- Narrow sidewalks, very little separation between cars and sidewalk
- Narrow verges, or missing entirely
- Sidewalk continuation across driveways
- Few street trees
- Limited lighting (especially pedestrian-scaled)
- Missing crosswalks, ADA ramps oriented incorrectly
- Obstacles in the sidewalk
- Traffic calming on residential streets
- Screening for loading areas/backs of buildings
- Massive expanses of parking lots
- Poor pedestrian access to Willow Grove Mall



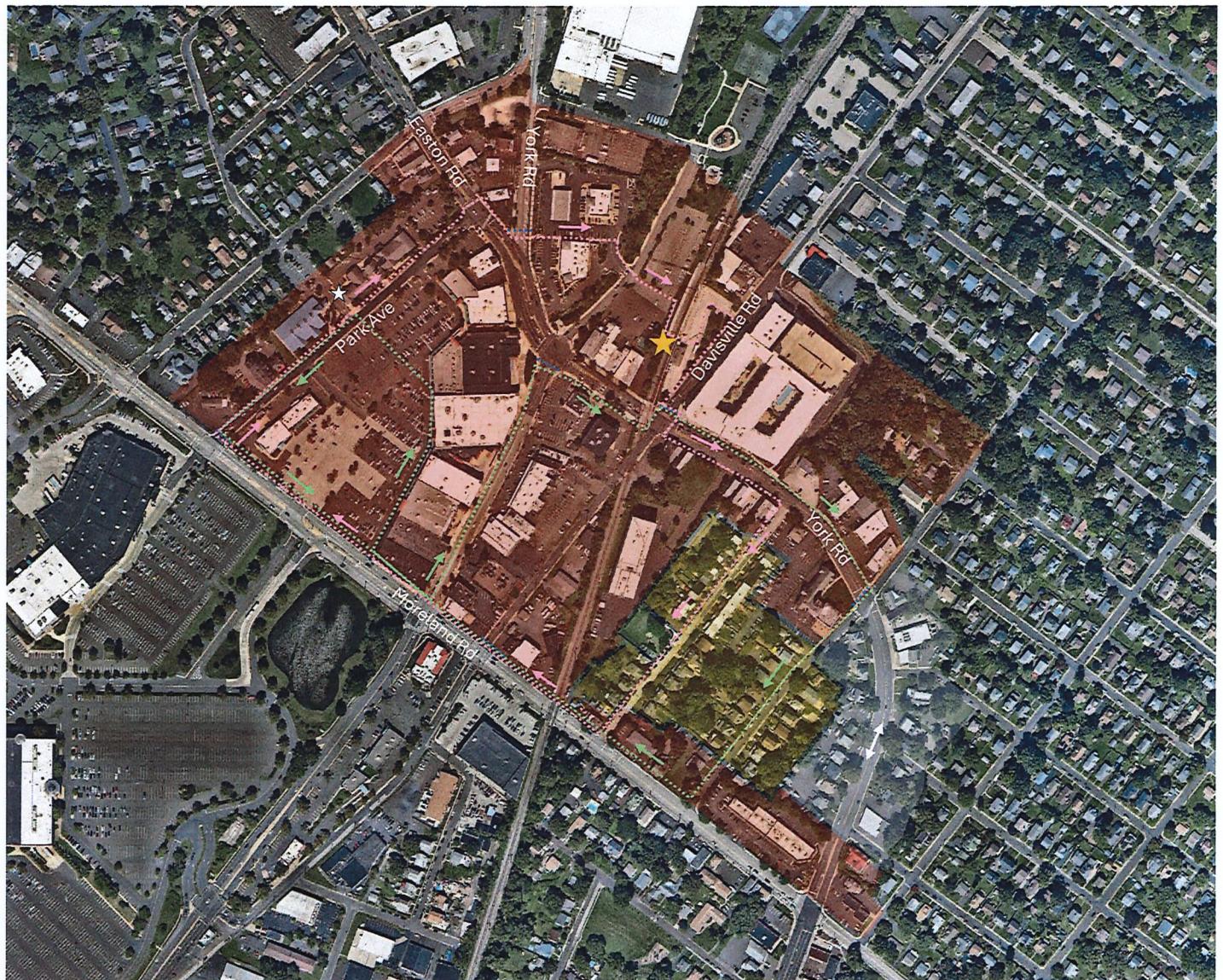
## Walk Audit Route

Start/End at the Township Building

*Group 1 Route*  
Approximately  
1.4 miles, 33 minutes

*Group 2 Route*  
Approximately  
1 mile, 30 minutes

- Group 1 Route
- Group 2 Route
- Street Crossing
- TC 1 Town Center
- TC 2 Town Center
- R-4 Residential
- RC Recreation Conservation
- SEPTA RR Station
- Township Building



**Easton Rd (north) and York Rd (west)**

- No crossing at York (desire path)
- Crossing at railroad tracks
- No crossing on the south side of Davisville



**Park Ave, Moreland Rd (west), and Easton Rd**

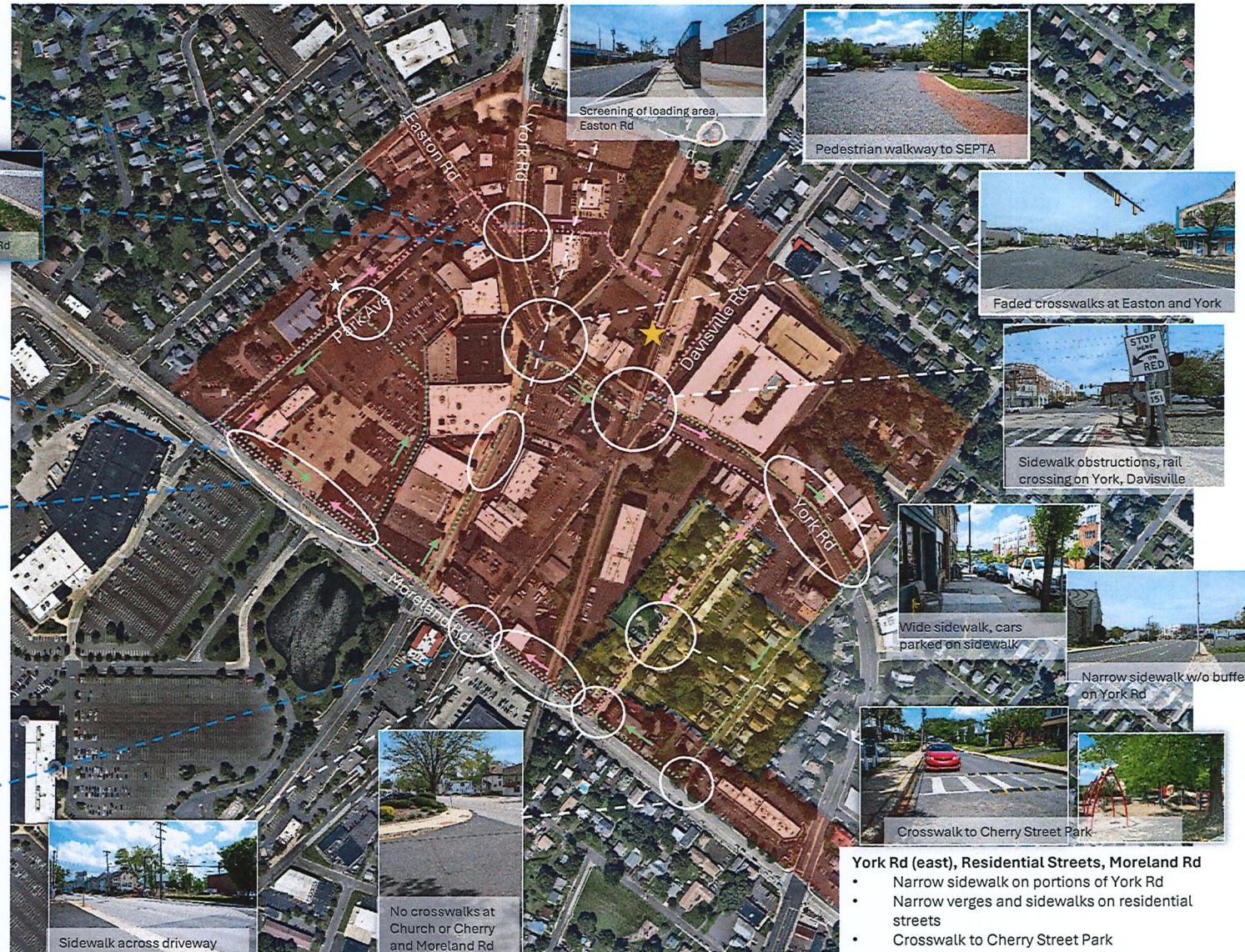
- Narrow sidewalks
- Sidewalk steep drop-off along Moreland
- Loading areas need better screening
- Poor pedestrian-scaled



**Residential Streets & Moreland Rd (east)**

**Key Notes:**

- Sidewalk slope across driveways at Sherwin Williams
- Massive expanses of parking lots
- Few street trees with no landscaping
- Poor pedestrian access to Willow Grove Mall
- Crosswalk on residential streets and Moreland



**York Rd (east), Residential Streets, Moreland Rd**

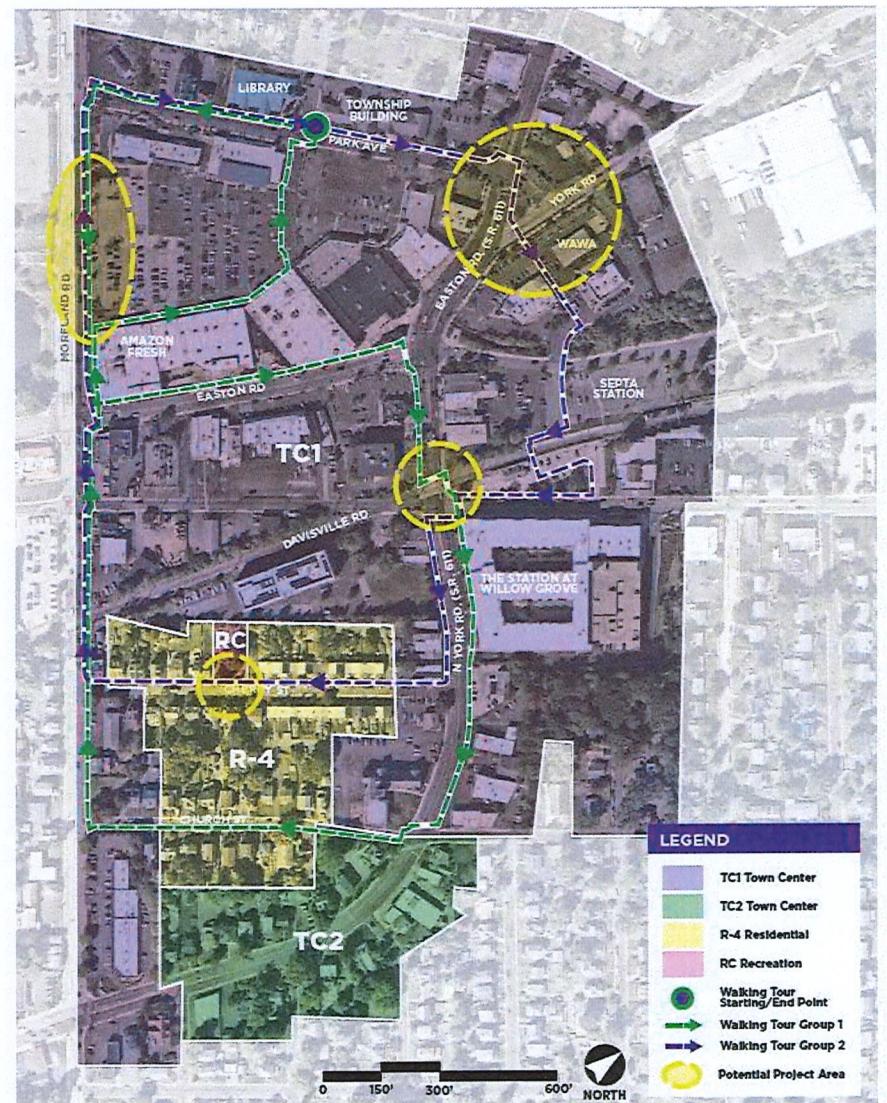
- Narrow sidewalk on portions of York Rd
- Narrow verges and sidewalks on residential streets
- Crosswalk to Cherry Street Park

# Analysis & Recommendations

## Summary of Findings

- **Sidewalk Width and Condition.** The sidewalks on commercial and residential streets are very narrow and there are many obstacles in the sidewalk, further narrowing the space for walking or rolling.
- **Verge Width.** On commercial and residential streets, the verge (buffer) is narrow or missing entirely, resulting in little separation between cars and sidewalk.
- **Crosswalk Condition.** There are missing crosswalks, crosswalks that are faded
- **Driveway Entrances.** Sidewalks across driveways are sloped and not clearly delineated.
- **ADA Ramps.** In many locations, ADA ramps are not orientated correctly
- **Street Trees.** There are few street trees.
- **Screening.** The backs of buildings (loading and trash areas) are not well-screened from the street
- **Lighting.** There is limited lighting, especially at pedestrian-scale, making the area dark at night.

Walk Audit Route



# Analysis & Recommendations

## Categories of Recommendations:

1. General issues to be addressed through SALDO
2. Potential projects that could be pursued through grant funding

**Sidewalks.** Many sections of sidewalks do not accommodate pedestrians very well and main corridors had narrow sidewalks and little separation between fast moving traffic. Several residential streets had sidewalks in poor condition as well; some of these issues must be addressed by property owners, which will require code enforcement involvement.

The Town Center District has requirements for pedestrian-scaled lighting, but pedestrian-scaled lighting should be provided along all sidewalks in commercial areas and along busy corridors to improve nighttime visibility and safety.

Sidewalks throughout Willow Grove are in many cases below the minimum width for best practice, and obstacles also shrink the usable area of sidewalks. In most cases, narrow sidewalks should be widened to the new standard as part of the subdivision and land development process. Obstacles in the sidewalk should be removed in as many locations as possible and, where they are immovable, the sidewalk should be expanded to accommodate them. This can be done during land development and in coordination with the property owner.



The sidewalk on York Road is narrow, with little-to-no separation from the fast cars and is interrupted by driveways.



The narrow sidewalk along Moreland Road is narrowed further by obstructions - a fire hydrant, signs, utility poles - and parks carts in the adjacent lot that hang over the sidewalk.

**Residential Sidewalks.** Sidewalks on residential streets are required to be four feet-wide (per SALDO Section 300-18.B). Along the two residential streets that we walked, the sidewalk widths are variable. In some locations, the sidewalk is 3.5 feet, or four feet including the curb. In other locations, a verge is present between the sidewalk and the street, but it is too narrow to grow anything beyond a narrow strip of grass and could be a tripping hazard. A wider sidewalk would be better to accommodate multiple people walking, or people walking with stroller.



The sidewalk on Church Street slopes with driveways. The verge is planted with grass, but is too narrow to allow more plants to grow.

# Recommended Potential Projects

## Potential Project: Add Pedestrian Crossing at York Road

Easton Road (State Route 611) and York Road (State Route 263) merge into one roadway (N York Road/ Old York Road, SR 611) in Willow Grove. Northbound, where York Road splits from Easton Road, York Road is one-way for about one-quarter of a mile. At that Y-shaped intersection, there is no pedestrian crossing at York Road.

At that location, there is a bus stop for the Route 22 Bus and a pedestrian walkway that leads to the Wawa and other businesses, as well as the Regional Rail Station. The sidewalk on the east side of the street also connects to the Giant grocery store. Based on a clear desire path in the grass verge, people cross York Road at that location.

Recommendation. We suggest that this would be an appropriate location for a pedestrian crossing. Specifically, we recommend that the township requests a mid-block crossing with physical barriers and bump-outs. Both roads are state-owned, so coordination with PennDOT would be needed to understand what PennDOT plans for the location.

### Existing Conditions



Intersection of York Road and Easton Road, facing south.



A desire path indicates where people often walk over the grass when crossing York Road.



York and Easton crossing Aerial

### Examples



A mid-block crossing at Presidential Blvd., a busy road in Lower Merion Township, has a pedestrian refuge island and rapid flashing beacons for improved visibility.



Aerial of intersection where a two-way street intersects with a three-lane one-way street. The intersection is signalized and has a pedestrian refuge island that connects the three crosswalks of each of the three road segments.



## Potential Project: Improve Pedestrian Crossing at Train Tracks

The Warminster Line has two at-grade crossings in Willow Grove. The intersection of Easton, Davisville, and York is a three-legged intersection that requires pedestrians on the south side of York Road to cross three times to get to the other side of Davisville Road and the train tracks. Pedestrian circulation would be greatly improved with a pedestrian crossing on the south side of the intersection.

At the other crossing at Moreland Road, the track crossing is inadequate in terms of width and quality and there are many obstacles including utility and traffic light poles.

Recommendation. SEPTA coordination is needed to improve any crossing of the Regional Rail tracks. In addition to the track crossing area, other improvements are needed to improve the safety of these intersections. As development occurs, there are opportunities to fix the issues; otherwise, the township would have to pursue the issue in different locations on a case-by-case basis.

In areas along major streets, such as Moreland Road, the township could consider future projects to widen the sidewalk, move parking spots away from sidewalk, and add a green verge, among other improvements. Any project would require coordination with property owners and the utility companies.

### Existing Conditions



Sidewalk across tracks at York and Davisville



SEPTA Regional Rail tracks across Moreland Road.

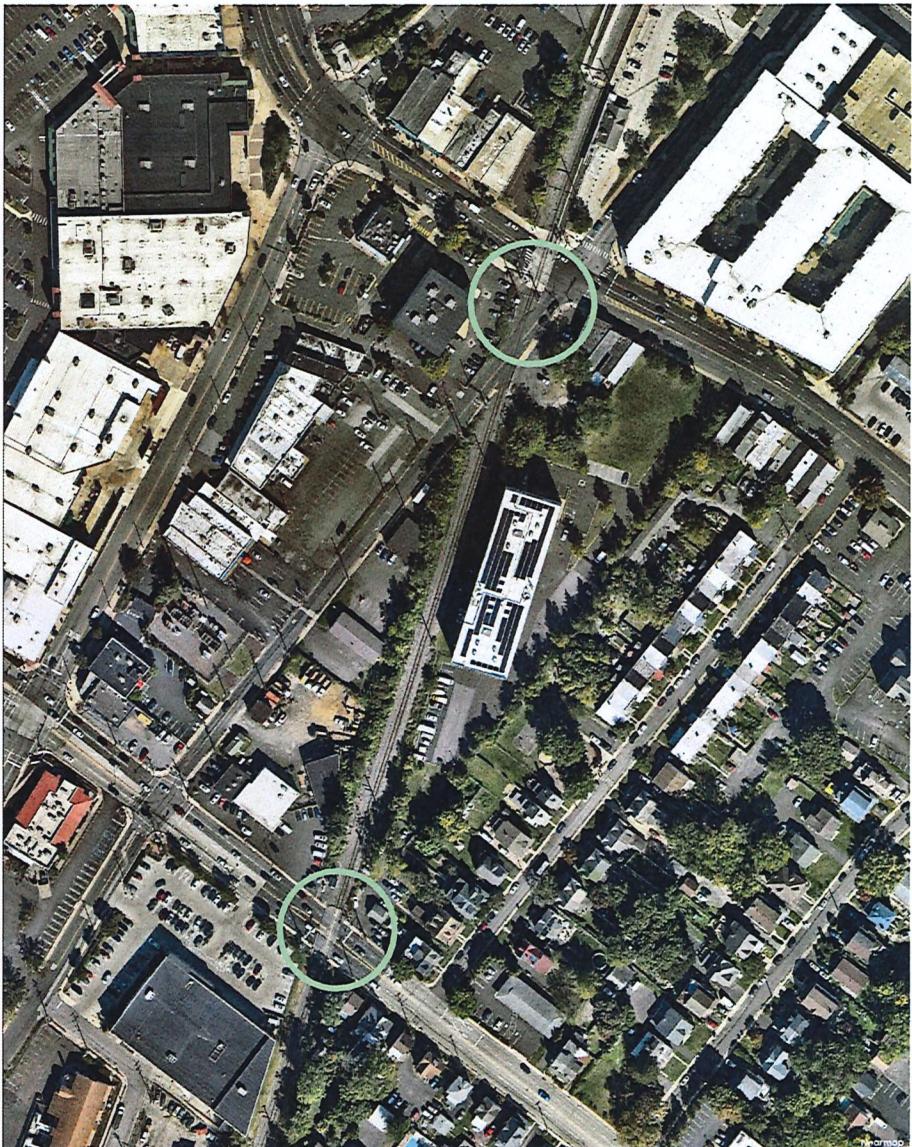


Existing obstacles in the sidewalk along Moreland Road at the SEPTA tracks crossing.

### Example



Lansdale Station pedestrian connections were improved with widened sidewalks, curb bump-outs, and highly visible crosswalks, including marked crossings across the train tracks.



## Potential Project: Improve Crosswalk to Cherry Street Park

The existing crosswalk to Cherry Street Park does not have an ADA-accessible curb-cut that would allow people using a wheelchair or walking with a stroller to easily cross the street. Additionally, based on aerial imagery, the crosswalk appears to be obstructed by parked cars at various times.

Recommendation. We recommend adding a raised crosswalk that would be ADA-accessible and that would also serve as a speedbump for cars on the residential street. This type of project would be a good candidate for grant funding, such as the Montco2040 implementation grant program.

### Existing Conditions



Crosswalks with speed bumps but not curb ramp across Cherry Street to the Cherry Street Park.

Cherry Street Park



Aerial image of Cherry Street; cars parked in crosswalk.

Source: Nearmap



Mid-block crossing on commercial street in Collegeville.



Pedestrian crossing to middle school in Hatfield



Raised crosswalk at trail in residential neighborhood.



## Potential Project: Coordinate with property owner to improve the parking lot and streetscape along Moreland Road

Along Moreland Road, the sidewalk at the Willow Grove Shopping Center drops steeply into that parking lot. The sidewalk along this stretch is narrow (four feet, including the curb), is blocked in portions by utility poles, and has no separation from the fast roadway.

A portion of this parking lot was improved with the construction of the new building and reconfiguration of the driveway onto Park Avenue. However, a large portion of the parking lot remains unchanged and in need of more greenery and better pedestrian infrastructure. On site plans submitted for the Willow Grove Shopping Center redevelopment, the sidewalk along Moreland Road is shown on site plans as four-foot-wide PECO easement.

Recommendation: We recommend redesigning the parking lot and streetscape along Moreland Road to handle the grade change from the street to the parking lot, add greenery and improved stormwater management to the parking lot, and update the streetscape to be consistent with the Willow Grove Shopping Center redevelopment, including wide sidewalks, street trees, landscaping, pedestrian-scaled lighting, among other treatments. Because of the proposal to redevelop the property, further coordination with the property owner would be needed to negotiate how the parking and streetscape improvements along Moreland Road could be done as part of the redevelopment.

### Existing Conditions



Paved drop-off from sidewalk to parking lot; narrow sidewalks.

Little space for a comfortable sidewalk between parked cars and moving cars, and no shade.

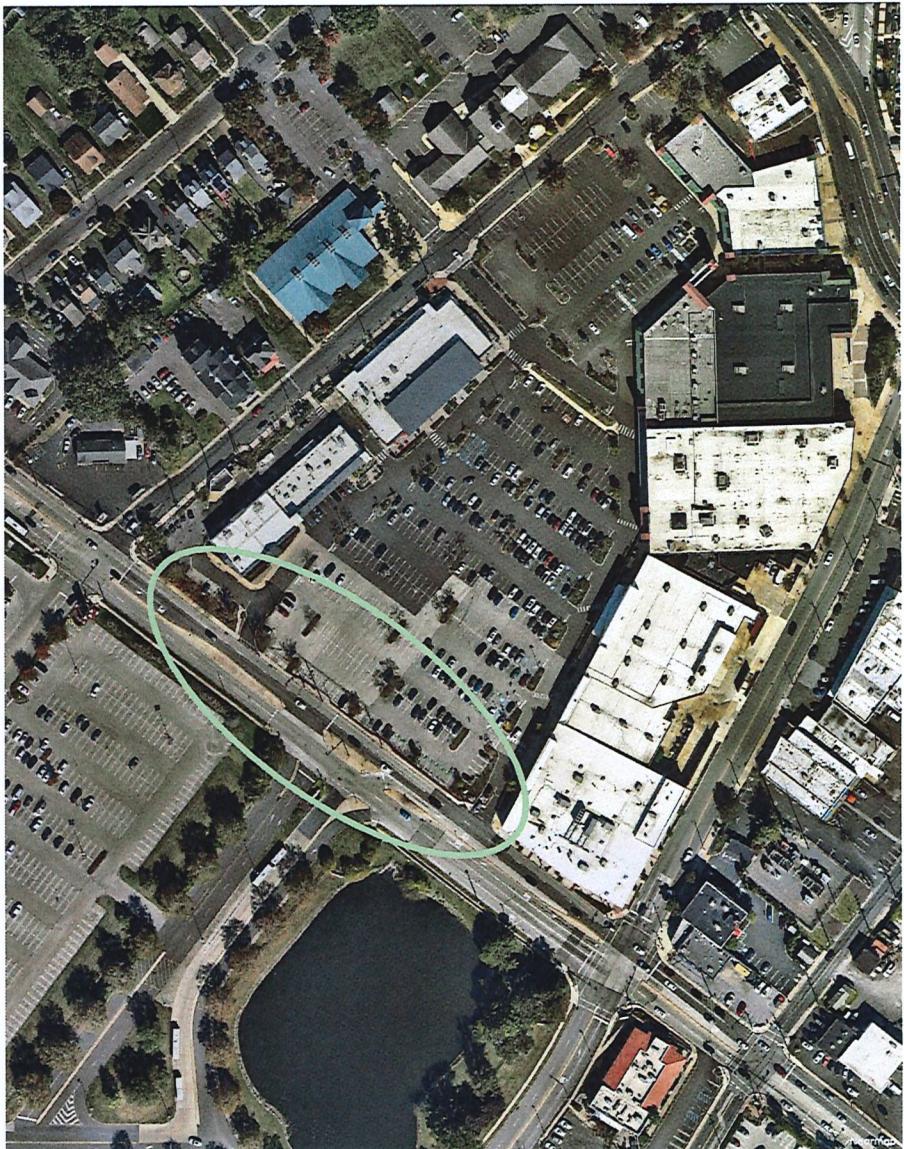
### Examples



The sidewalk along Easton and York Roads in front of the Wawa is slightly higher than the parking lot, and is separated by a sloping landscaped area.

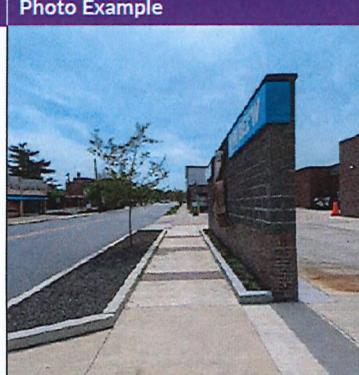
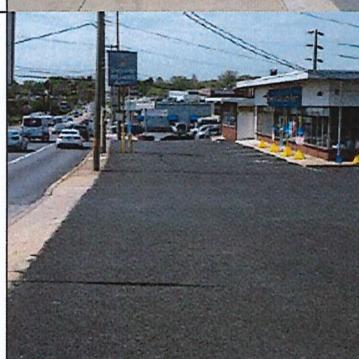
Parts of the Willow Grove Shopping Center are also below the level of the sidewalk and are sloped toward the building and parking lot.

A large portion of the shopping center has been redeveloped, with the addition of a new building, landscaping, and redesign of pedestrian connections through the parking lot.



# Table of Recommendations (4 slides)

Issue Identified	Photo Example	Recommendation (Project or SALDO)	Timeframe	Partners
Narrow sidewalks and narrow verge/buffer between sidewalk and travel lane		<p>Recommendation: Review and update SALDO Section 300-18 to address sidewalk width and separation between sidewalk and travel lanes.</p> <p>Recommendation: Work with MCPC to consider the appropriate sidewalk width and verge width for residential streets.</p> <p>Recommendation: When development or project opportunities arise, work with property owners and utilities to widen sidewalk, move parking spots away from sidewalk, add verge, etc.</p>	short	Property owners, PennDOT, MCPC
Obstacles in sidewalk		<p>Recommendation: Obstacles in the sidewalk should be removed in as many locations as possible and, where they are immovable, the sidewalk should be expanded to accommodate them.</p> <p>Recommendation: Work with utility companies to identify utility poles that impede pedestrian traffic and identify mitigation</p> <p>Recommendation: Work with property owners to identify strategies to prevent cars from hanging over sidewalks, such as adding bumper stops or landscaping to move parking spots away from the sidewalk.</p>	Ongoing	PennDOT, utility companies, property owners
Missing crosswalks, Sidewalk slope, across driveways, ADA ramp orientation		<p>Recommendation: Review and update sidewalk and crosswalk standards in Article IV Design Standards of the SALDO to integrate best practices for sidewalk width in commercial areas and residential areas.</p>	Short-ongoing	Property owners

Issue Identified	Photo Example	Recommendation (Project or SALDO)	Timeframe	Partners
Poor lighting, few pedestrian-scaled lights		Recommendation: Review and update SALDO Article IV Design Standards Section 300-29 to address pedestrian-scaled lighting in commercial areas.	Short	Utility companies
Expansive parking lots		Recommendation: Review and update SALDO Article V Landscape Regulations to address parking lot landscaping standards, including the planting requirements provided in Table 1. Specifically, Table 1 should be reviewed for consistency with new zoning districts and updated to align with the current landscaping best practices.	Short	Property owners, utility companies
Insufficiently screened loading and trash storage areas		Recommendation: Review and update the screening requirements for trash and loading areas, particularly for properties with frontages along two streets. Recommendation: Coordinate with property owners on improvements to the loading and trash area screens.	Short	Property owners

Issue Identified	Photo Example	Recommendation (Project or SALDO)	Timeframe	Partners
Few street trees with no landscaping		Recommendation: Review and update SALDO Article V Landscape Regulations Section 300-43.A Street Tree Requirements to evaluate the street tree location, spacing, and species requirements.	Short	
Crosswalk to Cherry Street Park (potential project)		Recommendation: Improve crosswalk to Cherry Street Park. (See Page __ for the full project description and photos)	Medium	UMT Parks and Recreation Property owners
Sidewalk steep drop-off along Moreland (potential project)		Recommendation: Coordinate with property owners to improve the parking lot and streetscape along Moreland Road. (See Page __ for the full project description and photos)	Medium	PennDOT, utility companies, property owners

Issue Identified	Photo Example	Recommendation (Project or SALDO)	Timeframe	Partners
Crosswalk on residential streets and Moreland		Recommendation: Install highly visible crosswalks at residential streets where they intersect with major roads (such as Cherry Street and Moreland Road).	Medium-long	PennDOT
Dangerous intersection at York Road and Easton Road (potential project)		Project Description: Request through PennDOT a mid-block crossing with physical barriers and bump-outs. Additional study of the area will be needed. (See Page __ for the full project description and photos)	Long	PennDOT, Property owners
Dangerous crossing at railroad tracks (potential project)		Project Description: Improve the sidewalk and pedestrian crossing at the train tracks and surrounding area. (See Page __ for the full project description and photos)	Long	PennDOT, SEPTA

# What's Next?

- Complete and review the walk audit report recommendations
- Use the recommendations to guide future Subdivision and Land Development Ordinance update



**Upper Moreland Township**

117 Park Ave, Willow Grove, PA 19090

**UPPER MORELAND TOWNSHIP  
Community Development Committee  
October 20, 2025 - Meeting Minutes**

**Community Development Committee Members** - Commissioner and Committee Chair Demond Mullen, Commissioner and Board President Kip McFatridge, and Commissioner Nicholas Scull. Township Staff Committee Members: Paul E. Purtell, Director of Code Enforcement and David Elsier, Director of Public Works.

- I. **Call to Order** - The meeting was called to order by Commissioner and Committee Chair Mullen.
- II. **Roll Call:** Commissioner and Committee Chair Mullen, Commissioners McFatridge and Scull, Mr. Elsier, and Mr. Purtell. Also present: James Hersh, Gilmore & Associates, Patrick T. Stasio, Township Manager, and Sean Kilkenny, Township Solicitor.
- III. **Announcements/Presentations** – Nothing to report.
- IV. **Public Comments – Non-Agenda Items Only** – Nothing to report.
- V. **Approval of Minutes** – September 22, 2025:  
The Committee unanimously approved the minutes.
- VI. **Land Development/Subdivision:**
  - A. Subdivision Application for the property located at 2400 Pioneer Road:
    - Jason Korczak, Sr. P.E. at Holmes Cunningham, LLC, discussed details of waivers for the sidewalk, streetlight, cartway width and right-of-way width.
    - Commissioner Lockard commented concern about the waiver for sidewalks.
    - Mr. Purtell stated that there is no floodplain in front of the existing house or the two proposed lots. Proposed sidewalks going in the direction of Davisville Road are not in the floodplain.
    - The property owner commented an understanding for including the proposed sidewalk.
    - Mr. Korczak commented concerns about moving the crosswalk closer to the houses, the utility pole, and a vertical technical infeasibility along the steep embankment.
    - Commissioner Mullen commented favor for sidewalks on lots two and three.
    - The Committee recommends the Board of Commissioners approve with sidewalks at the November 10, 2025 Regular Meeting.
- VII. **New Business:**
  - A. Mill Creek Dam Repairs – Mr. Hersh discussed the following:
    - The Township-owned dam located along Mill Creek is made from gabion baskets and during recent inspection revealed areas of erosion. A quote received for repairs is above the bidding threshold, the Solicitor's office was consulted, the issue does not constitute an emergency and therefore, must go through a public bidding process. The anticipated cost is \$125,000, all-inclusive and grant funding is not available. There is an area located beneath the Turnpike where water flows and the dam controls water during extreme rain events and protects houses in areas downstream of the PennDOT culvert.
    - The Committee recommends the Board of Commissioners approve at the November 10, 2025 Regular Meeting.
- VIII. **Old Business** – Nothing to report.
- IX. **Redevelopment** – Nothing to report.

**UPPER MORELAND TOWNSHIP  
Community Development Committee  
October 20, 2025 - Meeting Minutes**

**X. Acceptance and Approval of the following monthly reports:**

- A. Code Enforcement Department Report – Nothing further to add to the report.
- B. Public Works Department Report and Recycling Report – Nothing further to add to the report.
- C. Township Engineer and Landscape Architect Reports – Nothing further to add to the report.
- D. Traffic Engineer's Report – Mr. Hersh added the following:
  - Updates to the Upper Moreland Police Station renovation project include a National Pollutant Discharge Elimination System permit that was submitted to Montgomery County Conservation District and Land Development Plans were provided to Mr. Purtell for review and approval by Montgomery County Planning Commission.
- E. Environmental Advisory Council (EAC) – Dr. Lynnette Saunders, Chair, discussed:
  - Participated in the October 4<sup>th</sup> event at Farmstead Park.
  - Invasive plants were removed from Pileggi Park on October 9<sup>th</sup>.
  - Invasive plants were removed from the Dog Park today, October 20<sup>th</sup>.
  - Discussed a request for a meadowing ordinance, which contains specific criteria.
- F. Upper Moreland Historical Commission – Udo Maron, Vice-President, in the absence of Dr. Sue Worth-LaManna, Chair, discussed the following:
  - Asked about the status of PECO telephone pole project. Mr. Stasio stated that information about the work can be found on the Township's website NewsFlash, and letters were sent to all neighbors in the area. Mr. Stasio will check and provide a follow up.
  - Historical Haunts event will be held at Farmstead Park on Saturday, October 25<sup>th</sup> with activities and food.
  - Pictures of homes from the Revolutionary War period to be posted as a virtual self-tour.
  - Requesting permission for a 2026 event where youngsters can paint the Ehrenpfort Building with the theme, "What does America mean to me?".
  - Fountain House historical marker will be ready for installation by the Public Works Department.
  - Replacement of historical banners to be performed by the Public Works Department.

**XI. Visitor Comments** – Nothing to report.

**XII. Other Items** – Nothing to report.

**XIII. Commissioner Comments:**

- Commissioner McFatridge announced that Roger Myers from the VFW has died. He was a volunteer and coordinated many community events that included parades and Parks and Recreation events.

**XVI. Adjournment** - There being no further business to discuss, the meeting was adjourned at 8:00 p.m.

Respectfully submitted by Kathleen Kristire.

# TOWNSHIP OF UPPER MORELAND

*Montgomery County, Pennsylvania*

117 Park Avenue, Willow Grove, PA 19090-3215  
Telephone (215) 659-3100 / Fax (215) 659-7363

## COMMISSIONERS

KIP McFATRIDGE  
*President*  
CHERYL LOCKARD  
*Vice President*  
JARED JACOBS  
DEMOND MULLEN  
BENJAMIN W. OLSZEWSKI  
NICHOLAS O. SCULL  
CHARLES M. WHITING



## OFFICIALS

PATRICK T. STASIO  
*Township Manager*  
JOHN D. BATES  
*Assistant Township Manager/  
Director of Finance*  
ALEX H. LEVY  
*Township Treasurer*  
SEAN P. KILKENNY, ESQ.  
*Township Solicitor*

## Agenda Summary

### Community Development Committee Meeting – November 24, 2025

<b>Agenda Item:</b>	<b>117 Park Avenue Township Land Development Application</b>
<b>Prepared By:</b>	Paul Purtell, Director of Code Enforcement
<b>Attachments:</b>	Land Development application and Draft Resolution
<b>Background/Analysis:</b>	Upper Moreland Township is proposing alterations to the existing municipal building and complex. Improvements will include interior alterations, building expansion to both the administration and police department, reconfiguration of the parking areas, new stormwater management facilities and other site improvements for safety and building access.
<b>Fiscal Impact/Source:</b>	N/A
<b>Alternatives:</b>	N/A
<b>Staff Recommendation:</b>	The Committee recommends the Board of Commissioners approve at the December 1, 2025 Regular Meeting.

Upper Moreland Township  
APPLICATION FOR APPROVAL OF PLAN

RECEIVED  
OCT 21 2025

UPPER MORELAND  
CODE ENFORCEMENT

Submission date: 10/21/25 Application number \_\_\_\_\_

To the Board of Commissioners of Upper Moreland Township:

The undersigned hereby makes application for approval of a plan type as indicated below, under the provisions of the Code of Upper Moreland Township, Chapter 300, *Subdivision and Land Development*, and any supplements and amendments thereto.

Furthermore, the applicant hereby waives the requirement under Act 247, as amended, that the Subdivision and/or Land Development plan be acted upon within ninety (90) days from date of submission.

(KAB)  
Signature of Applicant

(RAB)  
Signature of Land Owner

Title of Plan Submitted: Upper Moreland Twp LD Plan

A. Plan Type:

Minor Subdivision  
 Preliminary Major Subdivision  
 Final Major Subdivision  
 Preliminary Major SD&LD

Minor Land Development - Preliminary / Final  
 Preliminary Major Land Development  
 Final Major Land Development  
 Final Major SD&LD

B. Plan Identification

Plan Dated: 8/29/25 Engineer: Gilmore & Assoc.

Plan Proposes: Brief narrative of the proposed activity. Commercial/Industrial/Institutional applications to include building square footage and specific uses; Residential applications to include number of lots and amount of dwelling unit types:

Renovations & additions to Upper Moreland Twp. municipal complex

C. Property Identification:

Address/Location 117 Park Ave, WG, Pa. 19090

(Continued on next page)

TPN: 59-00-14053-00-9 Block #: \_\_\_\_\_ Unit #: \_\_\_\_\_

D. Applicant Identification:

Applicant: Pat Stasio - UMT Manager

Address: 117 Park Ave, WGS, PA. 19090

Phone: 267-607-1056 Email (required): pstasio@uppermontgomery.org

Land Owner: Upper Maryland Twp

Address: —

Phone: — Email (required): —

Engineer: Jim Hersh - Gilmore & Assoc.

Address: 401 Plymouth Rd., Ste 150, Plymouth Meeting, PA.

Phone: 267-337-7170 Email (required): j.hersh@gilmore-assoc.com

Attorney: —

Address: —

Phone: — Email (required): —

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Office Use Only

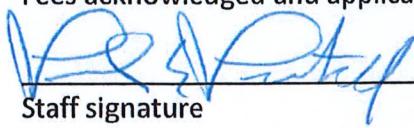
Fees received from applicant:

Application fee: —

Review Escrow: —

Total: —

Fees acknowledged and application accepted as complete:



Staff signature

10/21/25

Date



Upper Moreland  
Township  
117 Park Avenue  
Willow Grove, PA  
19090

## Land Development

LD25-0037

Date Printed: 10/21/2025

### Summary

Type: Land Development

Submittal Date: 10/21/2025

#### Description of Work:

Upper Moreland Township and Police Building Renovations

#### Applicant/Mail to:

Upper Moreland Township  
117 Park Ave  
Willow Grove, PA 19090

### Property Information

Address:	117 Park Ave , (590014053018)	Tax ID:	590014053018
Owner:	Upper Moreland Township	Phone:	

#### Fee Details

Payment Information	Payment Type	Amount
	AMOUNT PAID	\$0.00
	BALANCE DUE	\$0.00

### Additional Information

Decision Date:

Decision Description:

Hearing Date:

Hearing Time:

Public Hearing No:

## Planning Commission 247 Submission Portal

[Municipal 247 Submission Portal Instructions](#)

Welcome Elda Maggeo Upper Moreland emaggeo@uppermoreland.org

Scott France, AICP  
Executive Director[New Proposal](#)[Proposals in Progress](#)[Submitted Proposals](#)**Proposal Entry**[Proposal](#)[Plan](#)[Parcel](#)[Land Use](#)[Upload Documents](#)[Remarks](#)[Review / Payment](#)**Confirmation of Submission**

Montgomery County Planning Commission has received the proposal. Please record the following information for future reference.

**General Information****Proposal Number:** 108001**Applicant:** Upper Moreland Township**Proposal Name:** Upper Moreland Township and Police Building Renovations[Home](#)

P.O. Box 311, Norristown, PA 19404-0311 610-278-3722

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**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

October 10, 2025

File No. 23-02039.01

Upper Moreland Township Board of Commissioners  
117 Park Avenue  
Willow Grove, PA 19090

Reference:      Upper Moreland Township and Police Building Renovations  
                    Land Development Waiver Requests

Dear Commissioners:

In consideration of the Upper Moreland Township and Police Building Renovations project, please see below a list of requested waivers from the Stormwater Management Ordinance (Chapter 287) and the Subdivision and Land Development Ordinance (Chapter 300):

1. 287-23.A(2)(b) – Requires that one hundred percent of existing impervious area, when present, be considered meadow in the model for existing conditions. The proposed project is designed to meet the NPDES requirement to model 20% of the existing impervious area as meadow.
2. 287-25.A – Requires peak rate reductions in accordance with Table 287-25.1. The site currently contains no conventional stormwater management best management practices (BMPs), but the proposed project is designed to meet the NPDES requirement to show no increase in peak rates from existing conditions. Peak rates will be reduced in all storm events, and by approximately 40% in the 1-year storm event. They will be reduced by a minimum of 10% through the 50-year storm event, and by approximately 7% in the 100-year storm event.
3. 300-15.B – Requires that Park Avenue have a minimum cartway width of 30 feet. The development does not propose improvements along Park Avenue and will not result in an increase in traffic to Park Avenue. Additionally, this waiver was granted for the Willow Grove Shopping Center Retail Building project, where additional widening was deemed unnecessary by the Commissioners.
4. 300-19.A(7) – Requires an 8-inch reveal on all curbing in accordance with the specifications set forth in Chapter 295 Article 1. The proposed project proposes a 6-inch reveal on curbing to aid in handicap and pedestrian accessibility throughout the site.
5. 300-43.D(1)(d) - A minimum of one shade tree shall be planted in each parking lot island. A shade tree cannot be planted in three of the islands located in the parking lot between the Township Building and Center Avenue due to the incorporation of sidewalks and accessible ramps for increased pedestrian connectivity and accessibility to the through the site. Shade trees are provided along the perimeter of the parking lot in this area to provide shade.
6. 300-45.A & 300-45.B – These sections require replacement trees be planted on-site to offset the removal of existing trees and Heritage Trees removed during construction. The landscape plan proposes 9 replacement trees where 22 are required by Ordinance for trees 8 inches to 23 inches in caliper. Available planting area on site is the primary constraint reducing the ability to comply with the Ordinance. The Township may consider planting trees in open space or park areas in other parts of the Township to make up the Ordinance deficiency on this site.
7. 300-50.B – Requires a preliminary plan for all subdivisions in the Township. We request that the application be considered by the Commissioners as joint Preliminary/Final.
8. 300-52.C(1) – Requires that all Land Development plans show detailed survey information for an area of 400 feet surrounding the project. Sufficient detail is shown on the plans for the proposed improvements and if additional off-site survey is required for utility tie ins, that information will be obtained as necessary.

As always, if you have any questions or require additional information, please do not hesitate to contact our office.

Sincerely,

James J. Hersh, P.E.  
Vice President  
Gilmore & Associates, Inc.

401 Plymouth Road | Suite 150 | Plymouth Meeting, PA 19462-1653 | Phone: 610-489-4949 | Fax: 610-489-8447

**UPPER MORELAND TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA**

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION GRANTING PRELIMINARY/FINAL LAND DEVELOPMENT APPROVAL WITH CONDITIONS TO UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA FOR EXPANSION AND UPDATES TO THE MUNICIPAL COMPLEX ON THE PARCEL LOCATED AT 117 PARK AVENUE, WILLOW GROVE, UPPER MORELAND TOWNSHIP.**

**WHEREAS**, Upper Moreland Township, Montgomery County, Pennsylvania (“Applicant” or “Township”) filed an application with Upper Moreland Township requesting approval with certain waivers (the “Land Development Application”) to expand and update the Township Municipal Complex property located at 117 Park Avenue, Willow Grove, PA (the “Project); and

**WHEREAS**, the Applicant has submitted the following in support of the Land Development Application: “Land Development Plan for Upper Moreland Township-Renovations and Additions for Township Building and Police Building”, prepared by Gilmore & Associates, Inc., dated August 29, 2025, last revised October 10, 2025, consisting of Sheets 1 to 16 of 16 (the “Plans”). The Plans are attached hereto as **Exhibit “A”** and incorporated herein by reference; and

**WHEREAS**, the Applicant is the title holder of record to ten (10) parcels of land located at Center Avenue and Park Avenue in the Township which are collectively referred to as the Township Municipal Complex which consists of the Upper Moreland Township Library, Administration Building, Police Department, parking areas and open space (the “Municipal Complex” or “Property”); and

**WHEREAS**, the parcels of land comprising the Municipal Complex are further identified as Montgomery County, Pennsylvania Tax Parcel Numbers: 59-00-14047-00-6 (17 Park Avenue), 59-00-14050-00-3 (27 Park Avenue), 59-00-14053-00-9 (119 Park Avenue), 59-00-02773-00-3 (30 Center Avenue), 59-00-02776-00-9 (100 Center Avenue), 59-00-02779-00-6 (102 Center Avenue), 59-00-02782-00-3 (104 Center Avenue), 59-00-02785-00-9 (114 Center Avenue), 59-00-02788-00-6 (116 Center Avenue) and 59-00-02791-00-3 (118 Center Avenue); which were previously split zoned with the majority located in the R-4 Residential Zoning District and the remainder located in the INST-Institutional and TC-1 Town Center Zoning Districts; and

**WHEREAS**, the Upper Moreland Township Board of Commissioners on June 5, 2023, via Upper Moreland Township Ordinance No. 1742, adopted a zoning map change to re-zone all parcels of land comprising the Municipal Complex to the TC-1 Town Center Zoning District; and

**WHEREAS**, the Applicant proposes an expansion and updates to the Municipal Complex that would include an approximately 8,000 square foot addition to the Township administrative portion at the main and lower levels of the building and an approximately 6,000-square foot

addition to the police department at the main level. The proposed changes to the Municipal Complex would include a reconfiguration of public entrances, with accessible entrances on both the Cedar Avenue and Park Avenue sides of the building. Additional improvements include pedestrian connections to the municipal building from Center Avenue, accessible public entrances, and open space and trees around the municipal building and along the streets. The site will continue to be served by public water and sewer; and

**WHEREAS**, the Applicant has requested waivers from requirements set forth in Chapters 287 “Stormwater Management” and 300 “Subdivision and Land Development” of the Upper Moreland Township Code of Ordinances, more fully referenced in Paragraph 4 below; and

**WHEREAS**, the Township Engineer and Township Landscape Architect have submitted Applicant’s Preliminary/Final Land Development Plans and have requested certain waivers from Chapters 287 “Stormwater Management” and 300 “Subdivision and Land Development” of the Upper Moreland Township Code of Ordinances as set forth in the waiver request letter dated October 10, 2025; and

**WHEREAS**, The Township Traffic Engineer has reviewed Applicant’s Preliminary/Final Land Development Plans and has recommended their approval, subject to the conditions and comments set forth in the review letter dated November 13, 2025, attached hereto as **Exhibit “B”** and incorporated herein by reference; and

**WHEREAS**, The Montgomery County Planning Commission has reviewed Applicant’s Preliminary/Final Land Development Plans and has recommended their approval, subject to the comments set forth in the review letter dated November 7, 2025, attached hereto as **Exhibit “C”** and incorporated herein by reference; and

**WHEREAS**, The Township Advisory Planning Agency has reviewed Applicant’s Preliminary/Final Land Development Plans and has recommended their approval, as set forth in the minutes of the Agency dated November 20, 2025, attached hereto as **Exhibit “D”** and incorporated herein by reference; and

**WHEREAS**, based on Applicant’s presentation of the Project on November 24, 2025, the Upper Moreland Township Community Development Committee has recommended Conditional Preliminary/Final Approval of the Applicant’s Preliminary/Final Land Development Plans; and

**WHEREAS**, the Upper Moreland Township Board of Commissioners has determined that based on the testimony, and reviews of Township Consultants, Applicant has satisfactorily established that Conditional Preliminary/Final Land Development Approval will not be contrary to the public interest.

**NOW, THEREFORE, BE IT RESOLVED**, by the Upper Moreland Township Board of Commissioners that the Applicant’s Preliminary/Final Land Development Plans are hereby

granted Conditional Preliminary/Final Land Development Approval, subject to the satisfaction of the following conditions by the Applicant:

1. Except as modified herein, Applicant shall comply with all other applicable Township Ordinances, County, Commonwealth and Federal statutes, rules, and regulations, and obtain all applicable permits and approvals including but not limited to, obtaining the approval of the fire marshal, UMHJSA permit, Aqua of Pennsylvania permit, Montgomery County Conservation District permits, and PA DEP permits.

2. Applicant shall strictly comply with all applicable Americans with Disabilities Act accessibility standards as promulgated by the Department of Justice and the International Code Council, A117.1-2017, for the construction of accessible facilities, including, but not limited, to handicapped parking spaces on the Property.

3. Unless waived by the Board of Commissioners, the Applicant shall comply with all conditions and comments set forth in the Township's consultants review letters.

4. Further, the Board of Commissioners takes the following action as to the Applicant's request for waivers from the requirements of Chapter 287 "Stormwater Management" and Chapter 300 "Subdivision and Land Development" of the Upper Moreland Township Code of Ordinances:

A. §287-23.A(2)(b): From the requirement that one hundred percent of existing impervious area, when present, be considered meadow in the model for existing conditions. The proposed project is designed to meet the NPDES requirement to model 20% of the existing impervious area as meadow.

Granted       Denied

B. §287-25.A: From the requirement that peak rate reductions be calculated in accordance with Table 287-25.1. The site currently contains no conventional stormwater management best management practices, but the proposed project is designed to meet the NPDES requirement to show no increase in peak rates from existing conditions. Peak rates will be reduced in all storm events, and by approximately 40% in the 1-year storm event. The rates will also be reduced by a minimum of 10% through the 50-year storm event, and by approximately 7% in the 100-year storm event.

Granted       Denied

C. §300-15.B: From the requirement that Park Avenue have a minimum cartway width of 30 feet. The development does not propose improvements along Park Avenue and will not result in an increase in traffic to Park Avenue. This waiver would mirror the waiver granted to the Willow Grove Retail Building project

where additional widening of Park Avenue was deemed unnecessary by the Commissioners.

Granted       Denied

D. §300-19.A(7): From the requirement for an 8-inch reveal on all curbing in accordance with the specifications set forth in Chapter 295, Article I. The proposed project proposes a 6-inch reveal on curbing to aid in handicap and pedestrian accessibility throughout the site.

Granted       Denied

E. §300-43.D(1)(d): From the requirement that a minimum of one shade tree shall be planted in each parking island lot. A shade tree cannot be planted in three of the islands located in the parking lot between the Township building and Center Avenue due to the incorporation of sidewalks and accessible ramps for increased pedestrian connectivity and accessibility to the through site. Shade trees are provided along the perimeter of the parking lot in this area to provide shade.

Granted       Denied

F. §300-45.A & B: From the requirements of these sections that replacement trees be planted onsite to offset the removal of existing trees and Heritage Trees removed during construction. The landscape plan proposes 9 replacement trees where 22 are required by the SALDO for trees 8 inches to 23 inches in caliper. Available planting area onsite is the primary constraint reducing the ability to comply with the SALDO. The Township may consider planting trees in open space or park areas in other parts of the Township to make the deficiency on this site.

Granted       Denied

G. §300-50.B: From the requirement for a preliminary plan for all subdivisions in the Township. The Applicant requests that the application be considered by the Board of Commissioners as joint Preliminary/Final.

Granted       Denied

H. §300-52.C(1): From the requirement that all land development plans show detailed survey information for an area of 400 feet surrounding the project. Sufficient detail is shown on the plans for the proposed improvements and if additional off-site survey is required for utility tie-ins that information will be obtained as necessary.

Granted       Denied

5. Unless construction has begun in accordance with the Plans, this Resolution will expire in two years from the date of this Resolution, unless extended in writing by the Township.

6. This Conditional Preliminary/Final Land Development Approval does not and shall not authorize the construction of improvements or buildings exceeding those shown on the Plans. Furthermore, this Conditional Preliminary/Final Land Development Approval shall be rescinded automatically upon the Applicant's or the Applicant's agent's failure to accept, in writing, all conditions herein imposed within ten (10) days of receipt of this Resolution, such acceptance to be evidenced by the Applicant's or the Applicant's agent's signature below.

7. By approving this Resolution, the Applicant is signifying acceptance of the conditions contained herein.

**DULY PRESENTED AND ADOPTED** by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, in a public meeting held this 1st day of December, 2025.

**UPPER MORELAND TOWNSHIP  
BOARD OF COMMISSIONERS:**

ATTEST:

Patrick Stasio, Township Manager

By: \_\_\_\_\_  
Clifton McFatridge, President

**In the event that the executed Resolution is not delivered to the Township within ten (10) days of receipt, it shall be deemed that the Applicant does not accept these conditions, and approvals conditioned upon its acceptance are revoked, and the application is considered denied for the reasons set forth above.**

Date: \_\_\_\_\_

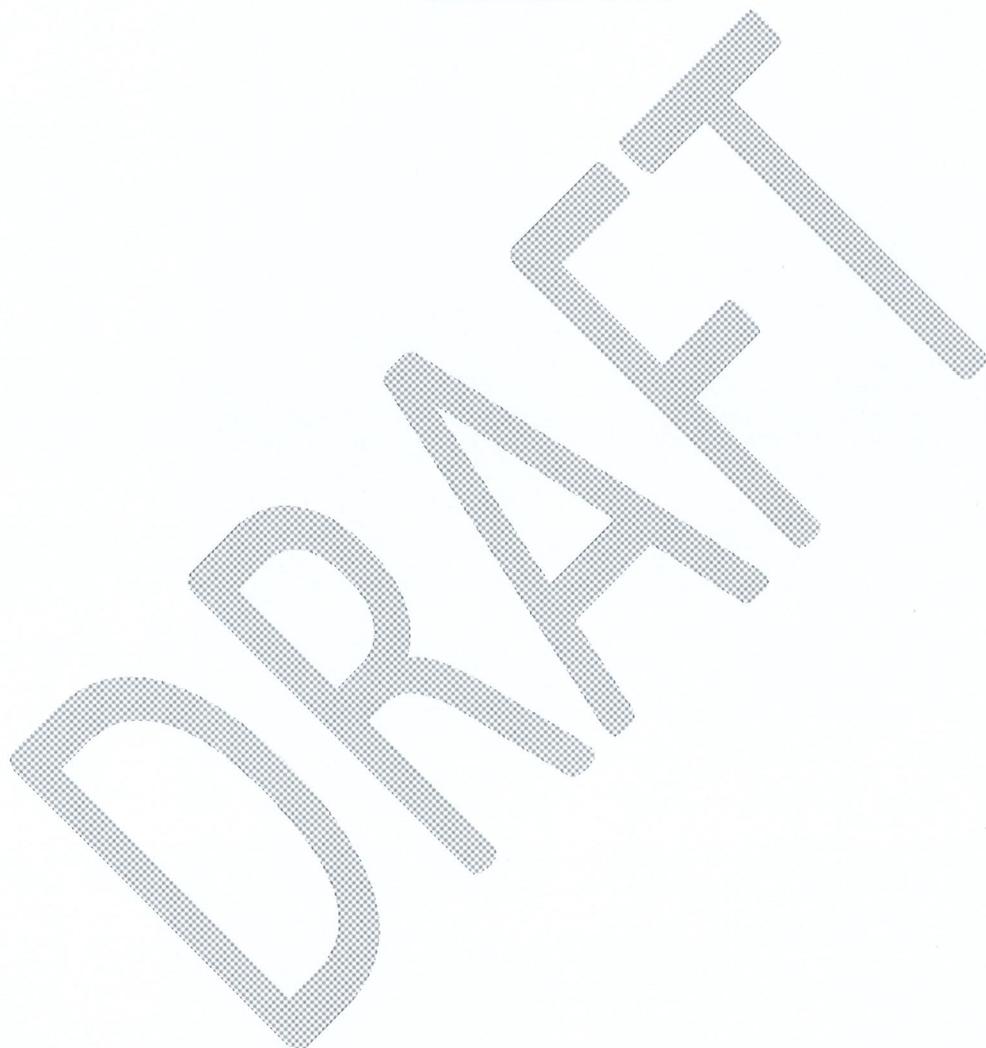
ACCEPTED BY:

**APPLICANT**

**UPPER MORELAND TOWNSHIP**

\_\_\_\_\_  
Name:  
Title:

## EXHIBITS



# **Exhibit A**

# LAND DEVELOPMENT PLAN

FOR

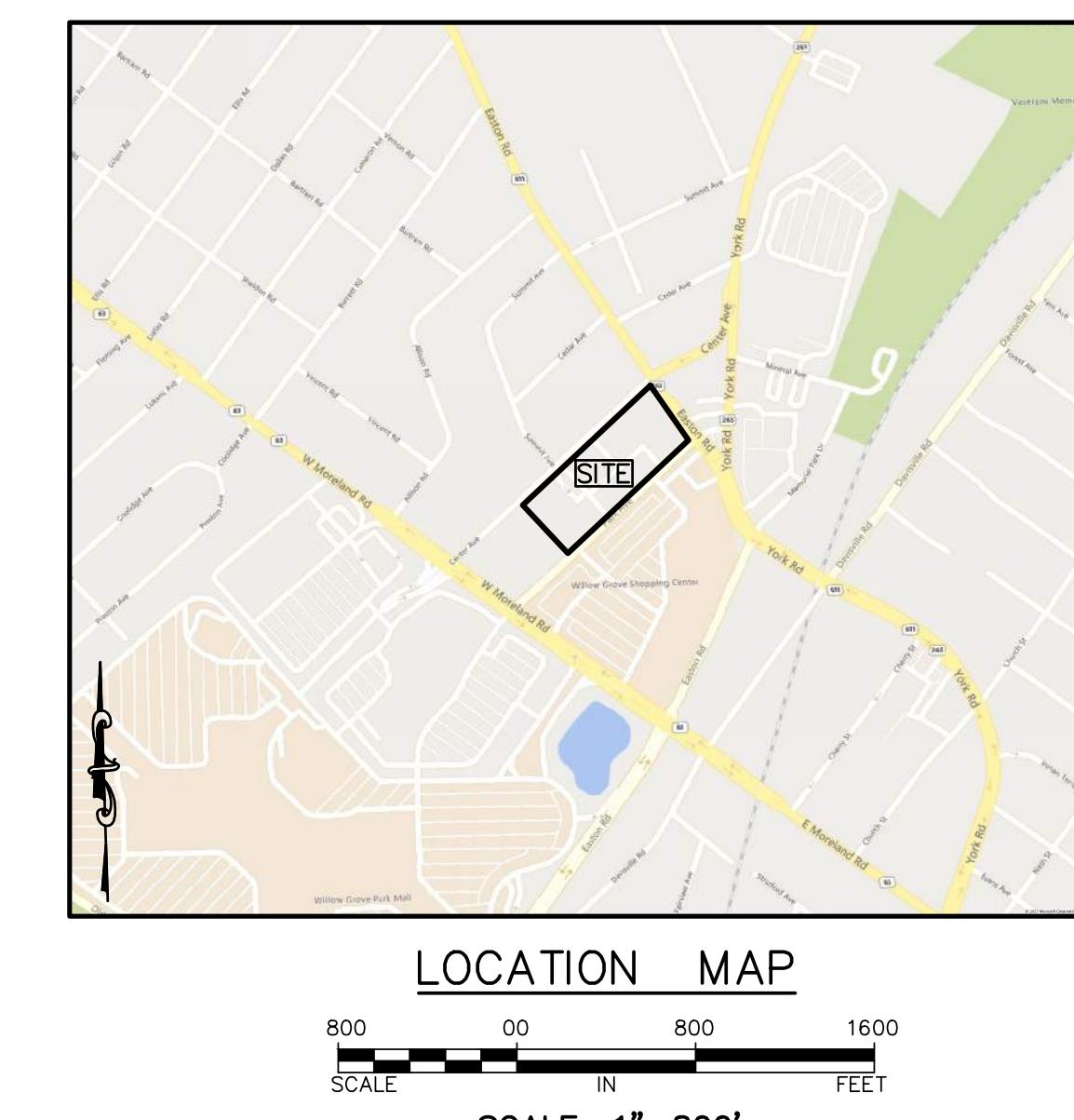
## UPPER MORELAND TOWNSHIP

# RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

SHEET LIST TABLE

SHEET NO.	SHEET TITLE
COVER	COVER SHEET
1	EXISTING FEATURES AND DEMOLITION PLAN
2	RECORD PLAN
3	EROSION AND SEDIMENT CONTROL PLAN
4	POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN
5	GRADING PLAN
6	UTILITY PLAN
7	LANDSCAPE PLAN
8	LIGHTING PLAN
9	EROSION AND SEDIMENT CONTROL DETAILS AND NOTES 1
10	EROSION AND SEDIMENT CONTROL DETAILS AND NOTES 2
11	POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS
12	POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS AND NOTES
13	CONSTRUCTION DETAILS AND NOTES 1
14	CONSTRUCTION DETAILS AND NOTES 2
15	LIGHTING DETAILS AND NOTES



OWNER/APPLICANT:

UPPER MORELAND TOWNSHIP  
117 PARK AVENUE  
WILLOW GROVE, PA 19090  
(215) 659-3100

PROJECT LOCATION:

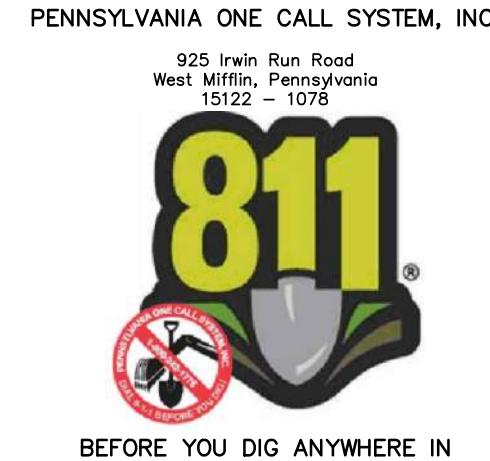
117 PARK AVENUE  
WILLOW GROVE, PA 19090  
UPPER MORELAND TOWNSHIP  
MONTGOMERY COUNTY

TAX PARCEL:

59-00-14053-00-9







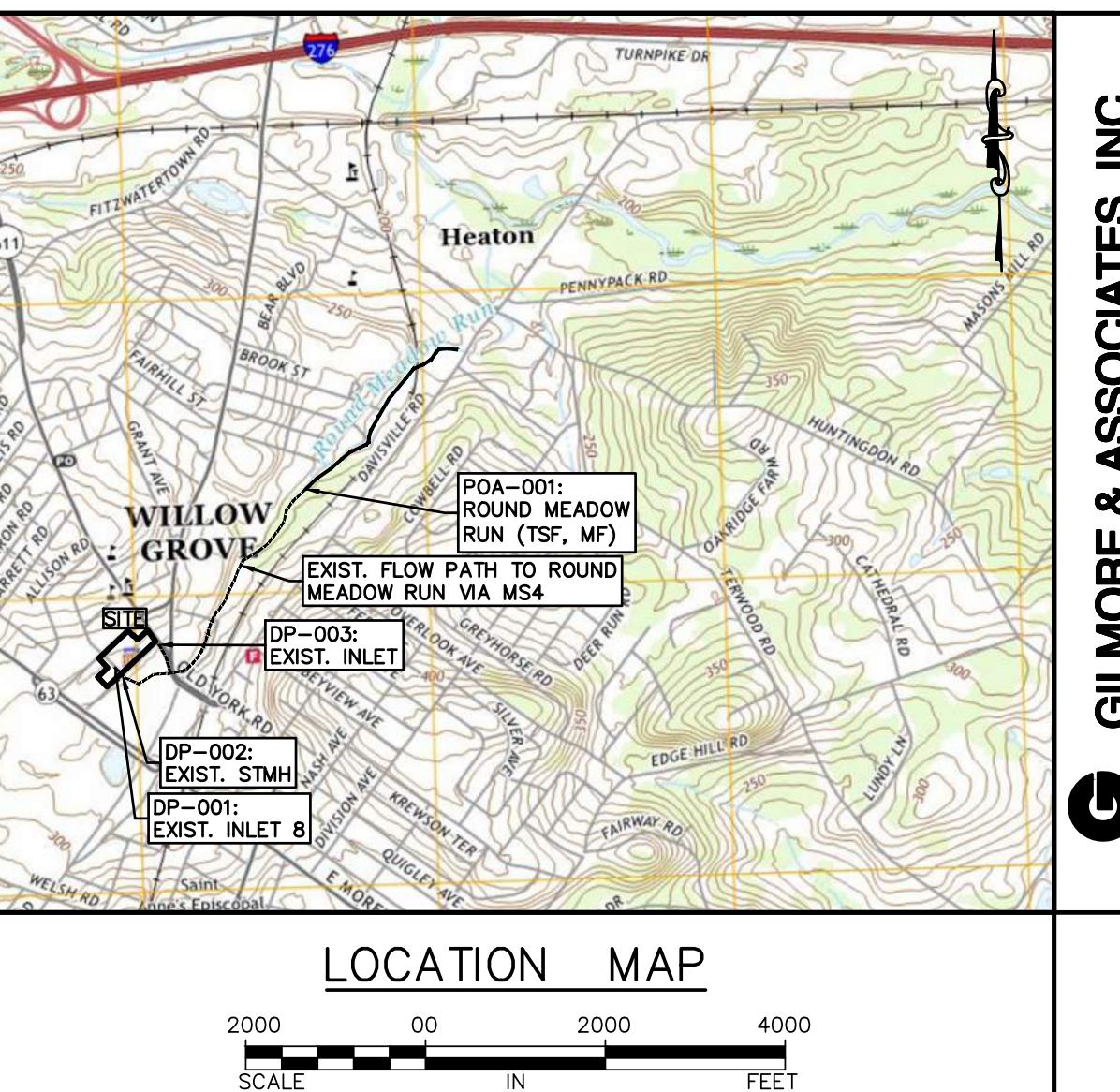
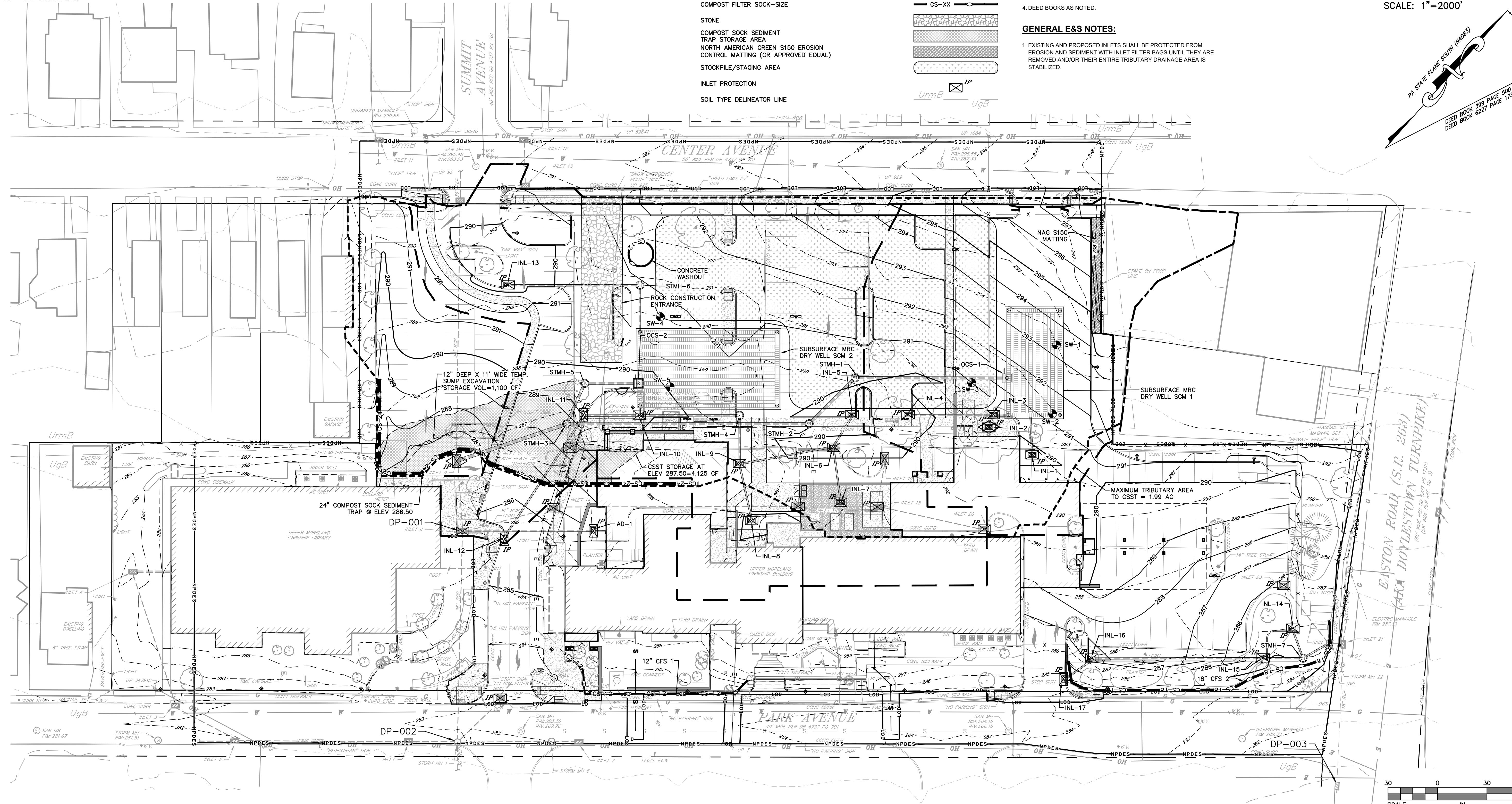
LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATIONS MADE ON THE SITE. NO INVESTIGATION WAS PERFORMED IN THE PREPARATION OF THESE DRAWINGS; THEREFORE, ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES ARE SHOWN ON FIELD SURVEYS. SIGHTS CONSIDERED AS TRUE AND ACCURATE, COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776  
NON-MEMBERS MUST BE CONTACTED DIRECTLY  
FOR DRAWS AND DIRECTIONS  
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,  
DRILL, BLAST OR DEMOLISH

SERIAL NO. 20230661537

INFILTRATION AND TEST PIT EXPLORATION TABLE										
TEST PIT	EXIST. GROUND ELEV.	BOTTOM OF PIT ELEV.	INF. TEST 1 ELEV.		INF. TEST 1 RATE		INF. TEST 2 ELEV.		INF. TEST 2 RATE	
			1	2	1	2	1	2	1	2
SW-1	294.00	281.00	295.00	0.00	295.00	0.00	NE	NE	283.00	
SW-2	293.00	281.00	295.00	4.50	295.00	1.50	NE	NE	283.00	
SW-3	292.50	282.50	284.50	0.00	284.50	0.00	NE	NE	NE	
SW-4	290.00	278.00	282.00	0.00	282.00	0.00	NE	NE	280.00	
SW-5	288.50	277.50	282.00	0.00	282.00	0.00	NE	NE	278.50	

NE = NOT ENCOUNTERED



**GILMORE & ASSOCIATES, INC.**  
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10/10/2025 PRELIMINARY SUBMISSION

**LAND DEVELOPMENT PLAN**  
RENOVATIONS AND ADDITIONS FOR  
TOWNSHIP AND POLICE BUILDING  
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

EROSION AND SEDIMENT CONTROL PLAN

**G&A**  
GILMORE & ASSOCIATES, INC.  
ENGINEERING & CONSULTING SERVICES

PROJECT No.: 23-02039

OWNERS INFO: UPPER MORELAND TOWNSHIP  
117 PARK AVENUE  
WILLOW GROVE, PA 19090  
(215) 659-3100

MUNICIPAL FILE NO.: N/A

TAX MAP PARCEL NO.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC.

TOTAL LOTS: 1

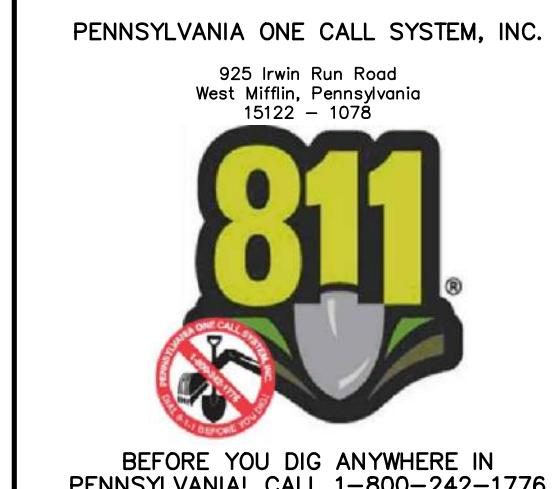
DATE: 8/28/2025

SCALE: 1"-30'

DRAWN BY: BMS

CHECKED BY: JH

SHEET NO.: 3 OF 15



PENNSYLVANIA ONE CALL SYSTEM, INC.  
926 Iris Run Road  
West Mifflin, Pennsylvania  
15122 - 1078

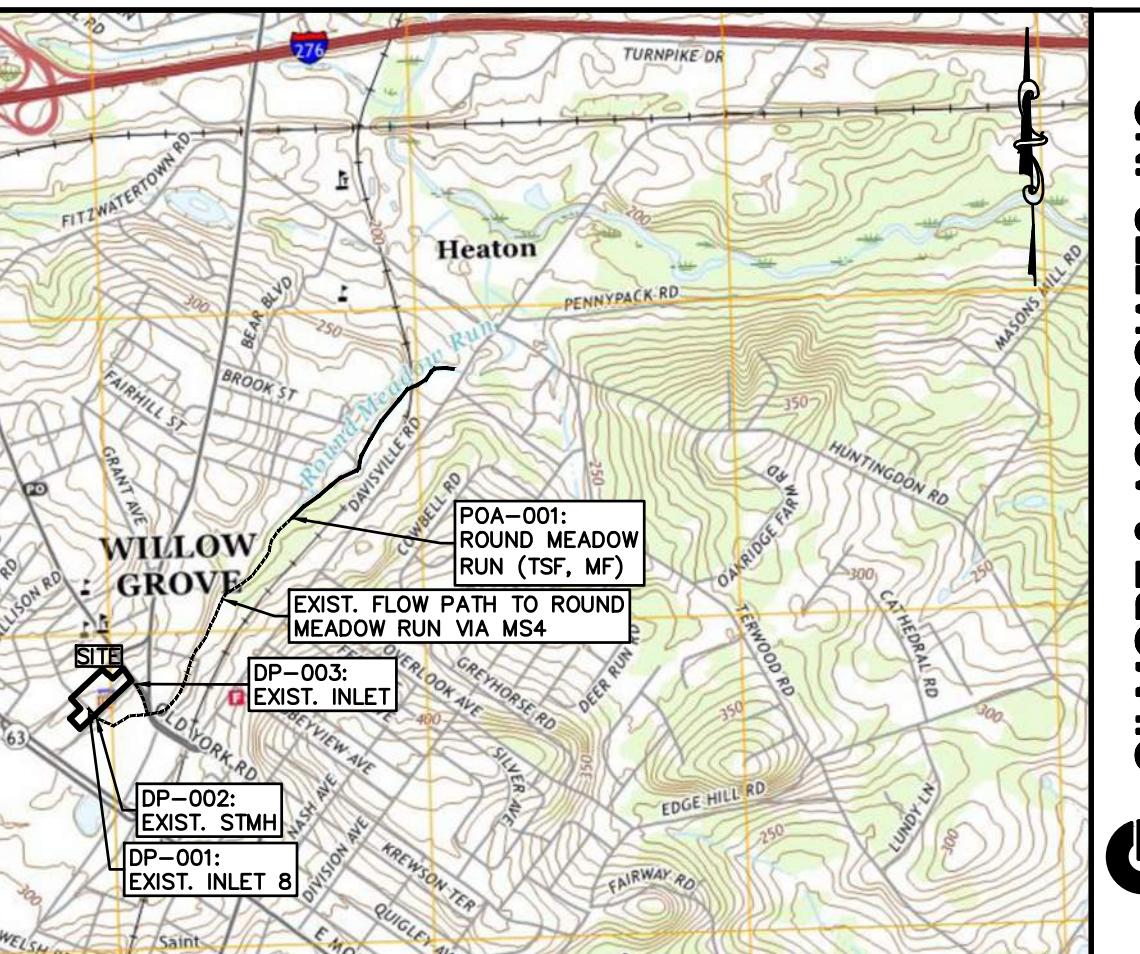
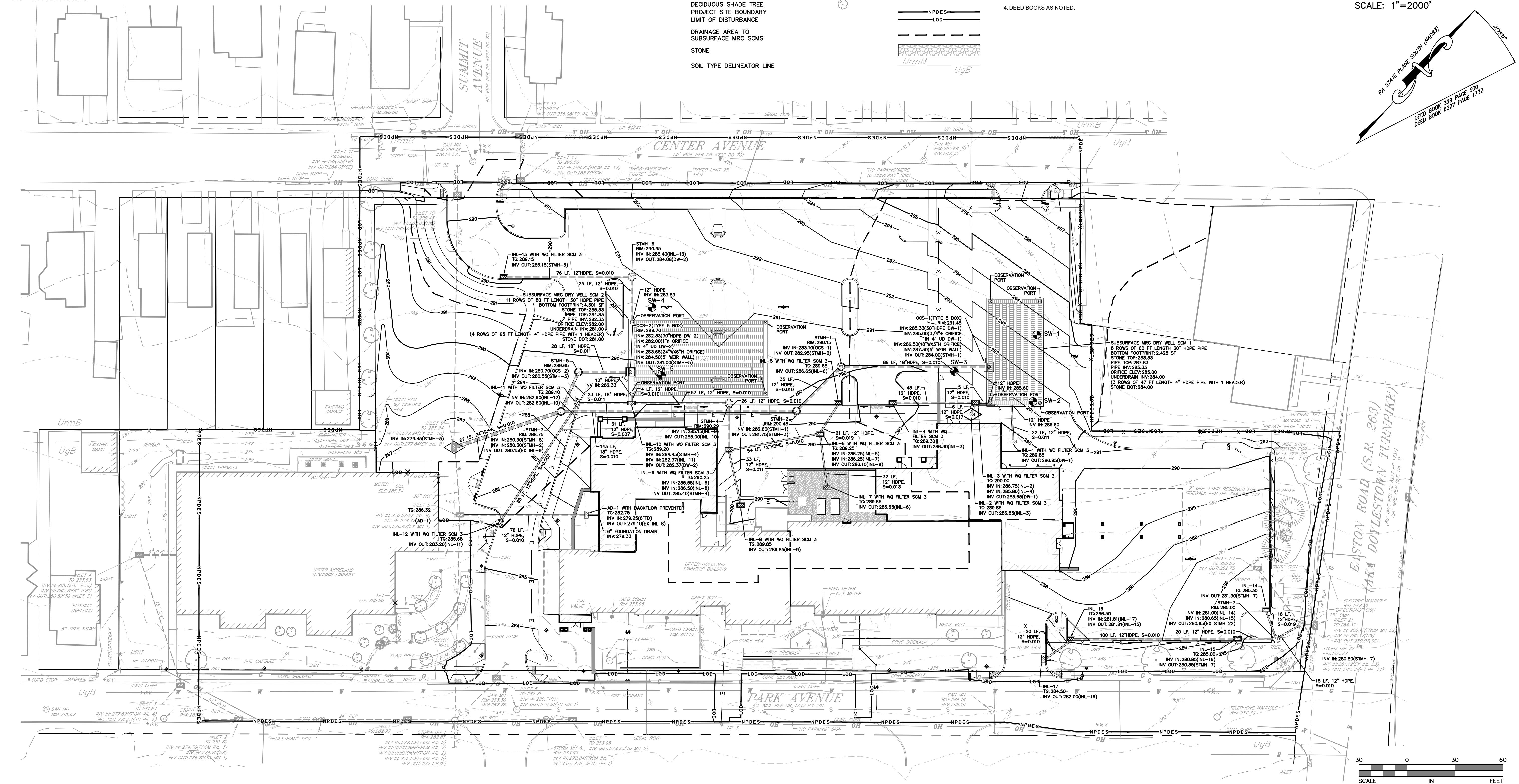
LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATIONS MADE ON THE SITE. NO SURVEYING WAS PERFORMED IN THE PREPARATION OF THESE DRAWINGS; THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES ARE SHOWN ON FIELD SURVEYS. THESE ARE CONSIDERED TRUSTED AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 800-242-1176  
NON-MEMBERS MUST CONTACTED DIRECTLY  
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,  
DRILL, BLAST OR DEMOLISH

SERIAL NO. 2023066157

INFILTRATION AND TEST PIT EXPLORATION TABLE										SOIL LIMITATIONS		
TEST PIT	EXIST. GROUND ELEV.	BOTTOM OF PIT ELEV.	INF. TEST 1 ELEV.		INF. TEST 1 RATE		INF. TEST 2 ELEV.		INF. TEST 2 RATE	SOIL LIMITATIONS		
			1	2	1	2	3	4		5	6	
SW-1	294.00	281.00	295.00	0.00	295.00	0.00	NE	NE	283.00	ROCK	GROUND	WATER SEEPS
SW-2	293.00	281.00	295.00	4.50	295.00	1.50	NE	NE	283.00			
SW-3	292.50	282.50	284.50	0.00	284.50	0.00	NE	NE	NE			
SW-4	290.00	278.00	282.00	0.00	282.00	0.00	NE	NE	280.00			
SW-5	288.50	277.50	282.00	0.00	282.00	0.00	NE	NE	278.50			

NE = NOT ENCOUNTERED



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10/10/2025 PRELIMINARY SUBMISSION





LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD OBSERVATIONS AND THE SITE. NO DRAVINGS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS. THEREFORE, ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES ARE SHOWN. FIELD SURVEYS SHALL BE CONDUCTED AS AND ACCURATE, COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.

ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50. GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

SERIAL NO. 20230661537

## ABBREVIATIONS

BC	BOTTOM OF CURB	MIN	MINIMUM
BMP	BEST MANAGEMENT PRACTICE	N/A	NOT APPLICABLE
BW	BOTTOM OF WALL	NO. #	NUMBER
C.O.	CLEAN OUT	OC	ON CENTER
CONC	CONCRETE	OCS	OUTLET CONTROL STRUCTURE
CPP	CORRUGATED PLASTIC PIPE	OPMH	OBSEVATION PORT MANHOLE
DEP	DEPRESSED	PC	PLUMBING CONTRACTOR
DIA	DIAmeter	PERF	PERFORATED
EA	EAch	PR	PROPOSED
EC	ELECTRICAL CONTRACTOR	PVC	POLYVINYL CHLORIDE
EL/ELE	ELEVATION	RCP	REINFORCED CONCRETE PIPE
ELEC	ELECTRIC	S	SLOPE
EX/EXIST	EXISTING	SAN	SANITARY
FF/FE	FINISHED FLOOR ELEVATION	SCH	SCHEDULE
FT	FOOT OR FEET	SF	SQUARE FOOT OR SQUARE FEET
GC	GENERAL CONTRACTOR	SSB	SUBSURFACE BASIN
H	HIGH	STMH	STORM MANHOLE
HDPE	HIGH DENSITY POLYETHYLENE	TBD	TO BE DETERMINED
IN/HR	INCHES PER HOUR	TC	TOP OF CURB
INF	INFILTRATION	TEL	TELEPHONE
INL	INLET	TG	TOP OF GRATE ELEVATION
INV	INVERT ELEVATION	TW	TOP OF WALL
LF	LINEAR FOOT OR LINEAR FEET	TYP	TYPICAL
LOD	LIMIT OF DISTURBANCE	UD	UNDER DRAIN
MAX	MAXIMUM	W	WATER OR WIDE

## LEGEND

EXISTING	PROPOSED
CURB	EDGE OF PAVE
BMP	LEGAL RIGHT-OF-WAY
BOTTOM OF WALL	PROPERTY LINE
C.O.	EASEMENT
CONC	MAJOR CONTOURS
CPP	MINOR CONTOURS
DEP	SPOT ELEVATION
DIA	FENCE LINE
EA	SANITARY SEWER LINE
EC	STORM LINE
EL/ELE	OVERHEAD ELECTRIC LINE
ELEC	UNDERGROUND ELECTRIC LINE
EX/EXIST	UNDERGROUND TELECOMM LINE
FF/FE	WATER LINE
FT	GAS LINE
GC	STORM MANHOLE
H	SANITARY MANHOLE
HDPE	ELECTRIC MANHOLE
IN/HR	WATER MANHOLE
INF	MANHOLE FOR UNKNOWN UTILITY
INL	GAS VALVE
INV	WATER VALVE
LF	SIGN
LOD	UTILITY POLE
MAX	GUY WIRE
	FIRE HYDRANT
	LIGHT FIXTURE
	CONIFEROUS TREE
	DECIDUOUS SHADE TREE
	STONE

## GENERAL SURVEY NOTES:

- PROPERTY AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF UPPER MORELAND, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA.
- THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN MARCH, 2023, AND THE REFERENCED INFORMATION LISTED HEREON. IT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- SUBJECT TO COVENANTS, RESTRICTIONS AND/OR EASEMENTS EITHER WRITTEN OR IMPLIED.
- VERTICAL DATUM IS NAVD88 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- HORIZONTAL DATUM IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD 83) ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- A COUNTERCLOCKWISE ROTATION OF 21°19'00" IS REQUIRED TO CONVERT FROM THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH (PPCS) TO THE REFERENCED DEED BEARING SYSTEM.

## UTILITY NOTES:

- PLUMBING CONTRACTOR (PC) TO INSTALL PROPOSED NEW 3-INCH DOMESTIC WATER LINE SHOWN ON THE CIVIL SITE PLANS FROM THE EXISTING PIT TO THE BUILDING CONNECTION.
- PLUMBING CONTRACTOR (PC) IS RESPONSIBLE FOR ALL PROPOSED SANITARY SEWER IMPROVEMENTS FROM THE BUILDING UP TO 4 FEET OUTSIDE THE BUILDING.
- GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR ALL PROPOSED SANITARY SEWER IMPROVEMENTS ON THE SITE UP TO 4 FEET OUTSIDE THE BUILDING, AS WELL AS CONNECTIONS AT THAT POINT. GC TO CONTACT UPPER MORELAND-HATBORO JOINT SEWER AUTHORITY PRIOR TO PERFORMING WORK IN STREET(S) FOR INSPECTION.
- GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR ALL PROPOSED STORM SEWER IMPROVEMENTS ON THE SITE UP TO 4 FEET OUTSIDE THE BUILDING, AS WELL AS DOWNSPOUTS AND DOWNSPOUT BOOT CONNECTIONS.
- ELECTRICAL CONTRACTOR (EC) IS RESPONSIBLE FOR SITE LIGHTING AND TRENCHING OF ELECTRICAL LINES AND COMMUNICATION LINES. THIS INCLUDES COORDINATION WITH MECHANICAL CONTRACTOR, PLUMBING CONTRACTOR, GENERAL CONTRACTOR, STORM DRAINAGE AND POLICE FUNCTIONS.
- ALL OTHER EXCAVATION AND/OR TRENCHING FOR THE WORK OF EACH CONTRACTOR SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR FOR THEIR OWN WORK.
- EXISTING STORM SEWER PIPE AND OTHER DEMOLISHED/ABANDONED UTILITIES THAT ARE NO LONGER FUNCTIONAL/OPERATIONAL SHALL BE REMOVED AND DISPOSED OF. EXISTING SANITARY SEWER PIPE THAT WILL NO LONGER BE OPERATIONAL MAY BE ABANDONED IN-PLACE.

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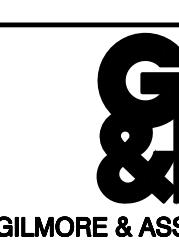
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## LAND DEVELOPMENT PLAN

## RENOVATIONS AND ADDITIONS FOR

## TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA



PROJECT No.: 23-02039

OWNERS INFO: UPPER MORELAND TOWNSHIP 117 PARK AVENUE WILLOW GROVE, PA 19090 (215) 659-3100

MUNICIPAL MAP NO.: N/A

TAX MAP PARCEL NO.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC.

1

TOTAL LOTS: 1

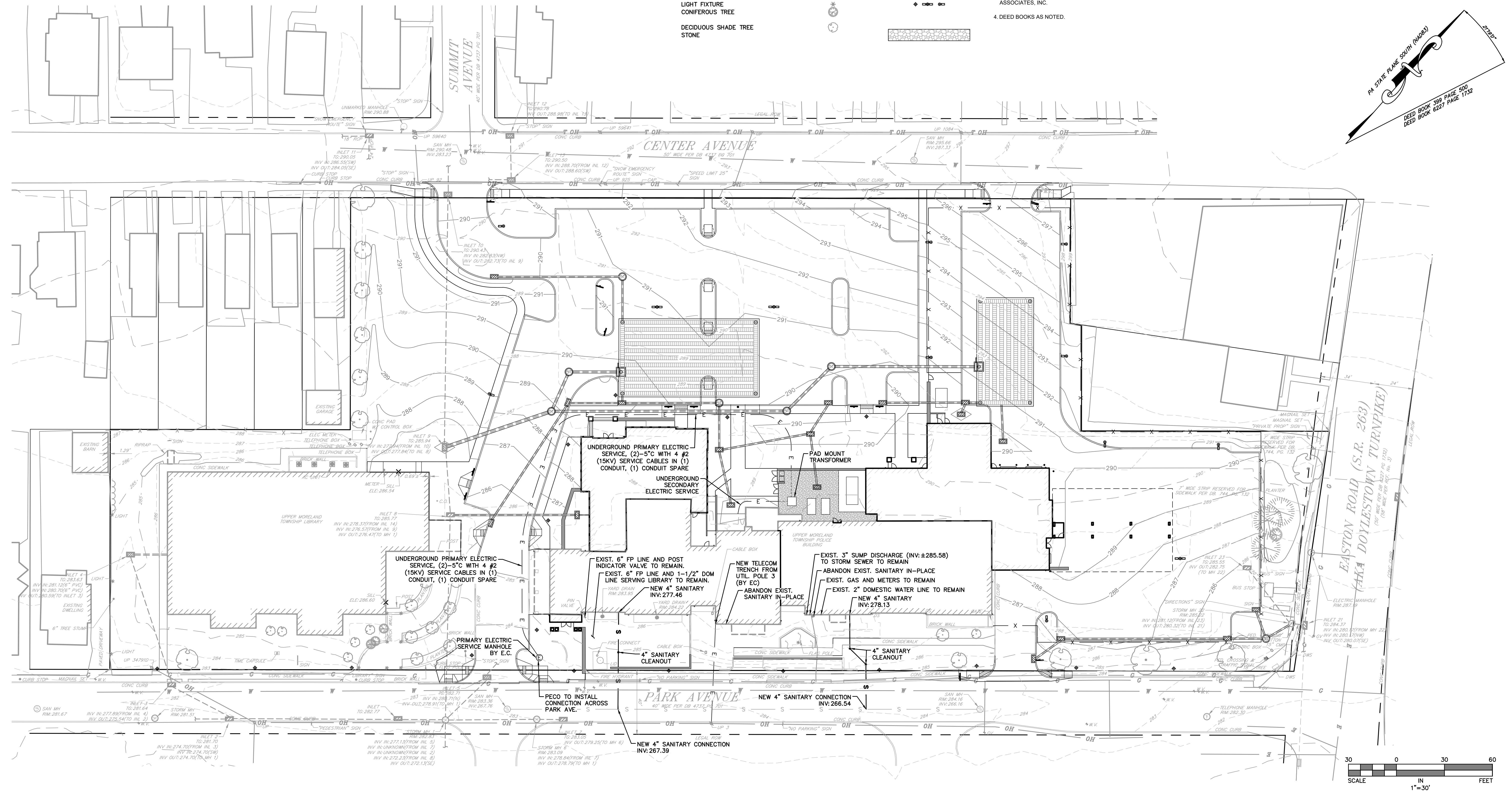
DATE: 8/28/2025

SCALE: 1"=30'

DRAWN BY: BMS

CHECKED BY: JH

SHEET NO.: 6 OF 15



COMPLIANCE CHART					
THE FOLLOWING CHART REPRESENT THE MINIMUM QUANTITIES OF REQUIRED PLANT MATERIAL ACCORDING TO THE UPPER MORELAND TOWNSHIP ZONING AND SUBDIVISION AND LAND DEVELOPMENT ORDINANCES, AND TO DEMONSTRATE COMPLIANCE WITH THE SAME.					
§ 350-79.D(1) - STREET TREES					
REQUIREMENT:	REQUIRED	EXISTING	PROPOSED	TOTAL	
1 SHADE TREE PER 40 L.F. CENTER AVE: 394.14 L.F. PARK AVE: 479.11 L.F. EASTON ROAD: 151.61 L.F.	10 11 4	1 4 4	9 7 0	10 11 4	
NOTE: STREET LENGTH DOES NOT INCLUDE WIDTH OF ENTRANCE DRIVE AT R.O.W.					
§ 350-74.A - PARKING AREA TREES					
REQUIREMENT:	REQUIRED	EXISTING	PROPOSED	TOTAL	
1 TREES FOR EVERY 12 SPACES (136 SPACES)	11	0	11	11	
§ 350-79.G - STREETSCAPE AND GREEN AREA STANDARDS					
BUILDING ADDITIONS AND ALTERATIONS REQUIREMENT:	4 POINTS FROM CATEGORY A PROVIDED ADDITIONAL PLANTING AREA 2X(2 PTS)	0	4	4	
§ 300-45.A - REPLACEMENT TREES					
REQUIREMENT:	1 TREE PER EACH 8" - 23" CAL. TREE REMOVED (22 TREES)	22	9	9*	
2 TREES PER EACH 23"-36" CAL. TREE REMOVED (3 TREES)	6	6	6		
*NOTE: PARTIAL WAIVER REQUESTED.					
§ 300-45.B - HERITAGE TREES					
REQUIREMENT:	EVERY HERITAGE TREE REMOVED SHALL BE REPLACED WITH NEW TREES (4" CAL EACH) TOTALING THE CALIPER INCHES OF EXISTING HERITAGE TREES REMOVED.	37"	0	40"	40"

PLANT SCHEDULE						
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
STREET TREES						
CC <sup>S</sup>	2	CERCIS CANADENSIS	EASTERN REDBUD	3" CAL	B&B	SINGLE STEM
CV <sup>S</sup>	2	CRATAEGUS MIRDIS 'WINTER KING'	WINTER KING HAWTHORN	3" CAL	B&B	
LS <sup>S</sup>	7	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SWEETGUM	3" CAL	B&B	FRUITLESS, COLUMNAR
PS <sup>S</sup>	3	PRUNUS SERRULATA 'KWANZAN'	KWANZAN CHERRY	3" CAL	B&B	
TC <sup>S</sup>	2	TLIA CORDATA	LITTLELEAF LINDEN	3" CAL	B&B	
PARKING AREA PLANTINGS						
CANOPY TREES						
GT <sup>P</sup>	4	GLEIDITIS TRIACANTHOS 'SHADEMASTER'	HONEY LOCUST	2 1/2" CAL	B&B	THORNLESS
UL <sup>A</sup>	7	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	2 1/2" CAL	B&B	
SHRUBS						
CA <sup>A</sup>	4	O'LETHRA ALNIFOLIA	SUMMERSWEET	36" MIN	CONT	
IV <sup>A</sup>	9	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	36" MIN	CONT	
RA <sup>A</sup>	59	RHUS AROMATICA 'GRO-LAWN'	GROWLOW SUMAC	18" MIN	CONT	
VP <sup>P</sup>	59	VIBURNUM X PRAGENSE	PRAGUE VIBURNUM	4' HT MIN	CONT	
ADDITIONAL PLANTING AREA PLANTINGS						
DECIDUOUS TREES						
AC <sup>A</sup>	3	AMELANCHIER CANADENSIS	SERVICEBERRY	8" HT MIN	B&B	
SHRUBS						
HP <sup>A</sup>	10	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	30" MIN	CONT	
POP <sup>A</sup>	11	PHYSOCARPOS OPULIFOLIUS 'GINGER WINE'	NINEBARK	30" MIN	CONT	
REPLACEMENT TREE PLANTINGS						
AR <sup>A</sup>	6	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	2 1/2" CAL	B&B	
CCA <sup>A</sup>	6	CARPINUS CAROLINIANA	IRONWOOD	2 1/2" CAL	B&B	
NS <sup>A</sup>	3	NYSSA SYLVATICA	BLACK TUPELO	2 1/2" CAL	B&B	
HERITAGE TREE REPLACEMENT PLANTINGS						
AR <sup>O</sup>	5	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	4" CAL	B&B	
PO <sup>O</sup>	3	PLATANUS OCCIDENTALIS	SYCAMORE	4" CAL	B&B	
QA <sup>O</sup>	2	QUERCUS ALBA	WHITE OAK	4" CAL	B&B	

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DRILL, BLAST OR DEMOLISH

SERIAL NO. 20230661537

LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES  
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PRIOR TO START OF WORK AND SHALL COMPLY WITH THE  
REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974  
AS LAST AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50.

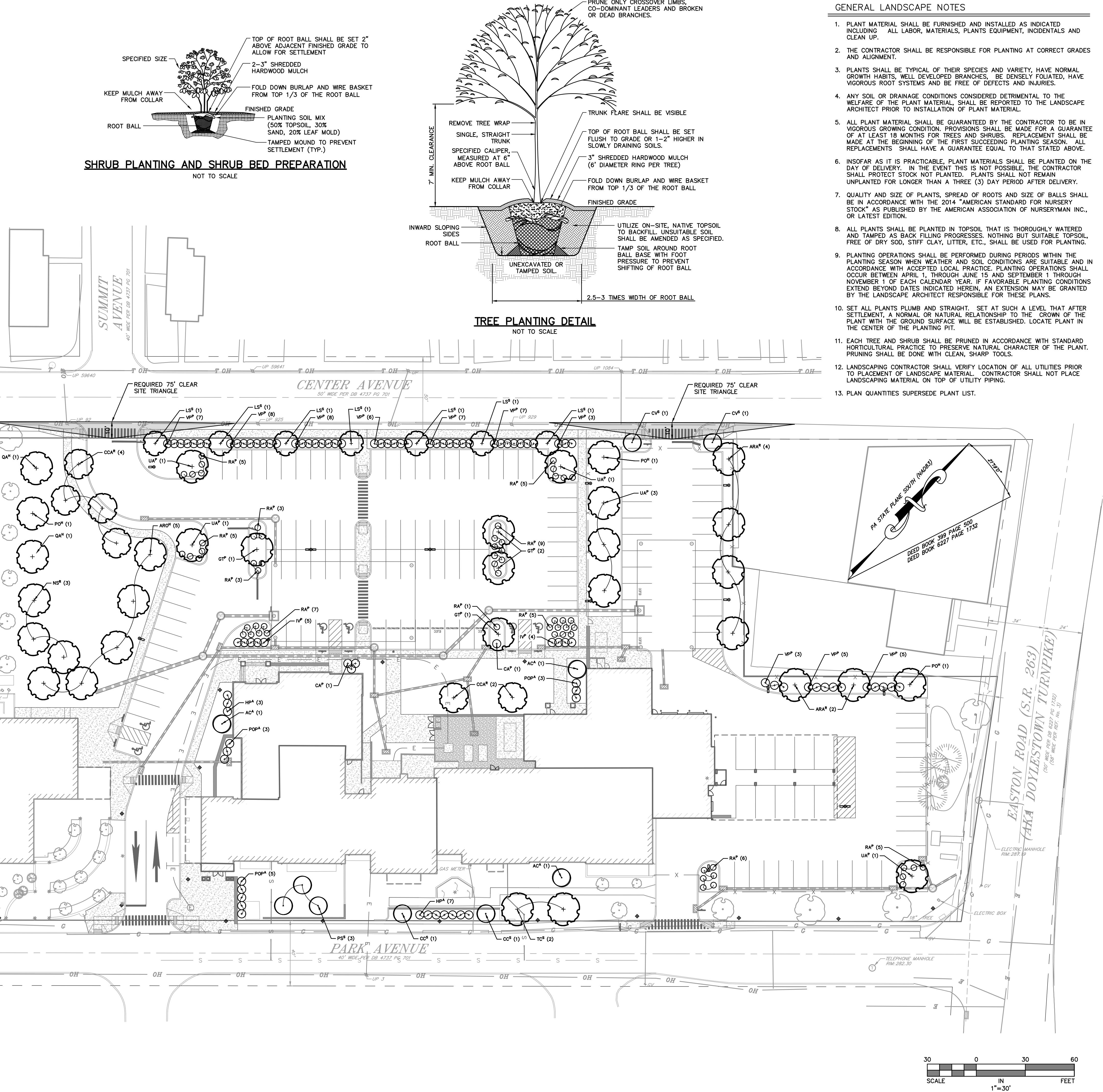
GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL  
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## LEGEND

## EXISTING



## PROPOSED

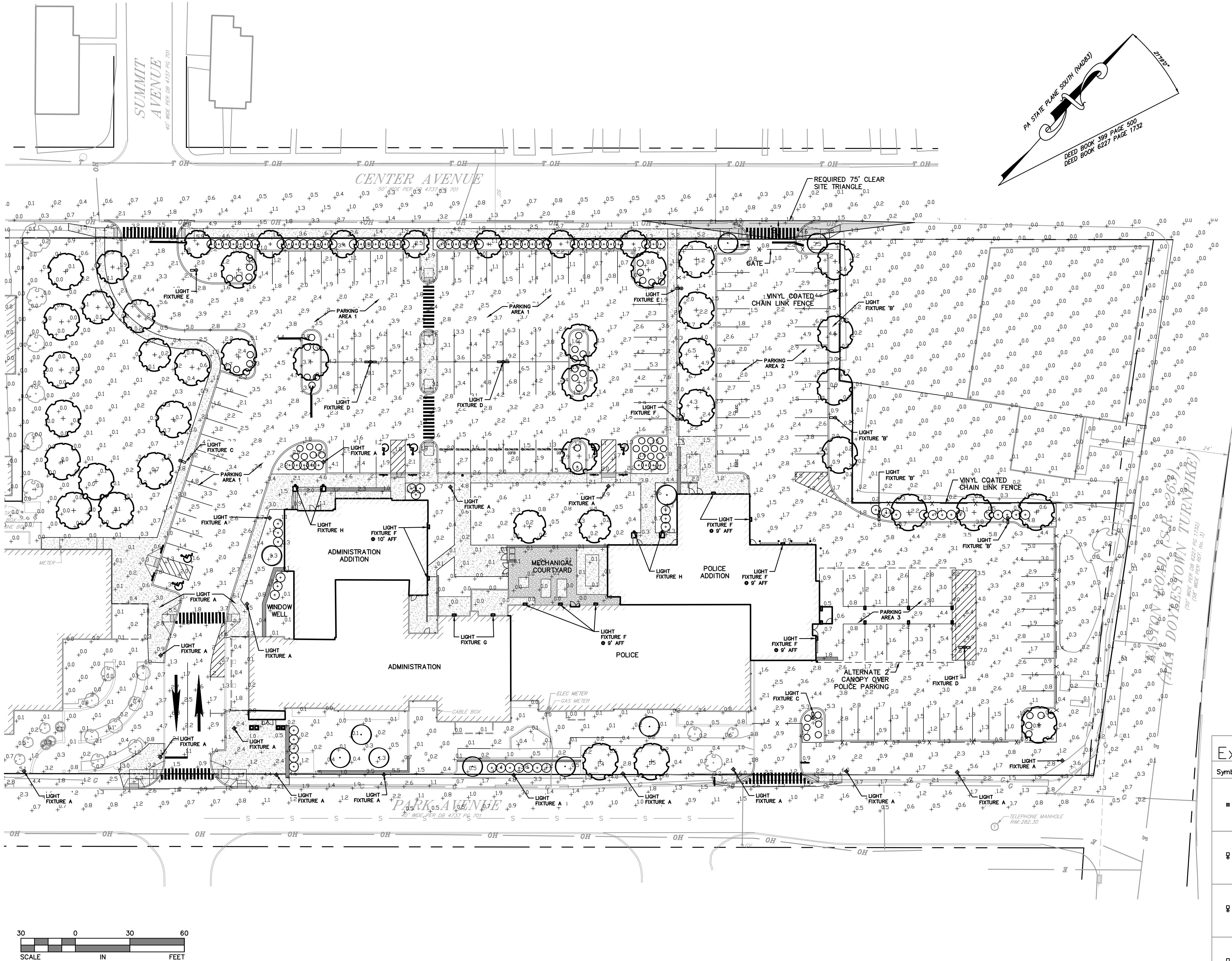


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10/10/2025 PRELIMINARY SUBMISSION



PENNSYLVANIA ONE CALL S  
925 Irwin Run Road  
West Mifflin, Pennsylvania

15122 - 1078

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SERIAL NO. 20230661537

## GENERAL LIGHTING NOTES

THIS PLAN IS TO BE UTILIZED FOR SITE LIGHTING PURPOSES ONLY. ELECTRICAL ENGINEERING, INCLUDING, BUT NOT LIMITED TO CIRCUITRY, CONDUIT, WIRING, AND ASSOCIATED SPECIFICATIONS, IS NOT WITHIN THE SCOPE OF THIS DOCUMENT.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL.

SUBSTITUTION REQUESTS MUST BE APPROVED BY THE TOWNSHIP.

THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.

THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLAN AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.

LIGHTING VALUES DEPICTED ON THIS PLAN WERE GENERATED USING VISUAL 2020R2 SOFTWARE.

THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPES OF FIXTURES ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR ELECTRICAL LIGHTING CONTRACTOR. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, LAWS AND STATUTES.

CONTRACTOR SHALL BRING TO THE DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES OR OTHER STRUCTURES.

ALL PROPOSED LIGHT FIXTURES ARE TO BE NEW AND SHOULD BE INCLUDED WITH THE BASE BID.

CONTRACTOR SHALL PROVIDE TEMPORARY SITE LIGHTING AS NEEDED WHEN EXISTING SITE LIGHTING IS NO LONGER OPERATIONAL.

SITE LIGHTING TO BE BY ELECTRICAL CONTRACTOR.

## Exterior Site Lighting Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING_1	✖	2.4 fc	9.8 fc	0.6 fc	16.3:1	4.0:1
PARKING_2	✖	2.7 fc	5.7 fc	1.6 fc	3.6:1	1.7:1
PARKING_3	✖	3.2 fc	9.9 fc	0.7 fc	14.1:1	4.6:1

**NOTE: 'H' FIXTURE ILLUMINATION IS  
NOT INCLUDED IN CALCULATED  
VALUES SHOWN ON LIGHTING PLAN**

## Exterior Site Lighting Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
□	A	19	PHILIPS LUMEC	ATx0,0Tx0,XLx0-35W32LED3K-G3-LE3F	AT Ancestra Post Top LED - OT/XL Optima Post Top LED, 32 LED's, 3000K CCT, TYPE LE3F OPTIC, FLAT LENS	1	4048	0.9	37	12'
□	B	4	GARDCO BY SIGNIFY	P26-A02-730-BLC	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE BLC OPTIC	1	10956	0.9	85.4	18'
□	C	2	GARDCO BY SIGNIFY	P26-A02-730-T3M	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE T3M OPTIC	1	12865	0.9	85.4	18'
□	D	3	GARDCO BY SIGNIFY	P26-A02-730-T3M	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE T3M OPTIC	1	14559	0.9	170.8	18'
□	E	3	GARDCO BY SIGNIFY	P26-A02-730-T5M	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE T5M OPTIC	1	15310	0.9	85.4	18'
□	F	9	GARDCO BY SIGNIFY	PWS-P-A03-840-4	PureForm LED wall sconce PWS, 20 LED's, 4000K CCT, 80 CRI, TYPE 4 OPTIC	1	5448	0.9	34.4	9' & 10' ABOVE FINISHED FLOOR
□	G	2	GARDCO BY SIGNIFY	PWS-P-A08-840-4	PureForm LED wall sconce PWS, 20 LED's, 4000K CCT, 80 CRI, TYPE 4 OPTIC	1	14732	0.9	91.5	20' ABOVE FINISHED FLOOR
○	H	4	PROGRESS LIGHTING	SEE SPEC. SHEET	ROUND SCONCE					7' ABOVE FINISHED FLOOR

**GENERAL EROSION AND SEDIMENT CONTROL NOTES:**

- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2:1 OR 1:1.
- THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
- UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE PERMITTEE AND CO-PERMITTEE SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED. PROPER AND COMPLETELY MAINTAINED SITES INCLUDES: PREPAREDNESS OF ALL EROSION AND SEDIMENT CONTROL FACILITIES; SITE INSPECTIONS; WRITTEN LOGS OF THOSE INSPECTIONS WHICH SHALL BE MADE AVAILABLE TO THE COUNTY CONSERVATION DISTRICT; ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGARDING, RESeeding, AND RESTABILIZATION SHALL BE PERFORMED IMMEDIATELY.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, THE OWNER SHALL RECEIVE APPROVAL OF THE REVISIONS FROM THE COUNTY CONSERVATION DISTRICT.
- THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE APPROPRIATE CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL, AND/OR ROCK SPOTS, AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
- ALL EROSION AND SEDIMENT WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE 1, WATER POLLUTION CONTROL, 102, EROSION CONTROL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO THE PROJECT SITE FOR GRADING AND ACQUISITION, BORROW TO CONSTRUCT THOSE BMPs, EROSION AND SEDIMENT BMPS, AND TO CONSTRUCT THE ROADWAY AND BERM BEFORE SITE DISTURBANCE BEGINS WITHIN THE TREATMENT AREAS OF THOSE BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
- THE PERMITTEE OR CO-PERMITTEE SHALL CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT TO DETERMINE IF A PRECONSTRUCTION CONFERENCE IS REQUIRED. THE PERMITTEE, CO-PERMITTEE, AND OTHERS UNDERTAKING THE EARTH DISTURBANCE ACTIVITY MUST ATTEND A PRECONSTRUCTION CONFERENCE WHEN REQUESTED BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE PERMITTEE OR CO-PERMITTEE MUST BRING A COPY OF THEIR APPROVED PERMIT, AND A COPY OF THE APPROVED PLAN FROM THE CONSERVATION DISTRICT, AND ALL ASSOCIATED DEPARTMENT APPROVALS/PERMITS WHICH MAY BE AVAILABLE AT THE CONFERENCE UPON REQUEST, ALSO AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES. ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.
- UPON COMPLETION OF THE STABILIZATION, PERIMETER SEDIMENT CONTROL BMPs AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE OR SHOULD A TEMPORARY CESSATION OF ACTIVITY OCCUR WHICH WILL LAST LONGER THAN 4 DAYS, THE OPERATOR SHALL STABILIZE DISTURBED AREAS BY THE ACTIVITIES, DRAINAGE, AND GROWING PERIODS WHICH MUST BE ADDED AT THE SPECIFIED RATE. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED ACCORDING WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- PERMITTEES AND CO-PERMITTEES ARE RESPONSIBLE FOR ENSURING THAT A LICENSED PROFESSIONAL HAS OVERSIGHT RESPONSIBILITIES FOR THE DESIGN AND PROPER INSTALLATION OF BMPs IDENTIFIED IN THE PCSM PLAN PRIOR TO THE SUBMISSION OF THE NOTICE OF TERMINATION FOR THIS PERMIT. THE LICENSED PROFESSIONAL SHALL CERTIFY THAT THE EROSION AND SEDIMENT CONTROL MEASURES BEING PROVIDED IN ACCORDANCE WITH THE APPROVED PLAN, THE INSTALLATION SCHEDULE OF PCSM BMPs AND MAINTENANCE REQUIREMENTS CONTAINED WITHIN THE APPROVED PCSM PLAN MUST BE FOLLOWED; AND FAILURE TO COMPLY WITH THE INSTALLATION SCHEDULE IS A VIOLATION OF THIS PERMIT, THE CLEAN STREAMS LAW, AND THE CLEAN WATER ACT.
- THE CONTRACTOR SHALL ASURE THAT AN APPROVED EROSION & SEDIMENT CONTROL PLAN IS PREPARED AND MAINTAINED FOR OFF-SITE BORROW OR SPILL SITES. 18.1. ALL FILL MATERIALS TO BE USED ON THIS SITE SHALL BE CLEAN FILL UNLESS OTHERWISE APPROVED BY THE MUNICIPALITY AND THE CONSERVATION DISTRICT. THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM DUE DILIGENCE IN DETERMINING THAT FILL IS CLEAN.
- UNIVERSITY SURVEYS SHALL INCLUDE, BUT ARE NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS, OR AUDITS.
- FOR EROSION AND SEDIMENT CONTROL, THE LANDOWNER OR HIS DESIGNATED REPRESENTATIVE SHALL MAINTAIN, AND MAKE AVAILABLE TO THE COUNTY CONSERVATION DISTRICT, COMPLETE, WRITTEN INSPECTION LOGS OF THE INSPECTION AND MAINTENANCE OF ALL EROSION-SEDIMENT CONTROL BMPs.
- SEEDING, MULCHING, AND FERTILIZING SHALL BE IN ACCORDANCE WITH THE SEEDING AND MULCHING SCHEDULE.
- 18.2. ALL EARTH AND SEDIMENT THAT IS TRACKED ONTO THE PUBLIC ROADSWAYS MUST BE CLEANED OFF IMMEDIATELY BY BROOMING AND/OR SHOVELING TO THE SATISFACTION OF THE TOWNSHIP AT THE EXPENSE OF THE DEVELOPER AND/OR RESPONSIBLE CONTRACTOR. USE OF A BACKHOE TO SCRAPE ROADWAY SURFACE IS PROHIBITED. WHERE SAND AND/OR SEDIMENT IS CAUSING SLICK OR HAZARDOUS CONDITIONS, ROADWAY SURFACE SHALL BE PRESSURE WASHED TO REMOVE THE CONDITION. ALL SEDIMENT LADEN WATER MUST BE DRAINED TO A MANUFACTURED DRAINAGE CONSTRUCTION DISTRICT ENTERING STORM DRAINS AND/OR DRAINAGE CHANNELS.
- NO SEDIMENT OR SEDIMENT LADEN WATER MUST BE ALLOWED TO LEAVE THE SITE WITHOUT FIRST BEING FILTERED TO THE SATISFACTION OF THE COUNTY CONSERVATION DISTRICT. ANY PUMPED WATER MUST BE DIRECTED TO A FILTER BAR DEVICE DISCHARGING OVER NON-DISTURBED AREAS.
- 18.3. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN HAVE BEEN PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE COUNTY CONSERVATION DISTRICT. GILMORE AND ASSOCIATES DOES NOT TAKE ANY RESPONSIBILITY IN OBSERVING AND CERTIFYING THE CONSTRUCTION OF THESE FACILITIES UNLESS REQUESTED SPECIFICALLY BY THE OWNER AND/OR CONTRACTOR. THEREFORE GILMORE AND ASSOCIATES DOES NOT ACCEPT ANY RESPONSIBILITY FOR DAMAGES AS A RESULT OF IMPROPER CONSTRUCTION AND/OR MAINTENANCE OF FACILITIES DURING CONSTRUCTION.
- 18.4. THE APPLICANT AND DESIGNER/DEVELOPER ARE RESPONSIBLE FOR INSURING THAT A LICENSED PROFESSIONAL HAS OVERSIGHT RESPONSIBILITIES FOR THE DESIGN AND PROPER INSTALLATION OF STORMWATER BMPs IDENTIFIED IN THESE PLANS (IF ANY) PRIOR TO SUBMISSION OF A NOTICE OF TERMINATION FOR THE PROJECT. THE LICENSED PROFESSIONAL SHALL CERTIFY THAT THE STORMWATER BMPs IDENTIFIED IN THE PLAN HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLAN.
- 18.5. THE INSTALLATION SCHEDULE AND MAINTENANCE REQUIREMENTS FOR ANY AND ALL IDENTIFIED STORMWATER MANAGEMENT BMPs INCLUDED IN THESE PLANS MUST BE FOLLOWED. FAILURE TO COMPLY WITH PLAN SPECIFICATIONS IS A VIOLATION OF THE CLEAN STREAMS LAW AND THE CLEAN WATER ACT.
- 18.6. ACCUMULATED SEDIMENTS REMOVED FROM ANY AND ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES. REPLACED SOILS SHALL BE SEEDED AND MULCHED IMMEDIATELY.
- 18.7. UPON COMPLETION OF ANY TEMPORARY CESSION LONGER THAN 4 DAYS OF THE EARTH DISTURBANCE ACTIVITIES, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (E&S MANUAL), COMMONWEALTH OF PENNSYLVANIA, DEPARTMENT OF ENVIRONMENTAL PROTECTION NO. 363-2134-008, MARCH 2012, AS AMENDED AND UPDATED. EROSION AND SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED AND PCSM BMPs ARE APPROVED.
- 18.8. CONTRACTOR SHALL FOLLOW THE PROCEDURES OUTLINED BY THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND THE SEQUENCE OF CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE TOWNSHIP ENGINEER AND THE COUNTY CONSERVATION DISTRICT.
- 18.9. SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION AFTER EACH RUNOFF EVENT.

**HERBICIDAL APPLICATION AND CONTROL MEASURES:**

THE APPLICATION OF HERBICIDE SHALL BE CONDUCTED PER MANUFACTURERS SPECIFICATIONS. RODEO® SHALL BE USED FOR APPLICATIONS WITHIN 100 FEET OF ANY WETLAND, POND, STREAM, ETC., OTHER THAN USE AS CERTIFIED. ALL APPLICATIONS OF HERBICIDE SHALL BE CONDUCTED BY A CONTRACTOR LICENSED BY THE PENNSYLVANIA DEPARTMENT OF AGRICULTURE. APPLICATION OF ANY HERBICIDE SHALL BE CONDUCTED AT A RATE AND FREQUENCY SPECIFIED BY THE MANUFACTURER. ALL SAFETY PRECAUTIONS SHALL BE CONDUCTED ACCORDING TO MANUFACTURERS RECOMMENDATIONS. STORAGE AND DISPOSAL PROCEDURES SHALL BE CONDUCTED ACCORDING TO MANUFACTURERS RECOMMENDATIONS. ALL MIXING AND APPLICATION PROCEDURES SHALL BE CONDUCTED ACCORDING TO MANUFACTURERS SPECIFICATIONS. AVOID OVER-SPRAY AND SPRAYING WHEN WINDS ARE IN EXCESS OF 5 MILES PER HOUR.

**CLEAN FILL REQUIREMENTS:**

- THE OPERATOR MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT ANY MATERIALS USED AS CLEAN FILL, FILL MATERIAL MUST BE ASSOCIATED WITH THIS PROJECT QUALITIES AS CLEAN FILL. FILL MATERIAL MUST BE USED IN ACCORDANCE WITH PADEP'S POLICY "MANAGEMENT OF FILL" DOCUMENT NUMBER 268-2182-773. A COPY OF THIS POLICY IS AVAILABLE ONLINE AT WWW.DEP.WEB.STATE.PA.US.
- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM WASTE AND RECOGNIZABLE AS SUCH THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE). THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE FILL. THE TERM "CERAMIC SPILL" OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN PADEP'S POLICY "MANAGEMENT OF FILL".
- ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE TESTS CONDUCTED TO DETERMINE IF THE MATERIAL IS CLEAN AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT WWW.DEP.WEB.STATE.PA.US.
- ENVIRONMENTAL DUE DILIGENCE: THE LANDOWNER/APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFIES AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIONS, PROPERTY OWNERSHIP, PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.
- ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE PROPERTY MAY HAVE BEEN USED FOR AN INDUSTRIAL PURPOSE. IF THE PROPERTY SUBSTANCE OF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF PADEP'S POLICY "MANAGEMENT OF FILL".
- FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE MUNICIPAL OR RESIDUAL WASTE MANAGEMENT CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS CAN BE FOUND AT WWW.DEP.WEB.STATE.PA.US.
- ALL FILLS SHALL BE COMPAKTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SUPPING, EROSION OR EXCESS SATURATION.

**SEEDING AND PLANTING SPECIFICATIONS:****SITE PREPARATION:**

- IF TOPSOIL HAS BEEN SPREAD AND WEEDS AND OTHER INVASIVE PLANT GROWTH HAS BEEN PERMITTED TO GERMINATE, THEN AREAS SHALL BE TREATED WITH A SYSTEMIC HERBICIDE (GLIDEONE® - RODEO®) ONE (1) MONTH PRIOR TO THE INSTALLATION OF THE SPECIFIED SEED MIXTURE. AFTER ONE (2) WEEKS OF HERBICIDE APPLICATION, AREAS TO BE SEEDED SHALL BE TREATED AGAIN IF PERSISTENT WEEDS RE-GERMINATE.
- INSTALATION:

ONLY AFTER THE ABOVE SITE PREPARATION AND ALL EXISTING VEGETATION TO BE REMOVED IS ERADICATED SHALL THE FOLLOWING SEED INSTALLATION STEPS TAKE PLACE:

- ALL AREAS TO BE SEEDED SHALL BE CLEARED OF ALL REMAINING DEBRIS AND VEGETATION.
- TILL ALL AREAS TO BE SEEDED TO A MINIMUM DEPTH OF FOUR (4) INCHES.
- ADD ANY SPECIFIED SOIL AMENDMENTS TO THE TILLED AREAS (IF APPLICABLE).
- SPREAD SEED AT RECOMMENDED RATE EVENLY ACROSS THE ENTIRE SITE.
- FINE RAKE ALL AREAS PREVIOUSLY SEEDED TO ENSURE GOOD SOIL TO SEED CONTACT.
- SPREAD A THIN COAT OF STRAW TO REDUCE EROSION.
- INSTALL EROSION CONTROL BLANKET AS SPECIFIED AND SECURE WITH MANUFACTURERS RECOMMENDED STAPLES/FASTENERS.
- WATER ENTIRE SEDED AREA THOROUGHLY, AVOID OVER-WATERING.

**FIRST YEAR MAINTENANCE:**

SEED MIXTURE SHALL BE INSPECTED FOR INVASIVE WEED SPECIES. IF WEED SPECIES APPEAR IN THE SEDED AREA SPOT TREAT BY PULLING. ALLOW SEED MIXTURE TO REACH A HEIGHT OF 12-18 INCHES IN HEIGHT, MOW TO A HEIGHT OF APPROXIMATELY SIX (6) INCHES WITH A WEED EATER.

SECOND YEAR MAINTENANCE:

MOW ONCE IN SPRING AS CLOSE TO GROUND AS POSSIBLE. ALLOW PLANTS TO GROW TO FULL HEIGHT.

CONSECUTIVE FOLLOWING YEARS:

MOW EVERY OTHER YEAR AND SPOT TREAT INVASIVE PLANT SPECIES.

**SEEDING AND MULCHING SCHEDULE:**

- SITE PREPARATION, STABILIZATION AND MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH SEEDING AND PLANTING SPECIFICATIONS AND PENN STATE UNIVERSITY'S "THE AGRONOMY GUIDE" AND PENNDOT FORM 408 SPECIFICATIONS' MOST RECENT ADDITION.

**TEMPORARY SEEDING SPECIFICATION: PENNDOT FORMULA E MIX**

SPECIES: ANNUAL RYEGRASS	% PURE LIVE SEED: 95%
APPLICATION RATE: 10.0 LBS/1,000 SY	
FERTILIZER TYPE: N/A	
LIMING RATE: N/A	
MULCH TYPE: STRAW	
MULCH RATE: 3.0 TONS/ACRE	

**PERMANENT SEEDING SPECIFICATION: PENNDOT FORMULA B MIX**

SPECIES: 1. BERMUDA RYEGRASS MIXTURE	% BY WEIGHT 1: 20%
% PURE LIVE SEED 1: 97%	
APPLICATION RATE 1: 8.5 LBS/1,000 SY	
SPECIES 2: CREEPING RED FESCUE OR CHEWING FESCUE	
% BY WEIGHT 2: 30%	
% PURE LIVE SEED 2: 97%	
APPLICATION RATE 2: 12.5 LBS/1,000 SY	
SPECIES 3: KENTUCKY BLUEGRASS MIXTURE	
% BY WEIGHT 3: 50%	
% PURE LIVE SEED 3: 97%	
APPLICATION RATE 3: 21.0 LBS/1,000 SY	
FERTILIZER TYPE: N/A	
LIMING RATE: N/A	
MULCH TYPE: STRAW	
MULCH RATE: 3.0 TONS/ACRE	
ANCHOR MATERIAL: N/A	
ANCHORING METHOD: N/A	
RATE OF ANCHOR MATERIAL APPLICATION: N/A	
TOPSOIL PLACEMENT DEPTH: 6 INCHES	
SEEDING SEASON DATES: MARCH 15 – OCT. 15	

2. HAY OR STRAW MULCH SHALL BE APPLIED AT THE INDICATED RATES AND SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES 3:1 OR STEEPER.

3. PERMANENT SEEDING SHALL TAKE PLACE FROM MARCH 15 TO JUNE 1 OR FROM AUGUST 1 TO OCTOBER 15. IF COMPLETED IN OTHER SEASONS, AREAS SHALL RECEIVE TEMPORARY SEEDING AND 3.0 TONS PER ACRE MULCH.

4. STEEP SLOPE AREAS SHALL BE PROTECTED FROM EROSION BY ONE OF THE FOLLOWING METHODS. MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED FOR PARTICULAR METHOD AND SPECIFIC SITE CONDITIONS.

ELASTIC GROWTH MEDIUM: SHALL BE HYDRAULICALLY APPLIED COMBINATION OF SEED, MULCH, AND EROSION PROTECTION MATERIAL SIMILAR TO "FLEXTERRA" BY ACF OR EQUAL BY OTHER MANUFACTURER.

EROSION CONTROL MATTING: SHALL BE TEMPORARY MATTING SIMILAR TO SC350 BY NORTH AMERICAN GREEN OR EQUAL BY OTHER MANUFACTURER.

TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETERMINAL TO PROPER GRADING AND SEEDDED PREPARATION. COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHEREVER POSSIBLE PRIOR TO SEEDING.

CUBIC YARDS OF TOPSOIL REQUIRED FOR APPLICATION TO VARIOUS DEPTHS:

DEPTH (IN)	PER 1,000 SQ. FEET	PER ACRE
1	3.1	134
2	6.2	268
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	806
7	21.7	940
8	24.8	1,074

\*TOPSOIL SHALL BE REPLACED TO A DEPTH EQUAL TO PREDEVELOPMENT DEPTHS OR A MINIMUM OF 6 INCHES.

**SECTION VIEW****NOTES:****1.**

## NPDES EROSION AND SEDIMENT CONTROL NOTES:

**EROSION AND SEDIMENT CONTROL MEASURES:**

- COMPOST FILTER SOCKS** - USED FOR TEMPORARY PERIMETER CONTROL AS WELL AS TO PROTECT STOCKPILE INfiltration AREAS, AND TO DELINEATE THE GENERAL LIMIT OF DISTURBANCE ON THE SITE.
- CONCRETE WASHOUT** - LOCATIONS(S) SHOWN APPROXIMATELY ON PLANS. CONTAINS CONCRETE WASHOUT MATERIALS FROM CHUTES AND MIXERS.
- COMPOST SACK** - SIZED TO TREAT CONSTRUCTION RUNOFF THAT CANNOT BE TREATED THROUGH A TREATMENT DEVICE.
- CONCRETE TRAP** - TO BE INSTALLED TO PROTECT EMBANKMENTS AND BERMS FROM ACCELERATED EROSION.
- INLET PROTECTION** - TO BE INSTALLED AT ALL PROPOSED INLET STRUCTURES AND THE EXISTING INLET STRUCTURES IDENTIFIED IN PLANS.
- ROCK CONSTRUCTION ENTRANCE** - PROVIDED AT LOCATIONS ON PLANS TO PREVENT SEDIMENT FROM BEING THROWN INTO ROADS.
- SOIL STOCKPILES** - LOCATIONS SHOWN APPROXIMATELY ON PLANS. STOCKPILES TO BE REUSED TO BRING SITE TO GRADE.
- TOPSOIL STOCKPILES** - LOCATIONS SHOWN APPROXIMATELY ON PLANS. TOPSOIL STOCKPILES SHALL BE PHYSICALLY SEPARATED FROM SOIL STOCKPILES.
- VEGETATIVE STABILIZATION** - USED TO TEMPORARILY OR PERMANENTLY SECURE AND PROTECT EXPOSED GROUND TO PREVENT EROSION AND SEDIMENTATION.

### BLANDING AND DESIGN 8102.4(b)(4)

THE FOLLOWING MEASURES ARE TAKEN TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE:

1. ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE.
2. SEQUENCE CONSTRUCTION ACTIVITIES BY LIMITING DISTURBANCES TO A SPECIFIC TASK SUCH THAT EACH TASK IS COMPLETED BEFORE THE NEXT TASK IS INITIATED.
3. THE LIMITS OF DISTURBANCE HAVE BEEN DELINEATED AS THE MINIMUM PRACTICAL AREAS. ALL OTHER AREAS SHALL NOT BE DISTURBED, AND ARE SUBJECT TO THE FOLLOWING CRITERIA:

  - 3.1. AREAS SHALL NOT BE SUBJECT TO GRADING OR MOVEMENT OF EXISTING SOIL.
  - 3.2. EXISTING VEGETATION IN A HEALTHY CONDITION MAY NOT BE REMOVED.
  - 3.3. INVASIVE NON-NATIVE VEGETATION MAY BE REMOVED.
  - 3.4. PRUNING OR OTHER REQUIRED MAINTENANCE OF VEGETATION IS PERMITTED. ADDITIONAL PLANTING IS PERMITTED.
  - 3.5. AREAS SHALL BE PROTECTED AND DELINEATED IN THE FIELD.

THE FOLLOWING MEASURES ARE TAKEN TO MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION:

1. ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE.
2. THE LIMITS OF DISTURBANCE HAVE BEEN DELINEATED AS THE MINIMUM PRACTICAL AREAS. ALL OTHER AREAS SHALL NOT BE DISTURBED, AND ARE SUBJECT TO THE FOLLOWING CRITERIA:

  - 2.1. AREAS SHALL NOT BE SUBJECT TO GRADING OR MOVEMENT OF EXISTING SOIL.
  - 2.2. EXISTING VEGETATION IN A HEALTHY CONDITION MAY NOT BE REMOVED.
  - 2.3. INVASIVE NON-NATIVE VEGETATION MAY BE REMOVED.
  - 2.4. PRUNING OR OTHER REQUIRED MAINTENANCE OF VEGETATION IS PERMITTED.
  - 2.5. AREAS SHALL BE PROTECTED AND DELINEATED IN THE FIELD.

THE FOLLOWING MEASURES ARE TAKEN TO MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION:

1. ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE.
2. TREADED MACHINERY WILL BE USED WHERE PRACTICAL DURING EARTHMOVING OPERATIONS.
3. THE LIMITS OF DISTURBANCE HAVE BEEN DELINEATED AS THE MINIMUM PRACTICAL AREAS. ALL OTHER AREAS SHALL NOT BE DISTURBED, AND ARE SUBJECT TO THE FOLLOWING CRITERIA:

  - 3.1. AREAS SHALL NOT BE SUBJECT TO GRADING OR MOVEMENT OF EXISTING SOIL.
  - 3.2. EXISTING VEGETATION IN A HEALTHY CONDITION MAY NOT BE REMOVED.
  - 3.3. INVASIVE NON-NATIVE VEGETATION MAY BE REMOVED.
  - 3.4. PRUNING OR OTHER REQUIRED MAINTENANCE OF VEGETATION IS PERMITTED.
  - 3.5. ADDITIONAL PLANTING IS PERMITTED.

THE FOLLOWING MEASURES ARE TAKEN TO PROTECT AND DELINEATE IN THE FIELD.

1. AREAS SHALL BE PROTECTED AND DELINEATED IN THE FIELD.
2. THE LIMITS OF DISTURBANCE HAVE BEEN DELINEATED AS THE MINIMUM PRACTICAL AREAS. ALL OTHER AREAS SHALL NOT BE DISTURBED, AND ARE SUBJECT TO THE FOLLOWING CRITERIA:

  - 2.1. AREAS SHALL NOT BE SUBJECT TO GRADING OR MOVEMENT OF EXISTING SOIL.
  - 2.2. EXISTING VEGETATION IN A HEALTHY CONDITION MAY NOT BE REMOVED.
  - 2.3. INVASIVE NON-NATIVE VEGETATION MAY BE REMOVED.
  - 2.4. PRUNING OR OTHER REQUIRED MAINTENANCE OF VEGETATION IS PERMITTED.
  - 2.5. ADDITIONAL PLANTING IS PERMITTED.

THE FOLLOWING MEASURES ARE TAKEN TO MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION:

1. ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE.
2. THE LIMITS OF DISTURBANCE HAVE BEEN DELINEATED AS THE MINIMUM PRACTICAL AREAS. ALL OTHER AREAS SHALL NOT BE DISTURBED, AND ARE SUBJECT TO THE FOLLOWING CRITERIA:

  - 2.1. AREAS SHALL NOT BE SUBJECT TO GRADING OR MOVEMENT OF EXISTING SOIL.
  - 2.2. EXISTING VEGETATION IN A HEALTHY CONDITION MAY NOT BE REMOVED.
  - 2.3. INVASIVE NON-NATIVE VEGETATION MAY BE REMOVED.
  - 2.4. PRUNING OR OTHER REQUIRED MAINTENANCE OF VEGETATION IS PERMITTED.
  - 2.5. AREAS SHALL BE PROTECTED AND DELINEATED IN THE FIELD.

THE FOLLOWING MEASURES ARE TAKEN TO PREVENT OR MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF:

1. SUBSURFACE MANAGED RELEASE CONCEPT (MRC) SCMS (VERSION 1.5 REVISED 8/15/2025)
2. TEMPORARY AND PERMANENT SEEDING

### SOILS AND GEOLOGIC FORMATIONS 8102.4(b)(5)(ii)

SOIL MAP INFORMATION, AS DEFINED BY THE USDA NRCS WEB SOIL SURVEY IS PROVIDED ON THIS SHEET. SOIL LIMITATIONS AND RESOLUTIONS ARE ALSO PROVIDED ON THIS SHEET.

VOLUME AND RATE OF RUNOFF FROM PROJECT SITE, AND WATERSHED AREAS 8102.4(b)(5)(v). THE PROPOSED PROJECT MINIMIZES DISTURBANCE TO THE MAXIMUM EXTENT POSSIBLE, AND WILL UTILIZE THE E&S BMPS LISTED ABOVE TO CONTROL EROSION AND SEDIMENTATION FROM THE LIMITED EARTH DISTURBANCE. THE PROPOSED DISCHARGE FROM THE SITE WILL NOT NEGATIVELY IMPACT THE DOWNSTREAM WATERCOURSE'S RESISTANCE TO EROSION, AND THE PROPOSED BMP DESIGN COMPLIES WITH CONTROL GUIDELINE 1 (CG-1) REQUIREMENTS. STANDARD E&S WORKSHEETS AND CALCULATIONS FOR THE PROPOSED E&S BMPs ARE INCLUDED IN THE E&S REPORT.

### RECEIVING SURFACE WATERS 8102.4(b)(5)(v)

RUNOFF FROM THIS SITE DRAINS TO ROUND MEADOW RUN, WHICH HAS A RECEIVING WATER CLASSIFICATION OF TSF, MF, PER CHAPTER 93 OF THE PA CODE. THE PROJECT SITE IS NOT LOCATED WITHIN ANY HQ OR EV WATERSHEDS, AND THERE ARE NO WETLANDS ON THE SITE.

### SEQUENCE OF CONSTRUCTION 8102.4(b)(5)(vi)

NOTES:

- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), OWNER AND/OR OPERATOR SHALL INVITE AN CONTRACTOR(S), THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARE, THE PCSM PLAN PREPARE, AND A REPRESENTATIVE FROM THE COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- UPON INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPs AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE CONTRACTOR(S) SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSTRUCTION DISTRICT.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM, INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE COUNTY CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.
- EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE CAN BEGIN WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.
- ALL EROSION CONTROL DEVICES SHALL BE CHECKED WEEKLY AND AFTER EACH RAIN EVENT. ALL PREVENTATIVE REMEDIAL MAINTENANCE WORK INCLUDING REPAIR, REPLACEMENT, REGRADING, AND RE-MULCHING SHALL BE PERFORMED IMMEDIATELY. NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA SHALL REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS.
- THE CESSION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
- SHOULD UNPREDICTED EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR(S) SHALL TAKE ACTION TO REPAIR SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF RUNOFF OR SEDIMENT DISPLACEMENT. SPECIAL ATTENTION SHALL BE GIVEN TO FROZEN SLOPES, STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE, AND/OR OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
- 1. PERMITTING CONSTRUCTION DISTURBANCE USING SURVEY STAKES AND/OR CONSTRUCTION FENCE AS APPROPRIATE
- 2. INSTALL PERIMETER SEDIMENT BARRIERS AS INDICATED ON PLANS
- 2.1. ROCK CONSTRUCTION ENTRANCE
- 2.2. COMPOST SOCI SEDIMENT TRAP
- 3. COMPOST FILTER SOCKS
- 3.1. DEMOLISH AND DISPOSE OF EXISTING STRUCTURES AS INDICATED ON PLANS
- 3.2. DEMOLISH AND DISPOSE OF EXISTING CURB AND PAVEMENT AS INDICATED ON PLANS
- 3.3. DEMOLISH AND DISPOSE OF EXISTING STORM SEWER STRUCTURES AND PIPE AS INDICATED ON PLANS
- 4. SITE CLEARING AND GRUBBING
- 4.1. CLEAR AND GRUB AREAS INDICATED ON PLANS
- 4.2. GRADE SITE WITH INCREMENTAL STABILIZATION AS NEEDED SO THAT FINAL GRADES WILL MEET THOSE INDICATED ON THE PLANS
- 4.3. CONSTRUCT NEW BUILDING ADDITIONS
- 4.4. CONSTRUCT NEW BASES AND FOUNDATIONS
- 4.5. INSTALL FOUNDATION DRAINS AND STUB FOR FUTURE CONTINUATION THROUGH SITE
- 4.6. INSTALL NEW UTILITY CONNECTIONS, INCLUDING WATER, SANITARY SEWER, GAS, AND ELECTRIC AS INDICATED ON PLANS
- 4.7. CONDUCT EROSION AND SEDIMENT CONTROL TO AVOID CONFLICTS AT UTILITY CROSSINGS, ESPECIALLY WITH GRAVITY LINES SUCH AS SANITARY AND STORM SEWER
- 4.8. CRITICAL STAGE: CONSTRUCT SUBSURFACE MANAGED RELEASE CONCEPT BASINS 1 AND 2
- 4.9. CARE SHOULD BE TAKEN TO NOT OVER-EXCAVATE OR COMPACT THE SOIL BELOW THE BASIN TO THE MAXIMUM EXTENT POSSIBLE, FROM ROCKS AND DEBRIS
- 4.10. THE BASIN BOTTOM SHOULD BE FREE FROM ROCKS AND DEBRIS
- 4.11. INSTALL OUTLET CONTROL STRUCTURE
- 4.12. INSTALL GEOTEXTILE FABRIC, BASE STONE AND UNDERDRAIN SYSTEM WITH UPTURNED ELBOW
- 4.13. CONNECT UPTURNED ELBOW IN UNDERDRAIN TO OUTLET CONTROL STRUCTURE AND INSTALL END CAP WITH DRILLED ORIFICE
- 4.14. INSTALL STORAGE PIPES AND STONE AND INFLOW PIPE CONNECTIONS
- 4.15. AFTER INSTALLATION, PREVENT SEDIMENT-LADEN WATER FROM ENTERING THE FACILITY

CONSTRUCTION SEQUENCE:

1. PERMITTING CONSTRUCTION DISTURBANCE USING SURVEY STAKES AND/OR CONSTRUCTION FENCE AS APPROPRIATE
2. INSTALL PERIMETER SEDIMENT BARRIERS AS INDICATED ON PLANS
- 2.1. ROCK CONSTRUCTION ENTRANCE
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- 4.15. AFTER INSTALLATION, PREVENT SEDIMENT-LADEN WATER FROM ENTERING THE FACILITY

MONITORING, INSPECTION, AND REPORTING REQUIREMENTS:

THE PERMITTEE / CO-PERMITTEE(S) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND WITHIN 24 HOURS AFTER EACH MEASURABLE RUNOFF EVENT THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE RECEIPT AND ACKNOWLEDGEMENT OF THE NOTICE OF TERMINATION BY THE DEPARTMENT OR AUTHORIZED CONSTRUCTION DISTRICT. THE VISUAL SITE INSPECTIONS AND REPORTS PROVIDED IN ACCORDANCE WITH THE DEPARTMENT'S AND THE PCSM PLAN'S SIGNATORY REQUIREMENTS, OF THIS PERMIT. ALL LETTERS CERTIFYING DISCHARGE TERMINATION ARE TO BE SENT TO THE DEPARTMENT OR AUTHORIZED CONSTRUCTION DISTRICT. THE REPORTS PROVIDED IN ACCORDANCE WITH THE PCSM PLAN'S SIGNATORY REQUIREMENTS, OF THIS PERMIT. ALL LETTERS CERTIFYING DISCHARGE TERMINATION ARE TO BE SENT TO THE DEPARTMENT OR AUTHORIZED CONSTRUCTION DISTRICT. THE VISUAL SITE INSPECTIONS AND REPORTS PROVIDED IN ACCORDANCE WITH THE DEPARTMENT'S AND THE PCSM PLAN'S SIGNATORY REQUIREMENTS, OF THIS PERMIT. 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## FlexStorm Pure™

### Inlet Filters

MODEL EX STANDARD WOVEN BAG  
BAG SIZE SHALL MATCH INLET SIZE:  
• 24" X 45 1/4" OPENING FOR TYPE M AND TYPE C

FlexStorm Pure inlet filters are the preferred choice for permanent inlet protection and stormwater runoff control. Constructed of stainless steel, FlexStorm Pure inlet filters will fit any drainage structure and are available with site-specific filter bags providing various levels of filtration.

#### Applications

- Gas stations
- Commercial
- Loading ramps
- Industrial
- Gas stations
- Parking lots
- Dock drains
- Maintenance

Custom stainless steel frames are configured to fit into any drainage structure

Flow and bypass rates meet specific inlet requirements

Works below grade with bypass to drain area if bag is full

Installed and maintained by one worker, without additional equipment



### FlexStorm Pure Inlet Filters Specification

#### Material and Performance

The filter is comprised of a stainless steel frame and a replaceable geotextile filter bag attached to the frame with a stainless steel locking band. The filter bag hangs suspended below the grate that shall allow full bypass flow to the drainage structure. The bag is completely filled with sediment. The standard woven polypropylene "PCP" filter bags are rated for 200 gpm/sqft with a removal efficiency of 92% for filtering a USDA Sandy Loam sediment load. The post-construction PCP filter bags are rated for 137 gpm/sqft and have been third-party tested at 99% TSS removal.

#### Installation

1. Remove the grate from the inlet.
2. Clean debris from the ledges of the inlet.
3. Place the inlet filter onto the load bearing ledges of the structure.
4. Replace the grate and confirm it is not elevated more than  $\frac{1}{8}$ " (3 mm).

#### Frequency of Inspections

1. Inspection should occur following rain events greater than  $\frac{1}{2}$ " (13 mm).
2. Filter inspections should occur a minimum of three times per year, and in snowfall affected regions, inspections prior to and after snowfall season.
3. Industrial application site inspections (loading ramps, wash racks & maintenance facilities) to be scheduled on a recurring basis no less than four times per year or as needed.

#### Maintenance Guidelines

1. Empty the filter bag manually or by industrial vacuum taking care not to damage the geotextile bag when more than half filled or during scheduled inspection period.
2. Remove compacted silt from sediment bag and flush with medium spray.
3. "PCP" style bags should be pressed or wrung to recover retained oils.
4. Oil skimmer pouches solidify and darken when saturated, indicating time for replacement.
5. Dispose of all oil-contaminated products and recovered oils in accordance with EPA guidelines. Oil skimmer pouches, since a solidifier, will not leach and can be disposed of directly.
6. Inspect and replace bag if torn or punctured.

#### Filter Bag Replacement

1. Remove the bag by loosening or cutting off clamping band.
2. Take the new correctly sized sediment bag and secure hose clamping band to the frame channel as previously removed.
3. Ensure bag is secure and there is no slack around perimeter.

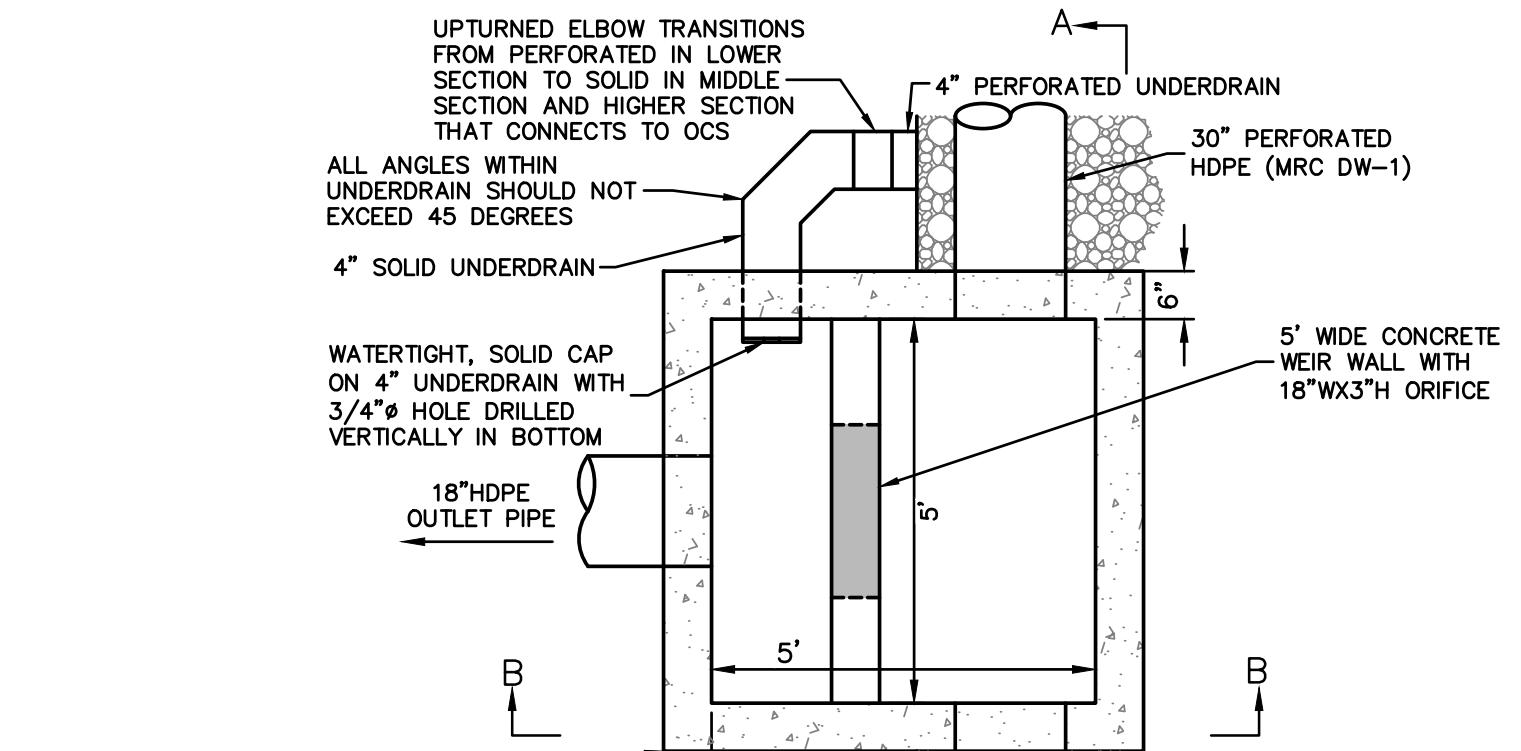
#### Build America, Buy America (BABA)

For any questions related to Build America, Buy America (BABA) Act compliance contact an ADS representative or email [flexstorm@adspipe.com](mailto:flexstorm@adspipe.com).

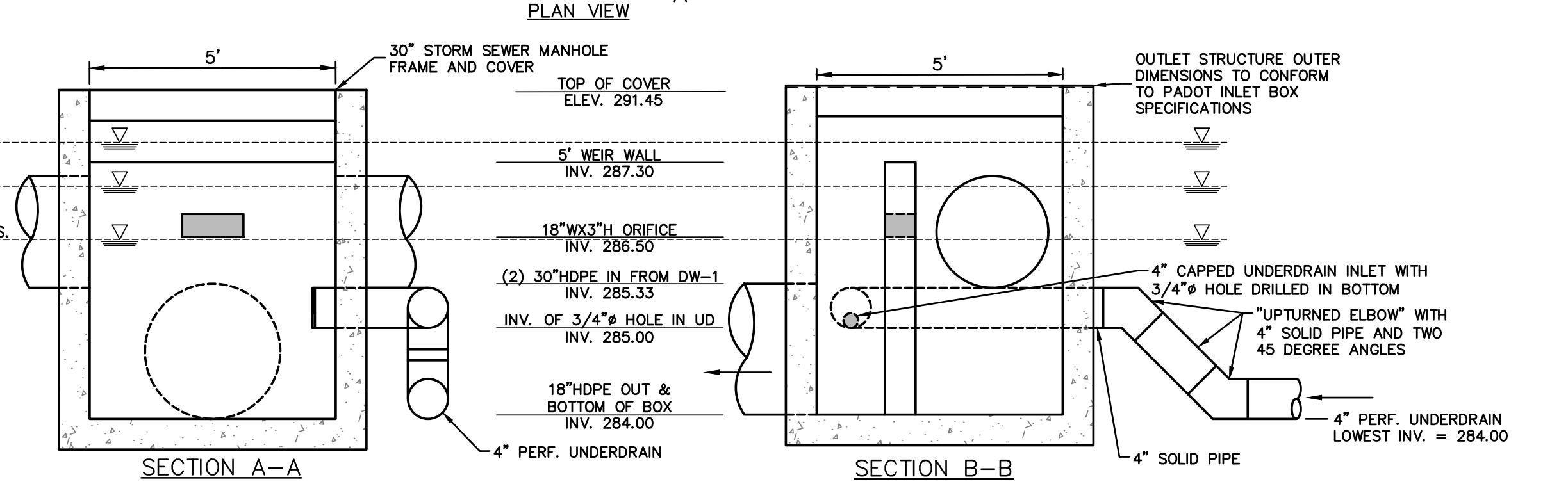


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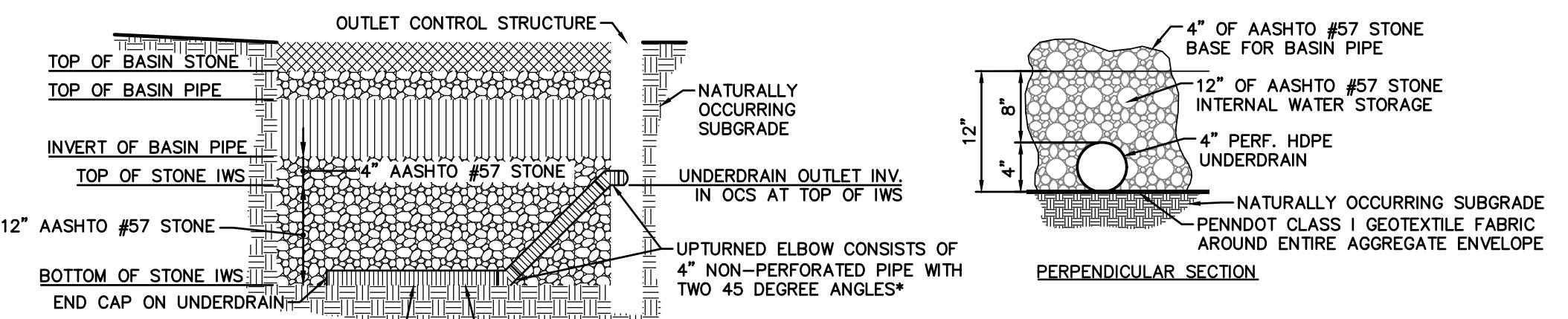
adspipe.com  
800-821-6710



OCS-1 DETAIL (SUBSURFACE MRC SCM 1)  
NOT TO SCALE

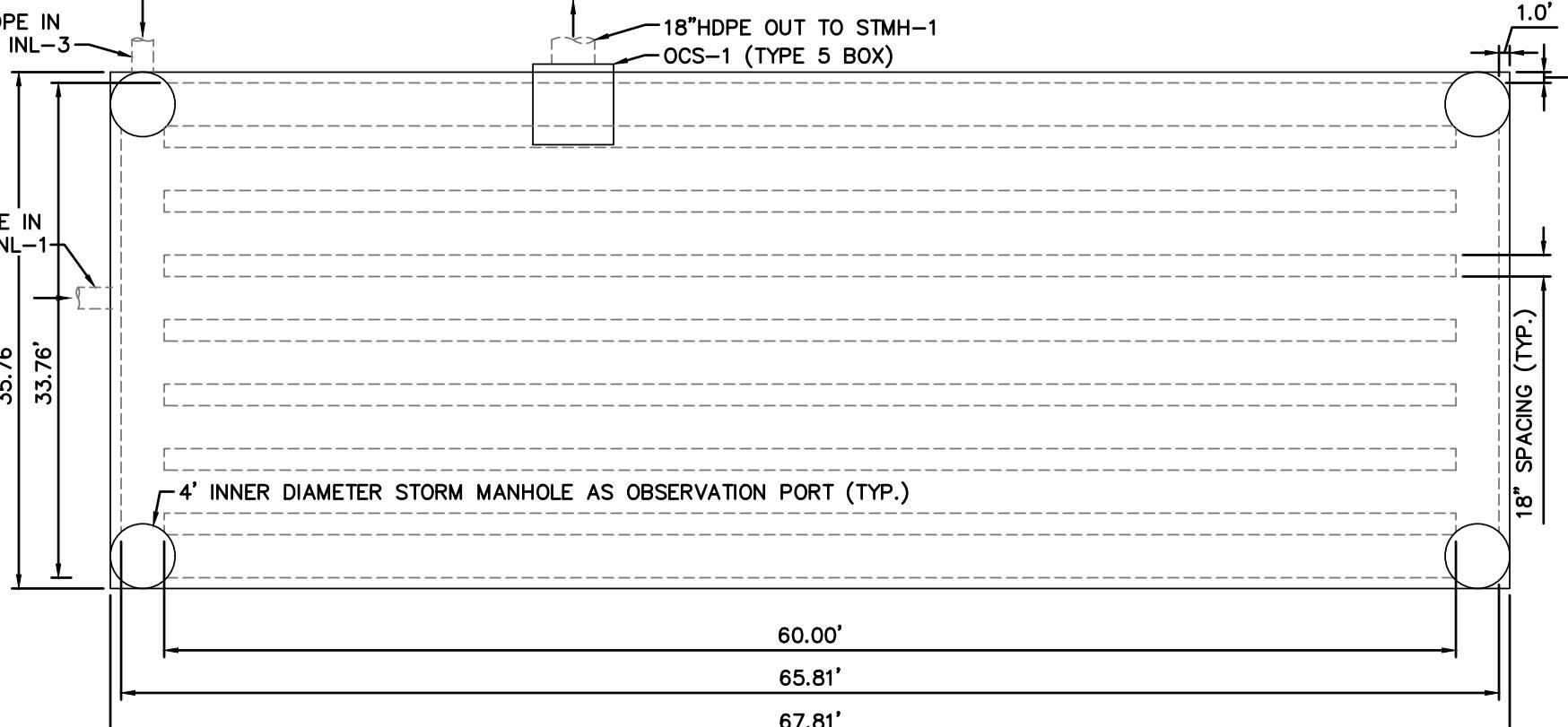


OCS-2 DETAIL (SUBSURFACE MRC SCM 2)  
NOT TO SCALE

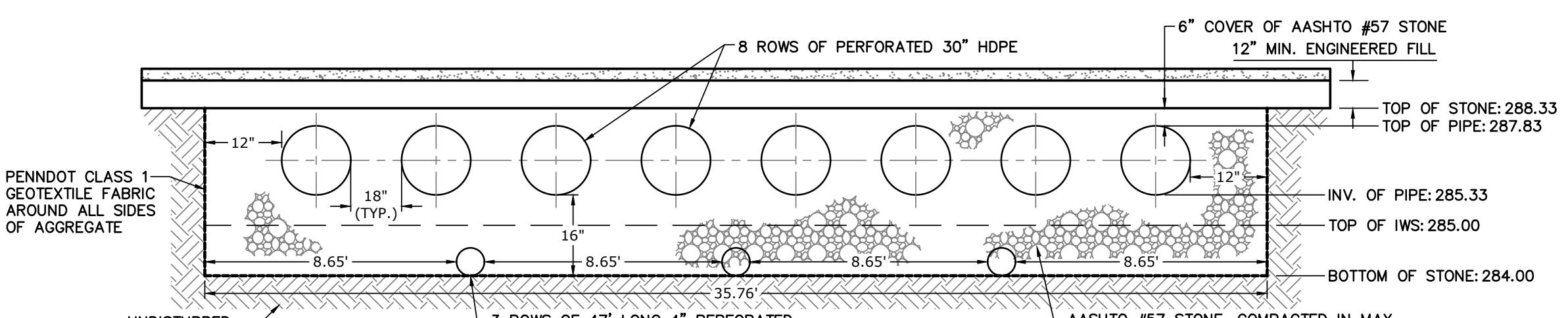
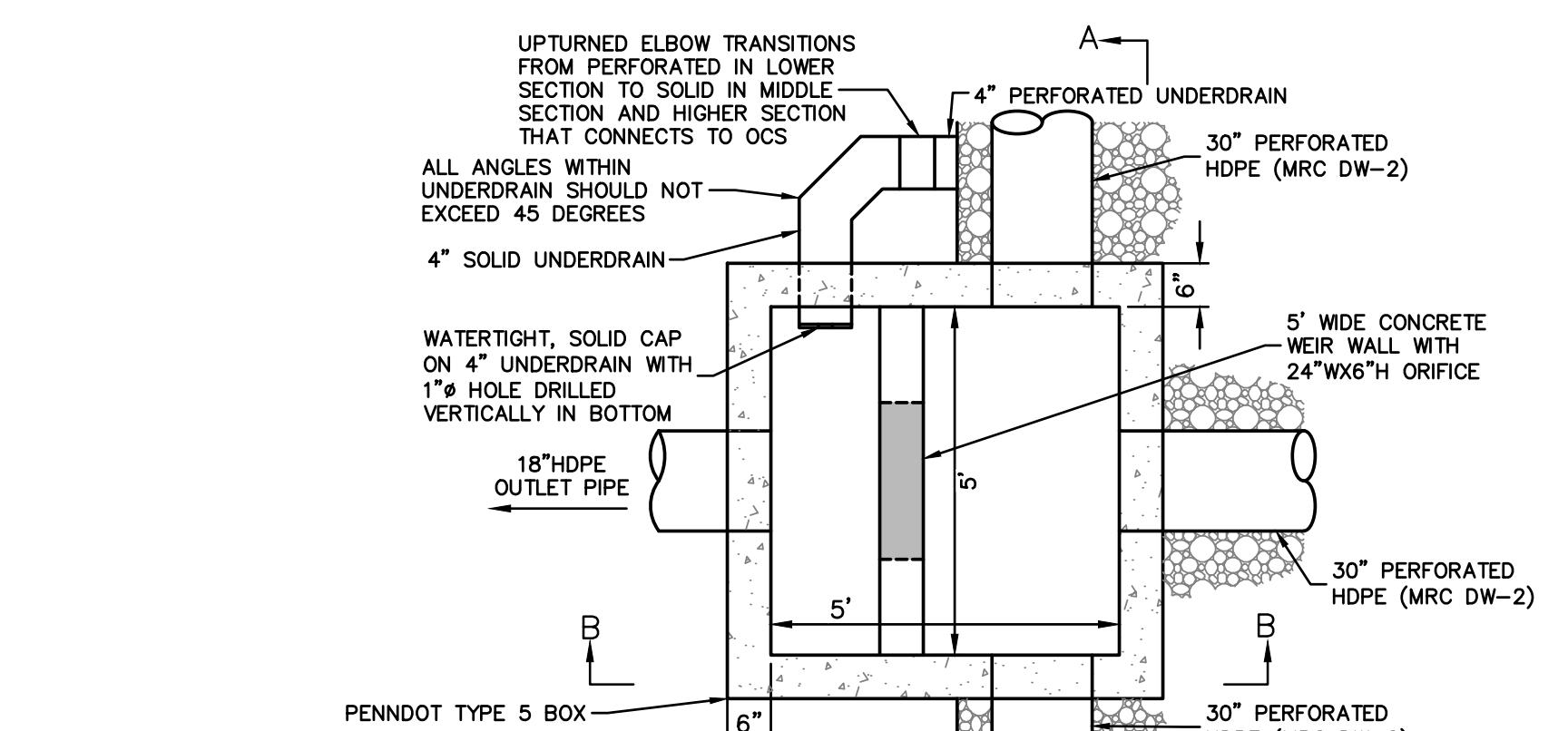


MRC BMP UNDERDRAIN DETAIL  
NOT TO SCALE

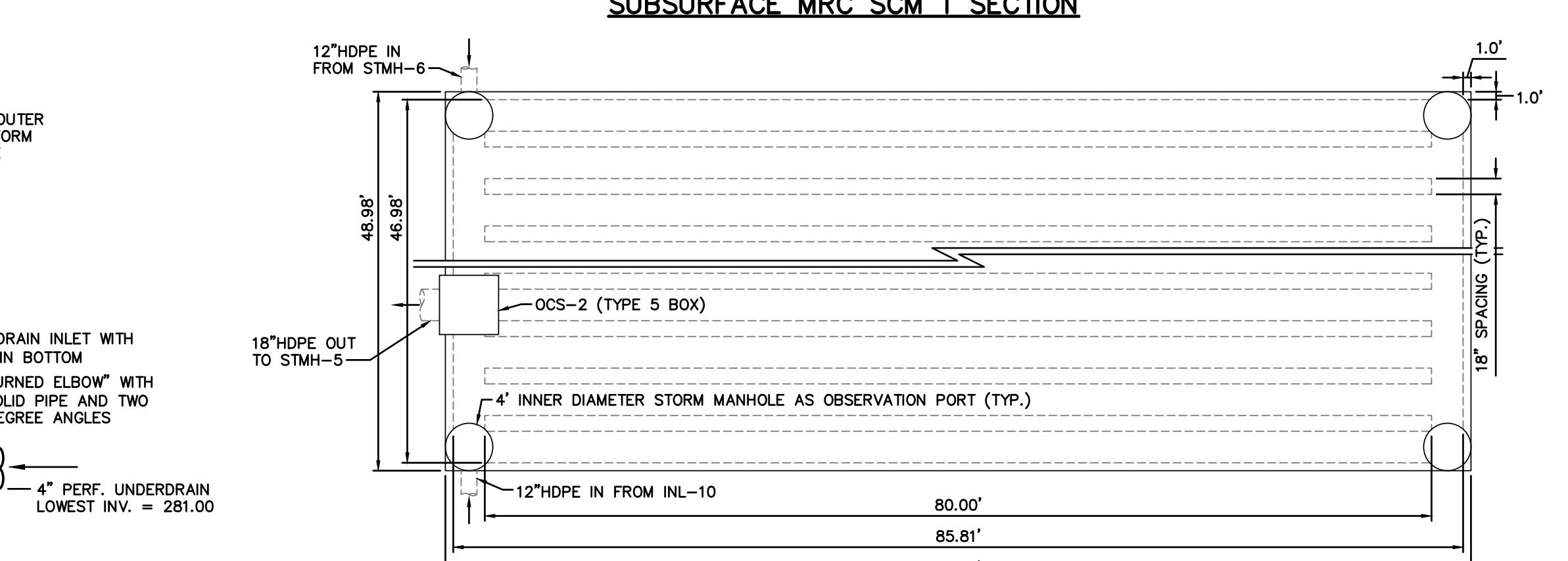
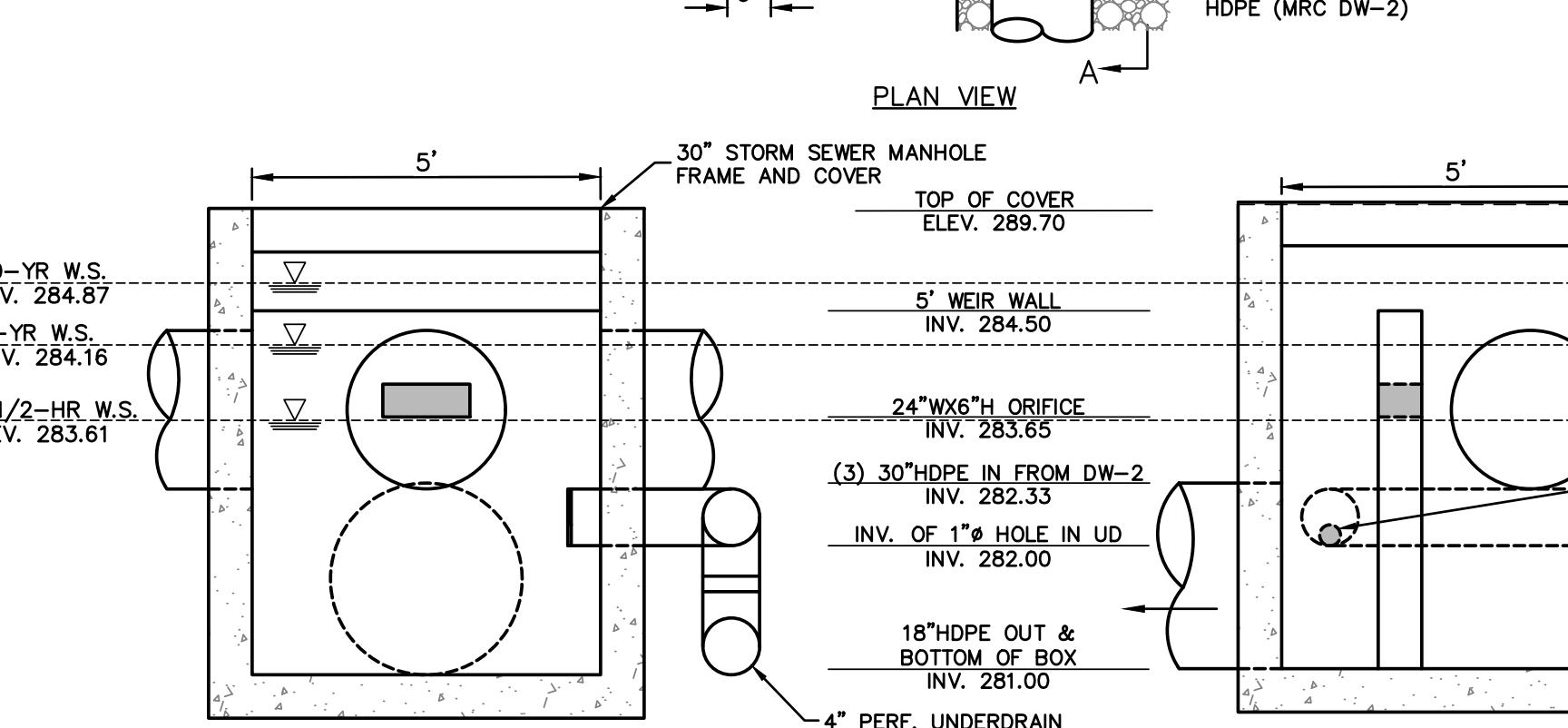
PCSM SCM	BOTTOM OF STONE	UD OUTLET INV. IN OCS (TOP OF IWS)	INV. OF PIPE	PIPE INFO	TOP OF PIPE	TOP OF STONE	1.2-IN STORM WATER ELEV	2-YR STORM WATER ELEV	100-YR STORM WATER ELEV	DESIGN INFILTRATION RATE
MRC SCM 01	284.00	285.00	285.33	30" HDPE	287.83	288.33	286.49	286.99	287.63	0.00 IN/H
MRC SCM 02	281.00	282.00	282.33	30" HDPE	284.83	285.33	283.61	284.16	284.87	0.00 IN/H



SUBSURFACE MRC SCM 1 PLAN VIEW



SUBSURFACE MRC SCM 1 SECTION

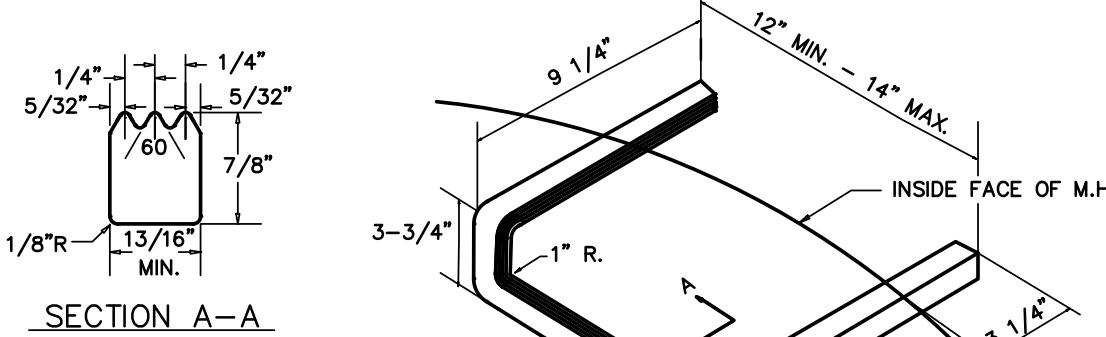


SUBSURFACE MRC SCM 2 PLAN VIEW

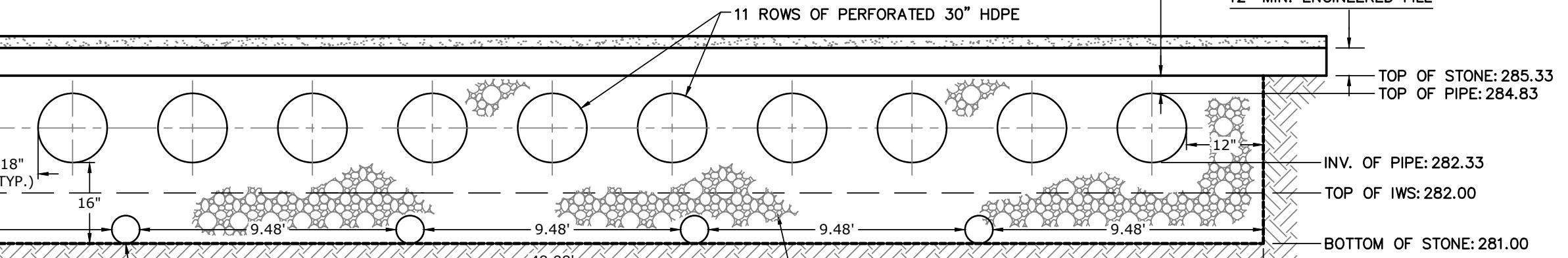
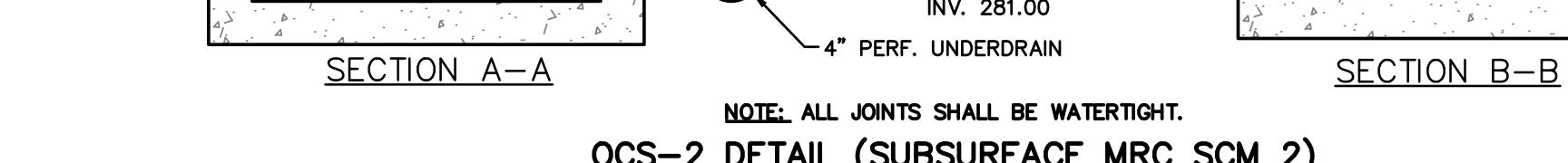


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800-821-6710



MANHOLE STEP  
NOT TO SCALE



SUBSURFACE MANAGED RELEASE CONCEPT (MRC) SCM DETAILS  
NOT TO SCALE

GILMORE & ASSOCIATES, INC.  
ENGINEERING & CONSULTING SERVICES

401 PLYMOUTH ROAD, SUITE 150, PLYMOUTH MEETING, PA 19462 • (610) 984-5495 • [www.gilmoreassoc.com](http://www.gilmoreassoc.com)  
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10/10/2025 PRELIMINARY & FINAL SUBMISSION

LAND DEVELOPMENT PLAN  
RENOVATIONS AND ADDITIONS FOR  
TOWNSHIP AND POLICE BUILDING  
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS

GILMORE & ASSOCIATES, INC.  
ENGINEERING & CONSULTING SERVICES

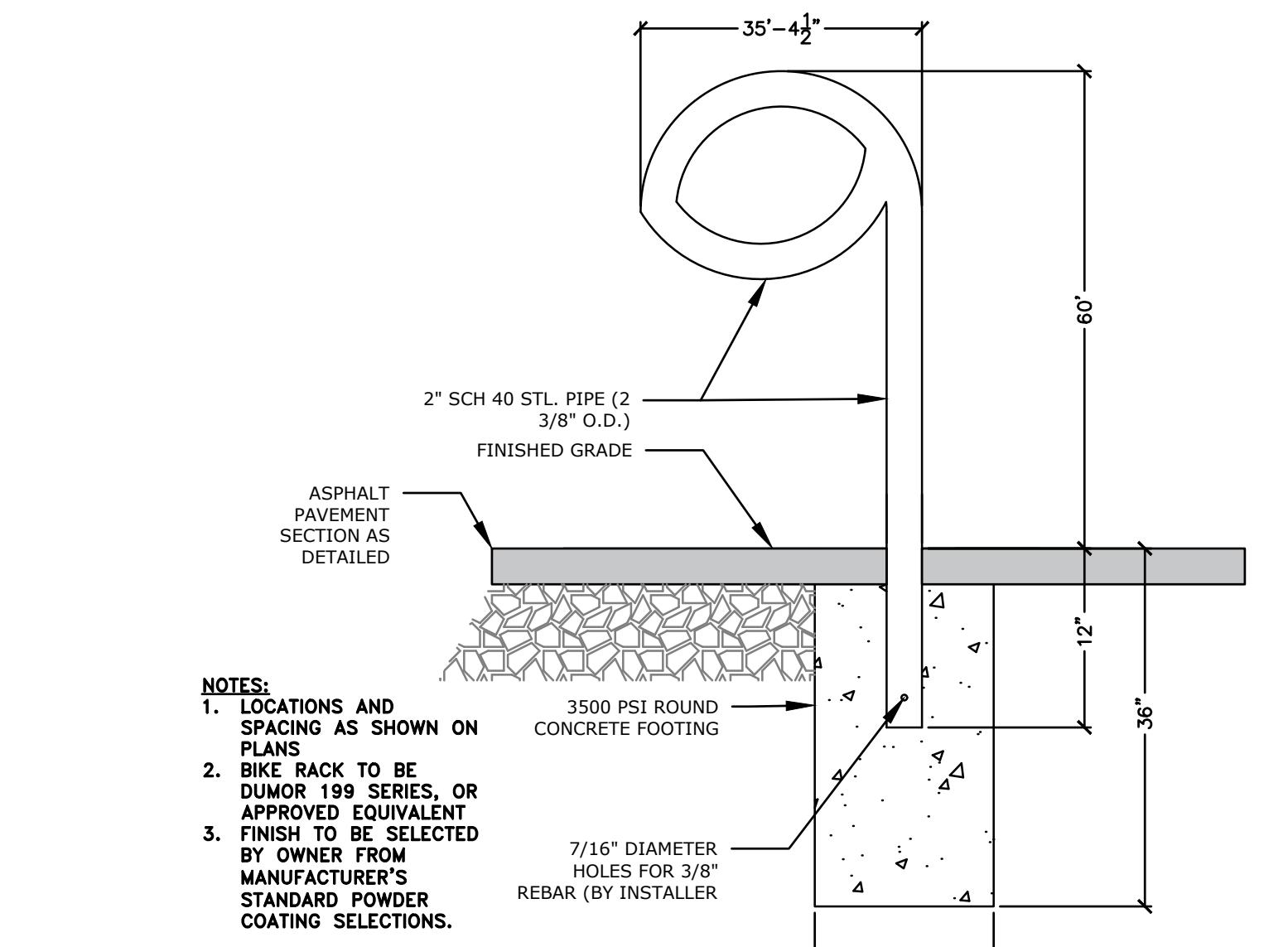
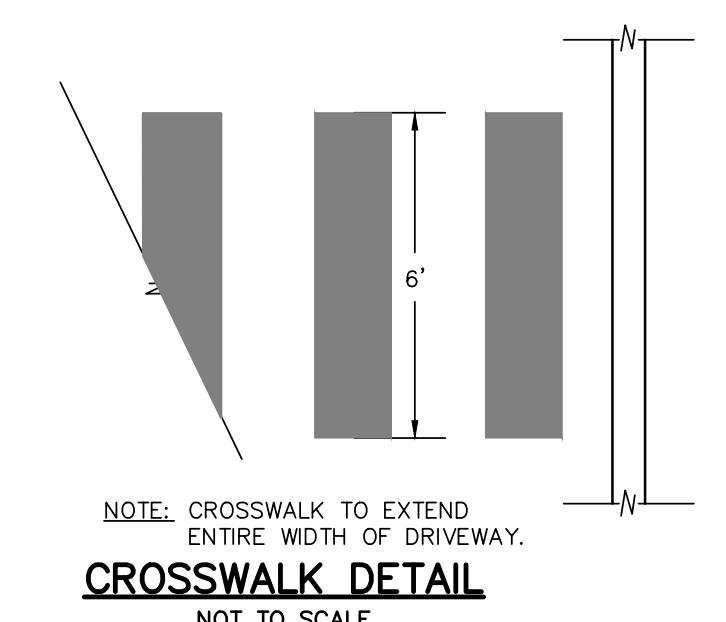
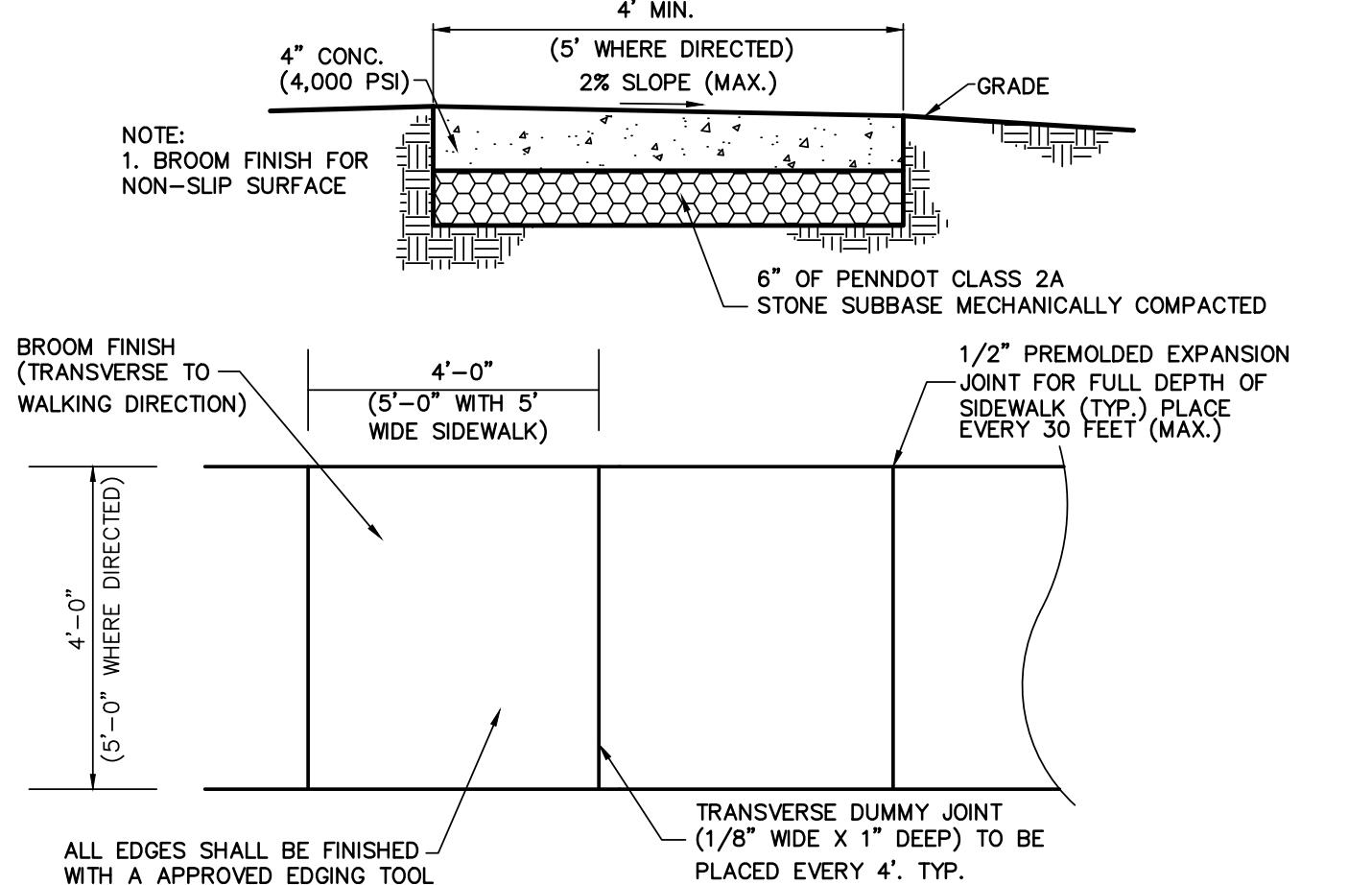
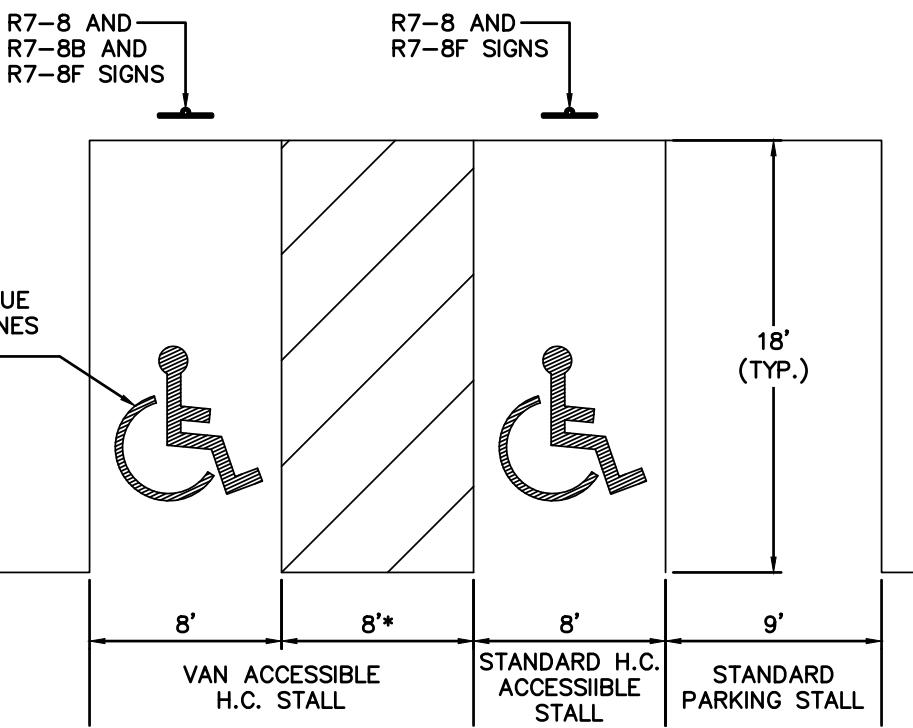
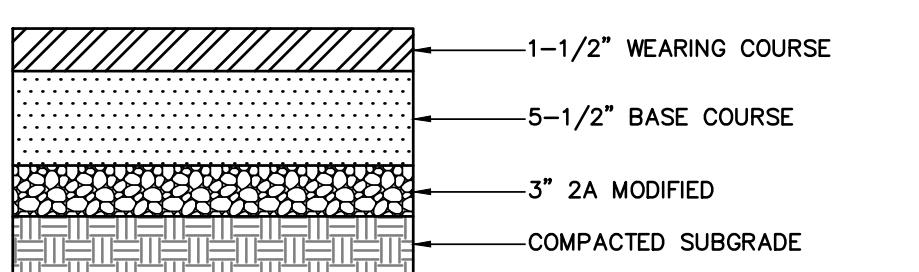
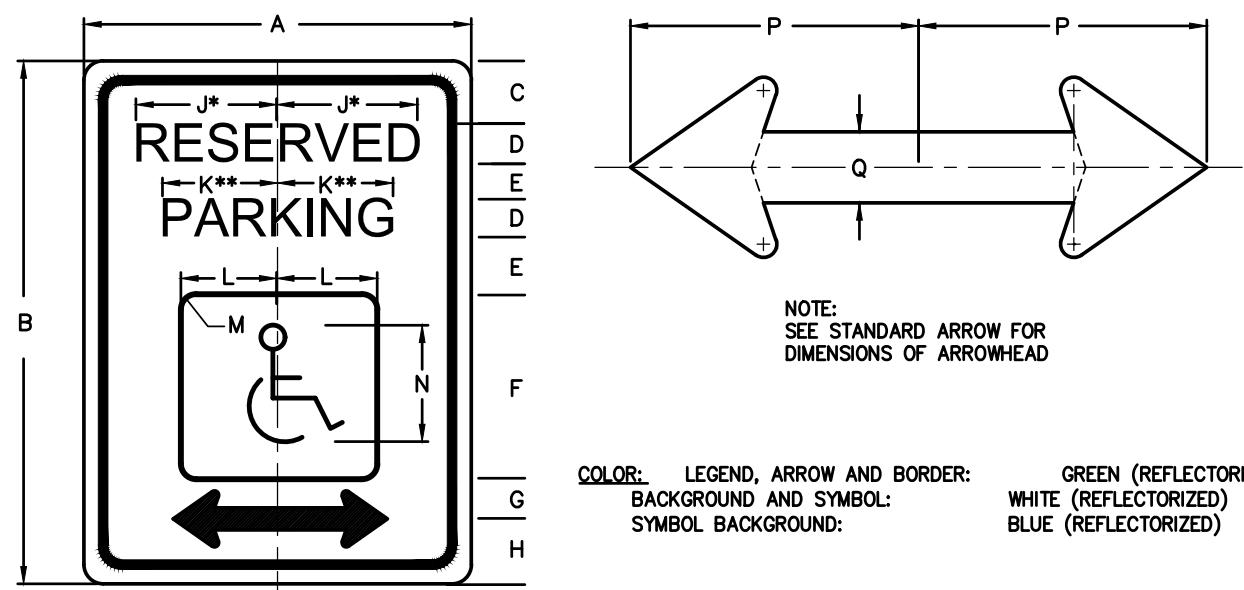
PROJECT NO.: 23-02039  
OWNERS INFO: UPPER MORELAND TOWNSHIP  
117 PARK AVENUE  
WILLOW GROVE, PA 19090  
(215) 659-3100

MUNICIPAL FILE NO.: N/A  
TAX MAP PARCEL NO.: 59-00-14053-00-9  
TOTAL AREA: 4.095 AC.  
TOTAL LOTS: 1

DATE: 8/28/2025  
SCALE: AS NOTED  
DRAWN BY: BMS  
CHECKED BY: JH  
SHEET NO.: 11 OF 15





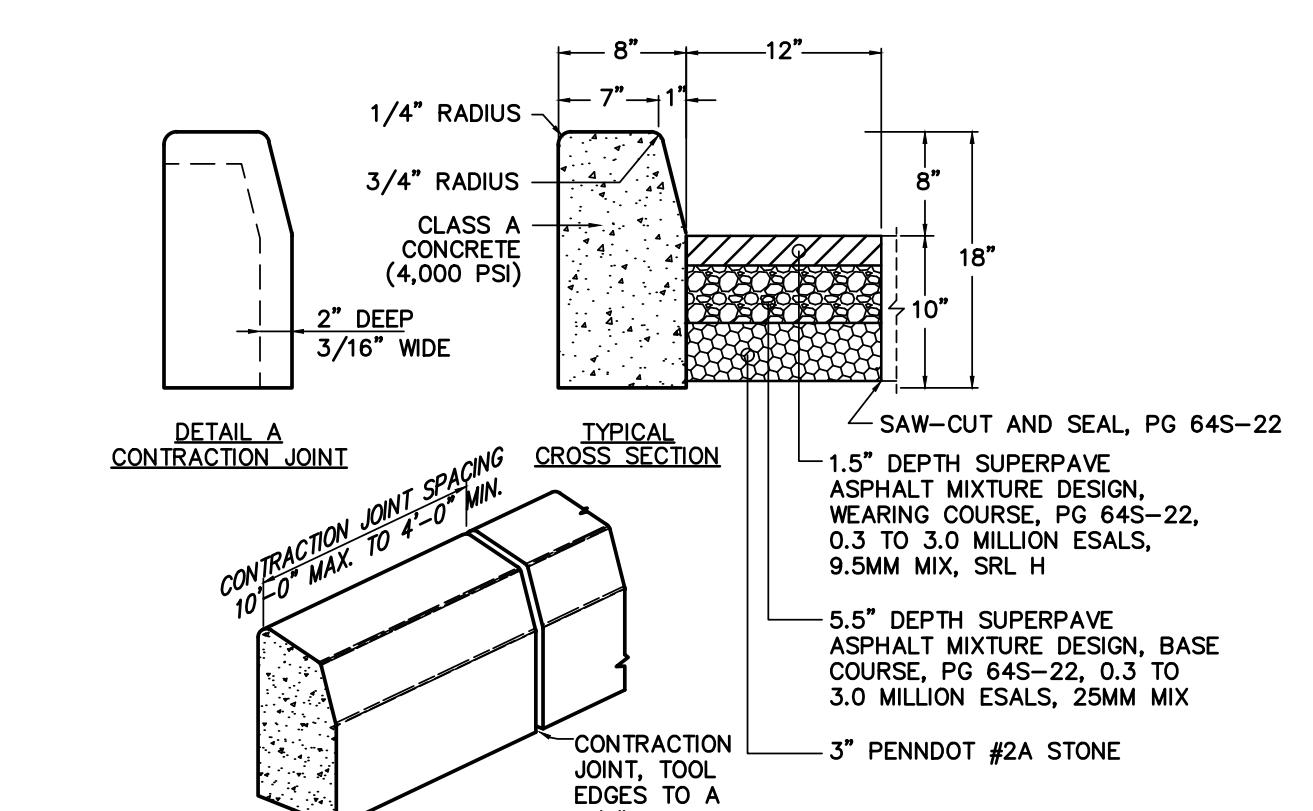
BIKE RACK DETAIL  
NOT TO SCALECROSSWALK DETAIL  
NOT TO SCALEHANDICAP ACCESSIBLE STALL STRIPPING DETAIL  
NOT TO SCALESTANDARD PAVEMENT SECTION  
NOT TO SCALERESERVED PARKING SIGN (R7-8)  
NOT TO SCALE

DIMENSIONS - mm (IN)													MARGIN	BORDER	BLANK STD.
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	N	P			
300 x 450 (12" x 18")	50 (2)	500 (20)	25 (1)	150 (6)	40 (1.6)	60 (2.4)	126 (4.9)	109 (3)	759 (30)	10 (0.4)	95 (3.8)	20 (0.8)	10 (0.4)	10 (0.4)	B5-300450 (B5-1218)
	* REDUCE SPACING 50%												** REDUCE SPACING 33%		

① PREMOLDED EXPANSION JOINTS TO BE PLACED EVERY 24 FEET OR 25 FEET (MAX) WHERE SIDEWALKS ARE REQUIRED TO BE 6 FEET WIDE. AT ALL LOCATIONS WHERE PAVEMENT OR SIDEWALK MEETS PROPOSED SIDEWALK, WHERE SIDEWALK ABUTS CURB OR OTHER SIMILAR STRUCTURES, AND WHERE SIDEWALK TRANSITIONS FROM 4" THICK TO 6" THICK (DRIVEWAY APRONS, ETC.)

② WITH ALL PROPOSED SIDEWALK, A NON-SLIP SURFACE TEXTURE SHALL BE BROOMED TRANSVERSE TO THE SLOPE OF THE SIDEWALK.

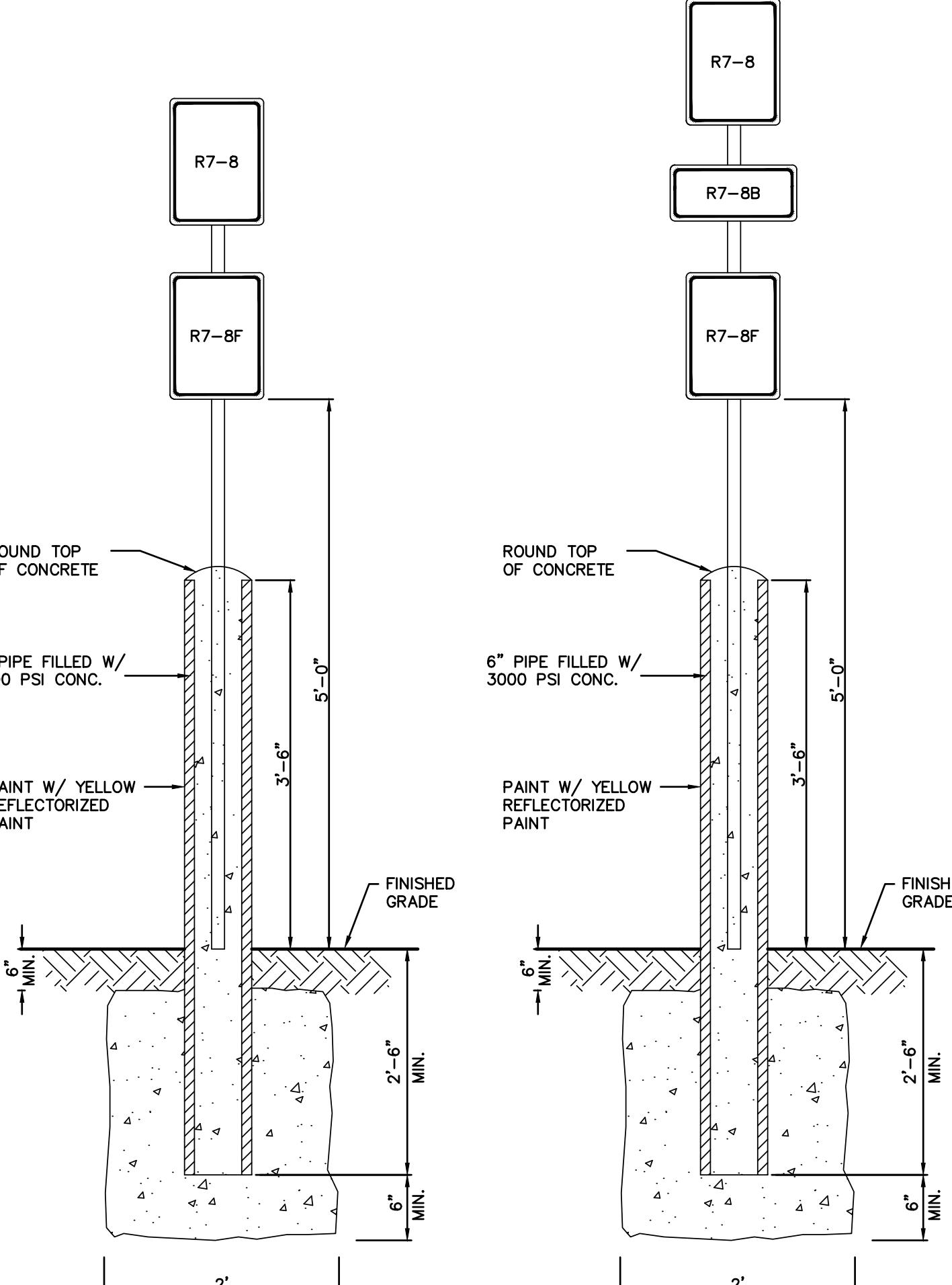
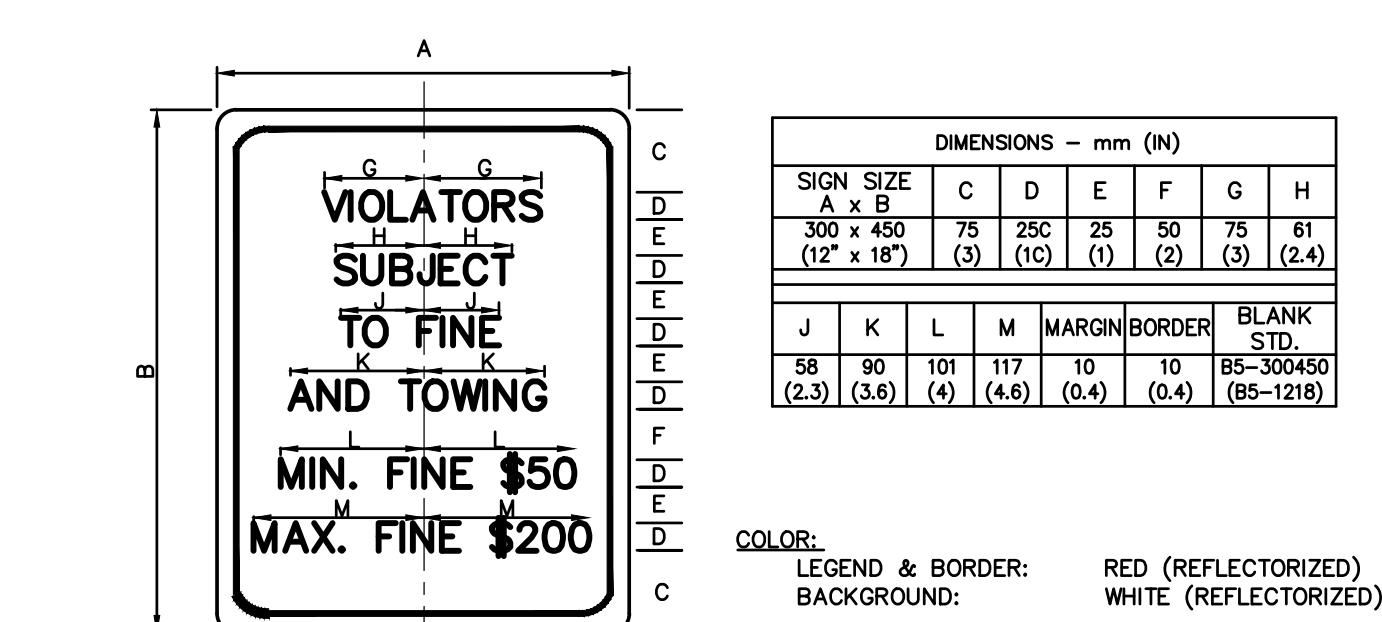
③ SIDEWALK SHALL BE CONSTRUCTED OF CLASS "A" CONCRETE (3,300 P.S.I.; TWENTY-EIGHT-DAY COMPRESSIVE STRENGTH). CERTIFICATION OF THE CONCRETE MIX (CLASSIFICATION) SHALL BE FURNISHED TO THE TOWNSHIP ENGINEER. CONCRETE SHALL BE PLACED IN FORMS THAT ARE STRAIGHT AND SECURELY BRACED. ALL SECTIONS OF SIDEWALK, PROPOSED TO BE SHARPLY CURVED, SHALL BE CREATED WITH CURVED FORMS. ALL SIDEWALK CURVES SHALL APPEAR SMOOTH. CARE SHALL BE TAKEN TO CONTROL THE WATER CONTENT OF CONCRETE TO PREVENT SEPARATION OF THE AGGREGATES. CONCRETE SURFACE TO TRANSVERSE DUMMY JOINTS AND THE CURB SHALL BE FINISHED WITH AN APPROVED EDGING TOOL. ALL HANDICAP RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT PENNDOT PUB-72M DETAILS AND PUB 408 STANDARDS.

TYPICAL SIDEWALK DETAIL  
NOT TO SCALE

1. PLACE 3/4" PREMOLDED EXPANSION JOINT MATERIAL EVERY 50 FEET (MAX) AND AT ALL DRIVEWAYS (DEPRESSED CURB CUTS), INLETS AND CURB RADII.  
2. DOWEL CURB RADII CURB ABUTS INLET HOODS.  
3. ALL EXISTING PAVEMENT PARKINGS SHALL BE REPLACED IN-KIND

PLAIN CEMENT CONCRETE CURB  
(INCLUDING REMOVAL OF EXISTING CURB)

NOT TO SCALE

HANDICAP ACCESSIBLE  
HANDICAP VAN ACCESSIBLE  
BOLLARD MOUNTED SIGN DETAIL  
NOT TO SCALERESERVED PARKING PENALTIES SIGN (R7-8F)  
NOT TO SCALE

DIMENSIONS - mm (IN)													MARGIN	BORDER	BLANK STD.
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	N	P			
300 x 450 (12" x 18")	75 (3)	250 (10)	25 (1)	50 (2)	75 (3)	50 (2)	75 (3)	61 (24)	58 (23)	90 (36)	101 (4)	117 (4.6)	10 (0.4)	10 (0.4)	B5-300450 (B5-1218)
	* REDUCE SPACING 50%												** REDUCE SPACING 33%		

DIMENSIONS - mm (IN)													MARGIN	BORDER	BLANK STD.
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	N	P			
300 x 450 (12" x 18")	75 (3)	250 (10)	25 (1)	50 (2)	75 (3)	50 (2)	75 (3)	61 (24)	58 (23)	90 (36)	101 (4)	117 (4.6)	10 (0.4)	10 (0.4)	B5-300450 (B5-1218)
	* REDUCE SPACING 50%												** REDUCE SPACING 33%		

DIMENSIONS - mm (IN)													MARGIN	BORDER	BLANK STD.
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	N	P			
300 x 450 (12" x 18")	75 (3)	250 (10)	25 (1)	50 (2)	75 (3)	50 (2)	75 (3)	61 (24)	58 (23)	90 (36)	101 (4)	117 (4.6)	10 (0.4)	10 (0.4)	B5-300450 (B5-1218)
	* REDUCE SPACING 50%												** REDUCE SPACING 33%		

DIMENSIONS - mm (IN)													MARGIN	BORDER	BLANK STD.
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	N	P			
300 x 450 (12" x 18")	75 (3)	250 (10)	25 (1)	50 (2)	75 (3)	50 (2)	75 (3)	61 (24)	58 (23)	90 (36)	101 (4)	117 (4.6)	10 (0.4)	10 (0.4)	B5-300450 (B5-1218)
	* REDUCE SPACING 50%												** REDUCE SPACING 33%		

DIMENSIONS - mm (IN)													MARGIN	BORDER	BLANK STD.
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	N	P			
300 x 450 (12" x 18")	75 (3)	250 (10)	25 (1)	50 (2)	75 (3)	50 (2)	75 (3)	61 (24)	58 (23)	90 (36)	101 (4)	117 (4.6)	10 (0.4)	10 (0.4)	B5-300450 (B5-1218)
	* REDUCE SPACING 50%												** REDUCE SPACING 33%		

DIMENSIONS - mm (IN)															
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	N	P	MARGIN	BORDER	BLANK STD.




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# **Exhibit B**

November 13, 2025

Mr. Paul Purtell  
Director of Code Enforcement  
Upper Moreland Township  
117 Park Avenue  
Willow Grove, PA 19090

RE: **Traffic Review – Land Development Plans**  
117 Park Avenue – Upper Moreland Township Municipal Complex  
Upper Moreland Township, Montgomery County, PA  
Project No. 310016-25-008

Dear Paul:

Per the request of the Township, Bowman Consulting Group (Bowman) has prepared this letter that summarizes our traffic engineering review of the proposed site modifications to be located at 117 Park Avenue in Upper Moreland Township, Montgomery County, PA. Based on our review of the plans submitted for review, the proposed site modifications include construction of an approximate 10,230 square-foot building addition to the Township Building and Police Station and parking lot modifications. Access to the site will be provided via the existing western driveway along Center Avenue, the existing eastern driveway along Center Avenue which will be relocated to the east, the existing eastern driveway along Park Avenue, and the existing western driveway along Park Avenue which will be modified to provide two-way traffic flow.

The following documents were reviewed and/or referenced in preparation of our traffic review:

1. Land Development Plans – Upper Moreland Township and Police Buildings Renovations and Additions, prepared by Gilmore & Associates, Inc., last revised October 10, 2025.
2. Waiver Request Letter – Upper Moreland Township and Police Buildings Renovations, prepared by Gilmore & Associates, Inc., dated October 10, 2025.

Based on our review of the documents listed above, Bowman offers the following comments for consideration by the Township:

1. The waiver requests include waivers from the following traffic-related ordinance requirements:
  - Section 300-15.B – requiring Park Avenue to have a minimum 30-foot cartway width (15 feet from the centerline).
  - Section 300-19.A(7) – requiring an 8-inch curb reveal throughout the site.
2. Sight distance measurements should be depicted on the plans at all driveway locations along Center Avenue and Park Avenue in accordance with **Section 295-15.C** of the **Subdivision and Land Development Ordinance**.
3. According to **Section 300-15.B(1)(b)[1]** of the **Subdivision and Land Development Ordinance**, Park Avenue should have an ultimate right-of-way width of 50 feet. The plans currently show a 40-foot right-of-way width along Park Avenue.

4. The "Authorized Use Only" sign on the eastern side of the eastern Park Avenue driveway should be replaced with an "Emergency and Authorized Use Only" sign. In addition, an "Emergency and Authorized Use Only" sign should be added to the plans on the western side of this driveway.
5. The existing "Stop" sign along the eastern site driveway approach to Park Avenue should be relocated closer to the crosswalk. A stop bar should be shown on the plans adjacent to this relocated "Stop" sign.
6. "Pedestrian Crossing" warning signs with a downward arrow plaque should be shown on the plans at the following locations:
  - On both sides of the crosswalks along the two drive aisles in the parking area to the north of administration and police buildings.
  - On both sides of the crosswalk along the western Park Avenue driveway.
7. A Cross Traffic Does Not Stop supplemental plaque should be added to the "Stop" sign on the northbound drive aisle approach of the internal intersection near the western Center Avenue driveway.
8. It is noted that in the future, the applicant for the proposed Willow Grove Shopping Center Redevelopment project will implement all-way stop control for the intersection of Park Avenue and the western driveway for the Municipal Building. If the proposed site walls shown on the plans will be constructed prior to the implementation of the all-way stop control, the height and location of the proposed site walls near the western Park Avenue driveway should be reviewed to ensure they will not restrict the sight distance line looking to the left from the western driveway.
9. Turning templates should be provided demonstrating the ability of a trash truck or the largest expected delivery truck to maneuver into and out of the driveways that will be accessible to these vehicles.
10. The two parking spaces located along the western Park Avenue driveway should be relocated to another portion of the site so that vehicles maneuvering into and out of these parking spaces do not interfere with vehicles entering the site from Park Avenue at this driveway.
11. The Township should consider whether the Township Building and Police Station project will be subject to the Township's Transportation Impact Fee in accordance with the Township's *Transportation Impact Fee Ordinance*.

If you or the Township have any questions, or require clarification, please contact me.

Sincerely,



Chad Dixson, AICP, PP  
Senior Project Manager

CED/BMJ

cc: Patrick Stasio, Upper Moreland Township Manager  
Sean Kilkenny, Esquire, Township Solicitor  
Jim Hersh, P.E., Gilmore & Associates

V:\310016 - Upper Moreland\310016-25-008 (TRN) - Township & Police Building\Engineering\Submissions\2025-10-21 LD Plans\Review\2025-11-13 Review Letter - 117 Park Avenue (Municipal Complex).docx

# **Exhibit C**

**MONTGOMERY COUNTY  
BOARD OF COMMISSIONERS**

NEIL K. MAKHIJA, CHAIR  
JAMILA H. WINDER, VICE CHAIR  
THOMAS DIBELLO, COMMISSIONER

[WWW.MONTGOMERYCOUNTYPA.GOV](http://WWW.MONTGOMERYCOUNTYPA.GOV)



**MONTGOMERY COUNTY  
PLANNING COMMISSION**

MONTGOMERY COUNTY • PO Box 311  
NORRISTOWN, PA 19404-0311  
610-278-3722  
[PLANNING@MONTGOMERYCOUNTYPA.GOV](mailto:PLANNING@MONTGOMERYCOUNTYPA.GOV)

SCOTT FRANCE, AICP  
EXECUTIVE DIRECTOR

November 7, 2025

Mr. Paul Purtell, Director, Planning, Zoning & Inspections  
Upper Moreland Township  
117 Park Avenue  
Willow Grove, Pennsylvania 19090-3215

Re: MCPC #23-0173-002  
Plan Name: Municipal Complex – Police Station  
(1 lot comprising approximately 2.97 acres)  
Situate: Park Avenue (south)/Center Avenue (north)/  
Easton Road (east)/Summit Avenue (west)  
Upper Moreland Township

Dear Mr. Purtell:

We have reviewed the above-referenced subdivision and land development or in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on October 21, 2025. We forward this letter as a report of our review.

**BACKGROUND**

Upper Moreland Township is proposing an expansion and updates to the municipal complex that would include an approximately 8,000 square foot addition to the township administrative portion at the main and lower levels of the building and an approximately 6,000-square foot addition to the police department at the main level. The proposed changes to the municipal complex would include a reconfiguration of public entrances, with accessible entrances on both the Cedar Avenue and Park Avenue sides of the building. Additional improvements include pedestrian connections to the municipal building from Center Avenue, accessible public entrances, and open space and trees around the municipal building and along the streets.

Parking lots and open spaces around the complex would be reconfigured to create more open space behind the library where parking currently exists, and to separate the public parking lot and the secured parking lot for the police department.

We reviewed the previously submitted zoning map amendment for this site in a letter dated May 9, 2023, and we reviewed a previously submitted proposal for this site in a letter dated September 14, 2023.



## COMPREHENSIVE PLAN COMPLIANCE

The proposal is generally consistent with *MONTCO 2040: A Shared Vision*, which designates the area as "Regional Mixed-Use Center" future land use category. The proposal is also consistent with *Upper Moreland 2040*, the Upper Moreland Township Comprehensive Plan. The property is located in an area that straddles the Town Center and the Town Residential future land use categories. Development in the Town Center should be pedestrian-oriented and exhibit high-quality design. Due to the abutting Town Residential areas, any future development should be considerate of the residential neighborhoods.

## RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the township's proposal; however, in the course of our review we have identified the following issues that the township may wish to consider prior to final plan approval. Our comments are as follows:

## REVIEW COMMENTS

### PUBLIC SPACES

- A. Public Library and Municipal Building Entrances. We encourage the township to consider the relationship between the municipal building and the public library. The one-way driveway that is currently located between the library and municipal building would be converted to a two-way driveway from Park Avenue that would separate the entrances to the municipal building and the public library. We suggest considering a raised crosswalk between the two buildings to slow cars entering and leaving the site and to create a safer pedestrian connection between the buildings. In addition, with the existing plaza in front of the public library as well as the expanded sidewalk around the new public entrance, this space will likely become a gathering space due to the number of people who will be walking in and around the two buildings.
- B. Public Plaza. We recommend considering the design and location of the public plaza. Based on the renderings provided, the public plaza on Park Avenue appears to consist of a widened sidewalk with benches that cuts off the old main entry. The location of the public plaza seems detached from the township building itself, as there is no connection from the sidewalk up the steps to the former main entrance. Regarding the visual relationship of the wall behind the plaza, we feel that using two materials disconnects the plaza wall from the Upper Moreland Township wall sign.

We appreciate the widened sidewalk along that portion of Park Avenue; however, we suggest considering how the public plaza could be shifted closer to and oriented towards the new entrance on Park Avenue, which would create a more active and inviting gathering space with direct connection to the township building. Creating a public plaza near the Park Avenue entrance would also reinforce the relationship between the library and municipal buildings.

- C. Open Space Programming. Based on the site plans provided, there appears to be an open space behind the municipal building. We recommend that this space be treated as an outside space where people could sit while eating lunch or waiting for a meeting.

## LANDSCAPING

- A. Parking Lot Landscaping. We recommend that a tree be added to the center parking lot island. A waiver is requested from SALDO Section 300-43.D(1)(d) to not provide trees in some parking lots islands, due to the inclusion sidewalks and ramps through the parking lot. We understand that this may require the removal of one or two parking spaces to accommodate the pedestrian walkway; however, we encourage the township to consider the aesthetic and environmental benefits of adding another shade tree to the parking lot, which would shade the pedestrian walkway.
- B. Fence Foundation Landscaping. We recommend planting additional landscaping along the perimeter of the chain link fence around the police parking lot. The police parking lot would be secured with a fence and gate, and trees would be planted around the parking along the interior side of the fence. A sidewalk is proposed along the outside of the fence, along Cedar Avenue and along the west side of the public parking lot. To soften the appearance of the fence and to improve the pedestrian experience, we suggest planting additional shrubs along the foundation of the fence.

## PEDESTRIAN CONNECTIVITY AND PUBLIC ENTRANCES

Based on the site plans provided, it appears that the sidewalk along Center Avenue would be widened and set further back from the street, which we commend, as it will improve the pedestrian experience.

- A. Building Entrances. We recommend considering how to treat the front of the building as well as the old entrances. It appears that the new configuration of the building and entrances does not use the old entrances along Park Avenue for the municipal administration or Police Department. The proposed plans show the existing walkway to the stairs, but the walkway does not lead to an active entrance (as is also referenced in comment B. Public Plaza).
  1. *Police Department Accessible Ramp*. The old Police Department entrance on Park Avenue could be accessed by a ramp from the sidewalk along Park Avenue. However, there is no sidewalk along the vehicular driveway from the sidewalk to the ramp, creating a gap in the pedestrian network. If the ramp and entrance are intended to be used by the public, the rehabilitation of the municipal complex may be an opportunity to address the accessibility of this entrance.

## TRANSPORTATION

- A. Vehicular Parking. There are currently parallel parking spaces in front of the side entrance to the township building; the proposal would keep two parallel parking spaces in that location. If these are planned to be used as loading or drop-off spaces, we recommend that they be indicated as such on the plans and that signage be provided to clearly show that they are for temporary parking only.
- B. Bike Parking. We recommend that the township install bike racks adjacent to the municipal complex entrances.

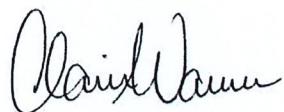
## CONCLUSION

We wish to reiterate that MCPC generally supports the township's proposal but we believe that our suggested revisions will better achieve Upper Moreland's planning objectives for development in the Willow Grove.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number (23-0173-002) on any plans submitted for final recording.

Sincerely,



Claire Warner, Principal Community Planner I  
[Claire.Warner@montgomerycountypa.gov](mailto:Claire.Warner@montgomerycountypa.gov) – 610-278-3755

c: Patrick Stasio, Township Manager  
Jennifer Mullen, Chair, Township Advisory Planning Agency  
Alex Baumler, Township Solicitor

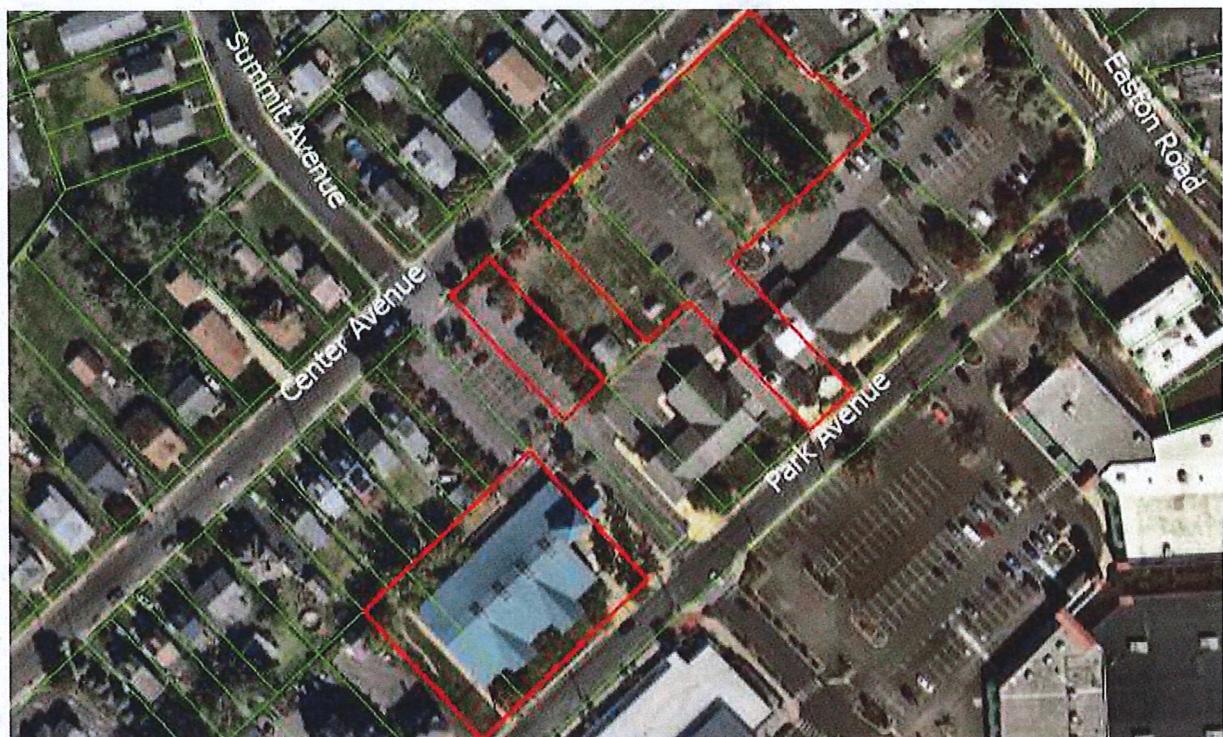
Attachment A: Aerial Image of Site

Attachment B: Reduced Copy of Applicant's Proposed Site Plan

Mr. Paul Purtell

- Attachment A -

November 7, 2025



Municipal Complex  
MCPC#230173002

Montgomery  
County  
Planning  
Commission  
Montgomery County Courthouse - Planning Department  
PO Box 111, Ambler, PA 19002-0111  
(484) 239-3133, (484) 239-3041  
[www.montgomerypa.gov](http://www.montgomerypa.gov)  
Aerial photography provided by Aerialmap

0 50 100 200 Feet



Mr. Paul Purtell

- Attachment B -

November 7, 2025

# **Exhibit D**

Advisory Planning Agency  
November 20, 2025

Minutes

A meeting of the APA was held on November 20, 2025 at 5:00 PM in the UMT Building. Members present included Chair Jennifer Mullen, Jay Silverman, Landon Synnestvedt, Arlene Rubin & Claire Warner from the MCPC. Absent: George Hartman, Christian Henderson & Fred Standaert.

**Land Development**

Upper Moreland Twp Municipal Complex Land Development Application. Brian Studer, PE, Twp Engineer from Gilmore & Associates and Matt Jones, Twp Architectural Consultant from GKO, were present to discuss the land development application for Upper Moreland Twp at 117 Park Avenue. Brian Studer gave an overview of the project which will include building additions to both the administration building and the police department along with associated site work, parking lot configuration and stormwater management. Interior alterations are also planned for the building. Mr. Studer commented that they have reviewed the Twp Traffic Engineer's comments along with the MCPC review comments and are working to address those items.

Matt Jones gave an overview of the proposed interior alterations to include new and improved entrances to the Twp and police buildings along with accessibility improvements and better interior flow for employees and visitors.

Claire Warner from the MCPC discussed her 247 review, dated 11/7/25, concerning pedestrian access from library to administration building, the public plaza, parking lot landscaping and fence screening along Easton Road & Center Avenue.

Brian Studer commented that they can take a look at a raised pedestrian crossing but do not want to block the flow of stormwater at base of raised area. The APA made comments about the landscaping at base of fences along Easton Road & Center Avenue. Mr. Studer said they can certainly move the fence back a bit from Center Avenue in order to provide some base landscaping at that location along with Easton Road frontage. They will also remove the parallel parking space along the drive off Park Avenue to avoid a potential stacking issue per both the Twp Traffic Engineer comments and MCPC.

Paul Purtell commented that while benches are not proposed in the open space areas at this time, the Twp can certainly take a look at it down the road to see if there is a need. The open space area alongside the library may also get some sort of play equipment or other amenities in the future.

Jay Silverman commented on the proposed parking lot configuration and distance from parking areas to library entrance is not ideal.

Paul Purtell commented that Twp staff and the BOC had wanted more green area/open space on the site from previous versions. Visitor parking, including accessible parking spaces, were added adjacent to the library while also keeping open space alongside the library and elsewhere on the site.

Jennifer Mullen made a motion to recommend approval of the land development application subject to the Twp complying with the recommendations made by the MCPC in their 247 review, dated 11/7/25; seconded by Arlene Rubin.

Jennifer Mullen: Yay  
Landon Synnestvedt: Yay  
Arlene Rubin: Yay  
Jay Silverman: Nay

#### **Old Business**

Paul Purtell commented that Claire Warner will be presenting an update on the Walkability Audit to the Community Development Committee at the November 24<sup>th</sup> meeting.

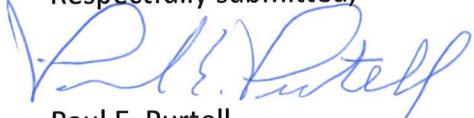
#### **New Business**

The APA cancelled the December 18, 2025 meeting.

No further business.

Meeting adjourned at 5:50 PM.

Respectfully submitted,



Paul E. Purtell  
Director, Code Enforcement

# TOWNSHIP OF UPPER MORELAND

*Montgomery County, Pennsylvania*

117 Park Avenue, Willow Grove, PA 19090-3215  
Telephone (215) 659-3100 / Fax (215) 659-7363

## COMMISSIONERS

KIP McFATRIDGE  
*President*  
CHERYL LOCKARD  
*Vice President*  
JARED JACOBS  
DEMOND MULLEN  
BENJAMIN W. OLSZEWSKI  
NICHOLAS O. SCULL  
CHARLES M. WHITING



## OFFICIALS

PATRICK T. STASIO  
*Township Manager*  
JOHN D. BATES  
*Assistant Township Manager/Director of Finance*  
ALEX H. LEVY  
*Township Treasurer*  
SEAN P. KILKENNY, ESQ.  
*Township Solicitor*

## Agenda Summary

### Community Development Committee Meeting – November 24, 2025

**Agenda Item:** **2021 International Property Maintenance Code**

**Prepared By:** Paul E. Purtell, Director of Code Enforcement

**Attachments:** Proposed ordinance with existing amendments

**Background/Analysis:** Upper Moreland currently enforces the 2015 International Property Maintenance Code (IPMC). The Pennsylvania Uniform Construction Code (UCC), under the Pennsylvania Department of Labor & Industry, is set to move to the 2021 International Code Council (ICC) series, effective January 1, 2026. While the IPMC is not required under the UCC, Upper Moreland Township has adopted this code on their own in order to create a standard for property owners and the Township, to follow on existing buildings and properties. The adoption of the 2021 IPMC will align with the 2021 ICC Code series.

**Fiscal Impact/Source:** N/A

**Alternatives:** N/A

**Staff Recommendation:** Authorize Township Solicitor to advertise an Ordinance for adoption at the Board of Commissioners Regular Meeting in January.

# TOWNSHIP OF UPPER MORELAND

*Montgomery County, Pennsylvania*

117 Park Avenue, Willow Grove, PA 19090-3215

Telephone (215) 659-3100 / Fax (215) 659-7363

## COMMISSIONERS

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NICHOLAS O. SCULL

CHARLES M. WHITING



## OFFICIALS

PATRICK T. STASIO

*Township Manager*

JOHN D. BATES

*Assistant Township Manager/*

*Director of Finance*

ALEX H. LEVY

*Township Treasurer*

SEAN P. KILKENNY, ESQ.

*Township Solicitor*

## Agenda Summary

### Community Development Committee Meeting – November 24, 2025

**Agenda Item:**

**Amusement Device Appeal for 425 W. Moreland Road**

**Prepared By:**

Paul E. Purtell, Director of Code Enforcement

**Attachments:**

Appeal request, Notice of Violation, permit application and denial letter

**Background/Analysis:**

The business owner of Lucky 7 Deli has appealed the denial of the permit application to operate three (3) amusement devices within 300' of a residential district and/or use. Chapter 65 of the Upper Moreland Twp Code prohibits such devices within this area.

**Fiscal Impact/Source:**

Permit fees and business tax on amusement devices

**Alternatives:**

Deny request

**Staff Recommendation:**

The Committee recommends the Board of Commissioners consider request and move to the Regular Meeting on December 1, 2025.

Equal Opportunity Employer

VISIT US ON THE WEB @ [www.uppermoreland.org](http://www.uppermoreland.org)

RECEIVED

OCT 15 2025

Almas Ahmad  
Lucky 7 Deli  
2638 W. Moreland Road Willow Grove, PA 19090  
Phone: (609) 516-8981

UPPER MORELAND  
CODE ENFORCEMENT

October 7, 2025

Upper Moreland Township Board of Commissioners Attn: Community Development Committee  
117 Park Avenue Willow Grove, PA 19090  
Subject: Appeal of Denial – Amusement Device License Application Location: 425 W. Moreland  
Road

Dear Members of the Board,

I am writing to formally appeal the recent denial of my application to place and maintain three (3) amusement devices at my business located at 425 W. Moreland Road, Willow Grove, PA 19090.

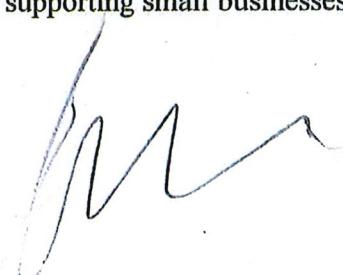
I fully understand the zoning regulations outlined under Upper Moreland Township Code Chapter 65, Section 65-10, which restrict amusement devices within 300 feet of a residential district. However, I respectfully request that the Board of Commissioners review my case and consider granting an exception or variance due to the following reasons:

1. Community Benefit: The amusement devices are intended solely for customer entertainment in a safe, family-friendly, and well-monitored environment. They will not create noise disturbances or negatively affect nearby residential areas.
2. Business Sustainability: As a small business owner, these devices provide modest additional income that helps keep operations running smoothly and supports local jobs.
3. Willingness to Comply: I am committed to meeting all township requirements regarding spacing, safety, and layout. A detailed floor plan showing the proposed device locations, including 30 square feet of usable store area per device, is attached.

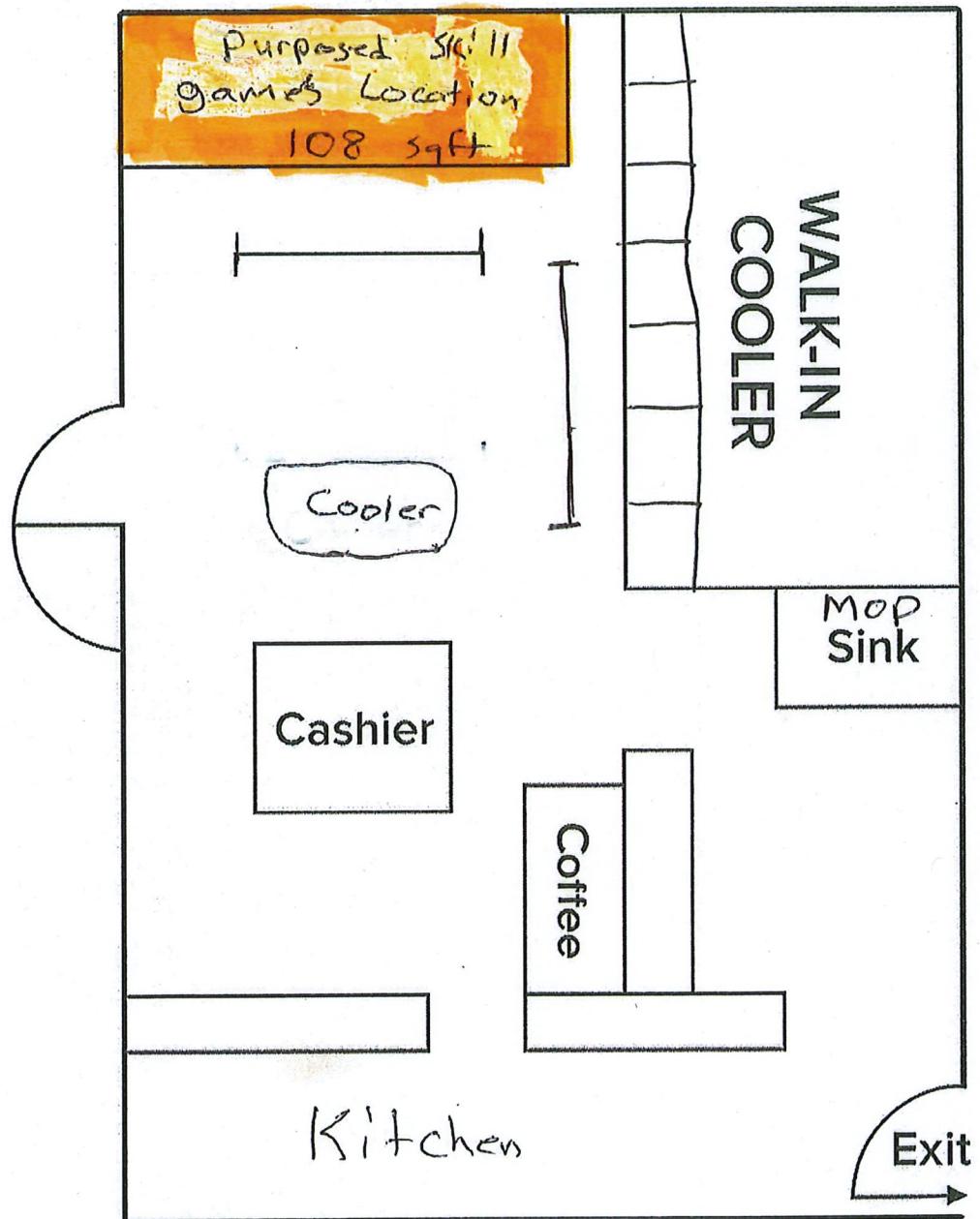
I respectfully request that this appeal be placed on the agenda for the next available Community Development Committee meeting so I can present my request in person.

Thank you for your time and consideration. I greatly appreciate the Township's commitment to maintaining community standards while supporting small businesses like mine.

Sincerely,  
Almas Ahmad  
Lucky 7 Deli; 609-516-8981



10/17/25 - cc: T.S., K.M., P.S. 11/24/25 CDS Agenda



Hold File

# Township of Upper Moreland

117 Park Avenue

WILLOW GROVE, MONTGOMERY COUNTY, PENNSYLVANIA 19090

Telephone (215) 659-3100 Ext. 1032/1033 / Fax (215) 659-8899



Paul E. Purtell  
Director of Code Enforcement

October 1, 2025

Almas Ahmad  
2638 W. Moreland Road  
Willow Grove, Pa. 19090

Re: 425 W. Moreland Road Amusement Device License Application

Dear Mr. Ahmad,

I have reviewed your license application to place and maintain three (3) amusement devices at the referenced property and your application has been deemed Not Approved.

Upper Moreland Twp. Code Chapter 65, Section 65-10 prohibits placement of any amusement devices within three hundred (300') of a residential zoning district. The entrance to your store is less than 300' from the adjacent residential district. Additionally, as the property is now zoned CMU-commercial mixed-use, amusement devices are not permitted in this district.

Please remove the three (3) amusement devices within 10 days from the date of this letter but not later than October 11, 2025. Failure to remove the machines within the specified time could result in fines of up to \$600 + costs for each day that the machines remain.

If you wish to appeal this denial you may do so by filing such appeal to the Upper Moreland Twp Board of Commissioners. In order to be considered for an appeal the following documentation will be required:

- A letter requesting an appeal to the amusement device license application denial.
- A floor plan of the store indicating location of proposed devices. Such plan to include dimension and compliance of 30 square feet of useable store area per device.

Once the appeal is received you will be placed on the agenda of a future Community Development Committee meeting at which time you will present your request. The date and time will be confirmed once the application is received.

October 1, 2025  
425 W. Moreland Road  
Page 2 of 2

If you have any questions please feel free to contact me at 267-607-1034.

Truly Yours,



Paul E. Purtell  
Director, Code Enforcement

Cc: Pat Stasio  
Bob Rosser  
George Kyriakodis



Upper Moreland Township  
117 Park Avenue  
Willow Grove, PA 19090  
215-659-3100  
215-659-8899 (fax)  
www.uppermoreland.org

## Upper Moreland Township Amusement Devise License

RECEIVED  
SEP 25 2025  
UPPER MORELAND  
CODE ENFORCEMENT

### I. OWNER OF GAMES

Name: ALMAS AHMAD	Address: 2638 West Moreland Rd
Phone #: 609-516-8921	City, State, Zip: Willow Grove PA 19090

### II. LOCATION OF GAMES

Name of business: Lucky 7 deli	Phone: 215-784-0000
Address: 425 West Moreland Rd	willow grove
City, State, Zip: PA 19090	

### III. DESCRIPTION OF GAMES

1. Skill Lottery Machine
2. Skill Lottery
3. Buffalo Machine

Application for more than three games requires approval from the Upper Moreland Township Zoning Hearing Board

- 4.
- 5.
- 6.
- 7.
- 8.
- 9.
- 10.

Applicant Signature: Alma S Date: 09/29/25

### IV. FEE

\$150 for the first device, \$50 for each additional device, annually

Total # of Games:	Permit Fee: <u>250.00</u>
-------------------	---------------------------

### V. TOWNSHIP REVIEW

Reviewed By:	Approved By:
--------------	--------------

1 Lelele 3  
Am magnet

**Purtell, Paul**

---

**From:** Almas Ahmad <almasahmad201@gmail.com>  
**Sent:** Tuesday, September 30, 2025 2:51 PM  
**To:** Purtell, Paul  
**Subject:** Please with draw the application on the name Perry please

Sent from my iPhone

# Township of Upper Moreland

f/u  
9/19/25

117 Park Avenue

WILLOW GROVE, MONTGOMERY COUNTY, PENNSYLVANIA 19090

Telephone (215) 659-3100 Ext. 1032/1033 / Fax (215) 659-8899



**Paul E. Purtell**  
Director of Code Enforcement

## FIRST NOTICE OF VIOLATION

September 9, 2025

Arnold & Doris Glaberson  
1777 Melmar Rd.  
Huntingdon Valley, Pa., 19006

**RE: 425 W. Moreland Rd.**

You are hereby given notice that the above-mentioned property is in violation of one or more of the Codes that have been formally adopted by the Upper Moreland Township Board of Commissioners.

The following condition(s) exists:

- ***Amusement devices without permits.***

Please take whatever actions may be necessary to rectify the violation within 10 (ten) days from the date of this letter.

Thank you for your anticipated cooperation.

Sincerely,

  
Paul E. Purtell  
Director of Code Enforcement

PEP/mdoc

*Clerk  
Jamie Scanlon  
MHR  
AII*

# Township of Upper Moreland

9/30/25

117 Park Avenue  
WILLOW GROVE, MONTGOMERY COUNTY, PENNSYLVANIA 19090  
Telephone (215) 659-3100 Ext. 1032/1033 / Fax (215) 659-8899



Paul E. Purtell  
Director of Code Enforcement

## **2<sup>ND</sup> NOTICE**

September 23, 2025

Arnold & Doris Glaberson  
1777 Melmar Rd.  
Huntingdon Valley, Pa., 19006

***RE: 425 W. Moreland Road***

Dear Sir or Madam:

You are hereby provided with a second notice that your property remains in violation of one or more of the Codes that have been formally adopted by the Upper Moreland Township Board of Commissioners.

The following condition(s) have not been addressed:

- **Amusement devices without permits.**

Please take whatever actions may be necessary to *rectify* the violations within **five (5) days** from the date of this letter. **Failure to respond to this second notice may result in a citation being filed against you in District Court. Fines of up to \$1000 per day per violation may be levied against you.**

Thank you for your anticipated cooperation.

Sincerely,

Paul E. Purtell  
Director of Code Enforcement

PEP/mdoc

125 W. Moreland Rd.  
9/19/25 #1



125 W. Moreland Rd

7/19/25 #2





Upper Moreland  
Township  
117 Park Avenue  
Willow Grove, PA  
19090

# Commissioners Report

For the period of: 2025-10-01 to 2025-10-31 23:59:59

Date Printed: 11/04/2025

## PERMITS

Type	# of Apps. Created	# of Permits Issued	Estm. Cost of Issued	Revenue Collected
Holding Tank	0	0	\$0.00	\$0.00
Commercial Zoning Use	4	2	\$0.00	\$150.00
Plumbing	26	20	\$307,402.00	\$5,880.00
Trailer	4	4	\$0.00	\$1,440.00
Building	65	50	\$3,696,188.83	\$57,867.00
Well	0	0	\$0.00	\$0.00
Electrical	29	21	\$310,479.01	\$8,219.50
Mechanical	19	15	\$364,717.98	\$5,847.50
Public Works	13	12	\$59,786.00	\$501.00
Fire	11	22	\$46,630.00	\$4,104.00
Garage Sale	0	0	\$0.00	\$0.00
Bulk Pick Up	44	44	\$0.00	\$869.00
Grading	2	2	\$313,880.00	\$139.00
Sign	5	2	\$16,698.00	\$225.00
Miscellaneous	0	0	\$0.00	\$0.00
<b>Totals:</b>	<b>222</b>	<b>194</b>	<b>\$5,115,781.82</b>	<b>\$85,242.00</b>

## CONTRACTORS

### Commercial

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	0	0	\$0.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	7	2	\$675.00
Mechanical Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Electrical Contractor	2	1	\$225.00
General Contractor	8	6	\$1,050.00
<b>Totals:</b>	<b>17</b>	<b>9</b>	<b>\$1,950.00</b>

### Residential

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	0	0	\$0.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>0</b>	<b>\$0.00</b>

### Home Improvement

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	0	0	\$0.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
Mechanical Contractor	1	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00



Upper Moreland  
Township  
117 Park Avenue  
Willow Grove, PA  
19090

# Commissioners Report

For the period of: 2025-10-01 to 2025-10-31 23:59:59

Date Printed: 11/04/2025

Electrical Contractor	5	0	\$0.00
General Contractor	11	0	\$75.00
<b>Totals:</b>	<b>17</b>	<b>0</b>	<b>\$75.00</b>

## Uncategorized Subtype

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	0	0	\$0.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>0</b>	<b>\$0.00</b>

## PERMIT INSPECTIONS

Total Inspections: 111

## LICENSING

Type	# of New Licenses	# of Renewals	Revenue Collected
Massage	0	0	\$0.00
Billboard	0	0	\$0.00
Sandwich Sign	0	0	\$0.00
Recreational Trailer	0	0	\$0.00
Home Occupancy Zoning Use	2	3	\$250.00
Amusement License	0	0	\$0.00
<b>Totals:</b>	<b>2</b>	<b>3</b>	<b>\$250.00</b>

## LAND DEVELOPMENT

Type	# of Apps. Created	Revenue Collected
Conditional Use	0	\$0.00
Zoning Change	0	\$0.00
Land Development	1	\$0.00
Public Hearing	3	\$1,550.00
Subdivision	0	\$0.00
<b>Totals:</b>	<b>4</b>	<b>\$1,550.00</b>

## CODE ENFORCEMENT

Type	# of Complaints
Work Without Permit	4
Exterior Maintenance	1
Trash and Debris	2
High Grass	2
Misc	2
<b>Totals:</b>	<b>11</b>

## CASHIERING

Type	# of Transactions	Revenue Collected
Total Transactions	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>\$0.00</b>



Upper Moreland  
Township  
117 Park Avenue  
Willow Grove, PA  
19090

## Commissioners Report

For the period of: 2025-10-01 to 2025-10-31 23:59:59

Date Printed: 11/04/2025

### OPEN RECORDS

Type	# of Requests	Revenue Collected
Public Record Request	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>\$0.00</b>

**Total Revenue Collected: \$89,067.00**



Upper Moreland  
Township  
117 Park Avenue  
Willow Grove, PA  
19090

# Commissioners Report

For the period of: 2024-10-01 to 2024-10-31 23:59:59

Date Printed: 11/04/2025

## PERMITS

Type	# of Apps. Created	# of Permits Issued	Estm. Cost of Issued	Revenue Collected
Holding Tank	0	0	\$0.00	\$0.00
Commercial Zoning Use	8	2	\$0.00	\$150.00
Plumbing	14	12	\$155,798.00	\$1,264.00
Trailer	2	2	\$0.00	\$1,120.00
Building	47	49	\$1,538,266.15	\$26,317.50
Well	0	0	\$0.00	\$0.00
Electrical	14	21	\$137,060.00	\$3,669.50
Mechanical	11	13	\$204,086.15	\$2,128.50
Public Works	8	7	\$272,022.00	\$680.00
Fire	8	20	\$13,750.00	\$3,939.00
Garage Sale	3	3	\$0.00	\$30.00
Bulk Pick Up	30	29	\$0.00	\$612.00
Grading	2	2	\$2,600.00	\$64.00
Sign	4	6	\$52,500.00	\$915.00
Miscellaneous	0	0	\$0.00	\$0.00
<b>Totals:</b>	<b>151</b>	<b>166</b>	<b>\$2,376,082.30</b>	<b>\$40,889.50</b>

## CONTRACTORS

### Commercial

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	1	2	\$225.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	8	2	\$750.00
Mechanical Contractor	2	0	\$150.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Electrical Contractor	2	0	\$150.00
General Contractor	3	3	\$450.00
<b>Totals:</b>	<b>16</b>	<b>7</b>	<b>\$1,725.00</b>

### Residential

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	0	0	\$0.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	1	0	\$75.00
Mechanical Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
General Contractor	2	0	\$150.00
<b>Totals:</b>	<b>3</b>	<b>0</b>	<b>\$225.00</b>

### Home Improvement

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	0	0	\$0.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
Mechanical Contractor	1	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00



Upper Moreland  
Township  
117 Park Avenue  
Willow Grove, PA  
19090

# Commissioners Report

For the period of: 2024-10-01 to 2024-10-31 23:59:59

Date Printed: 11/04/2025

Electrical Contractor	2	0	\$0.00
General Contractor	5	0	\$75.00
<b>Totals:</b>	<b>8</b>	<b>0</b>	<b>\$75.00</b>

## Uncategorized Subtype

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	0	0	\$0.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>0</b>	<b>\$0.00</b>

## PERMIT INSPECTIONS

Total Inspections:	102
--------------------	-----

## LICENSING

Type	# of New Licenses	# of Renewals	Revenue Collected
Massage	0	0	\$0.00
Billboard	0	0	\$0.00
Sandwich Sign	0	0	\$0.00
Recreational Trailer	0	0	\$0.00
Home Occupancy Zoning Use	0	13	\$650.00
Amusement License	0	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>13</b>	<b>\$650.00</b>

## LAND DEVELOPMENT

Type	# of Apps. Created	Revenue Collected
Conditional Use	0	\$0.00
Zoning Change	0	\$0.00
Land Development	0	\$0.00
Public Hearing	3	\$1,900.00
Subdivision	0	\$0.00
<b>Totals:</b>	<b>3</b>	<b>\$1,900.00</b>

## CODE ENFORCEMENT

Type	# of Complaints
Work Without Permit	0
Exterior Maintenance	3
Trash and Debris	2
High Grass	1
Misc	4
<b>Totals:</b>	<b>10</b>

## CASHIERING

Type	# of Transactions	Revenue Collected
Total Transactions	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>\$0.00</b>



Upper Moreland  
Township  
117 Park Avenue  
Willow Grove, PA  
19090

## Commissioners Report

For the period of: 2024-10-01 to 2024-10-31 23:59:59

Date Printed: 11/04/2025

### OPEN RECORDS

Type	# of Requests	Revenue Collected
Public Record Request	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>\$0.00</b>

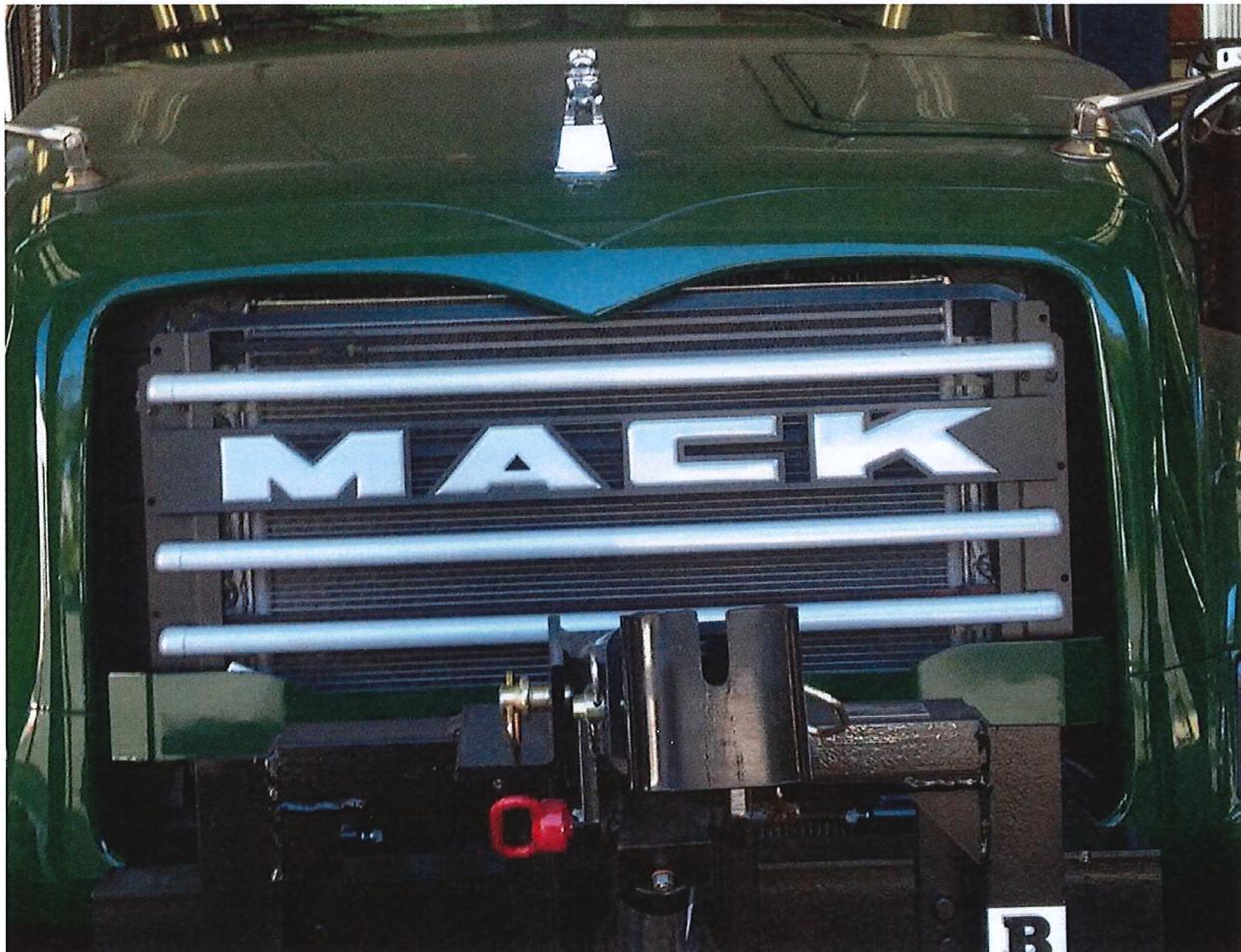
**Total Revenue Collected: \$45,239.50**

To: Public Works Committee

From: David Elsier, Director of Public Works

Date October 2025

Re: **UMPW DEPARTMENTAL REPORT**



**B**

## **PUBLIC WORKS DIRECTOR'S NOTES**

- Oversaw all day-to-day operations of the Public Works Department
- Repaired potholes throughout the Township.
- Reported street lights that are not working.
- Contacted Penn Dot about pothole concerns on all state roads within the Township.
- Reported traffic and street lights that needed attention.
- Responded to e-mails and phone calls from residents with questions or problems.
- Completed various reports and schedules to help with operations of the Public Works Department.
- Began Leaf collection on October 13. Currently on second pass
- Repaired a Pipe in the Pioneer Basin
- **Vehicle Maintenance** - Township mechanics maintained all Township vehicles and equipment.
- **Storm Water Maintenance** - Township staff continues to inspect and repair all storm water inlets.

## **SANITATION DIVISION**

### **October 2025**

During the month of October 2025, our Sanitation Division picked up 562 tons of compacted trash. For the same period in 2024 we collected 563 tons of compacted trash

Since the last report period we had 37 bulk pick-ups. For the same period in 2024 we collected 10 bulk items

We collected 162 tons of yard waste since the last report period. For the same period in 2024, we collected 163 tons of yard waste.

We collected 19 electronic items (E-cycling) since the last report period. For the same period in 2024, we collected 14 electronic items.



Public Works Department  
October 2025

Summary of materials handled by Sanitation Division  
(in tons)

Single Stream	175
Curbside Yard Waste	162
<u>Total recycling tonnage</u>	<u>337</u>

Trash tonnage	562		
Tipping fee cost avoidance	\$ 24,931	\$73.98	
Cost of Single Stream	\$ 6,539	\$37.37	
Percent of waste recycled	37%		

	Single Stream	Yard Waste	Trash	
2025	175	162	562	37%
2024	180	163	563	38%
			2024	2025
Bulk metal items			10	37
E-cycling items			14	19



PROJECT	WORK PERFORMED LAST PERIOD (October 20 <sup>th</sup> to November 24 <sup>th</sup> )	WORK TO BE PERFORMED THIS PERIOD (November 24 <sup>th</sup> to December 31 <sup>st</sup> )
<b>GENERAL TOWNSHIP PROJECTS</b>		
1. NPDES – MS4 Reporting	<ul style="list-style-type: none"><li>Work on final report for latest 5-year permit term to be submitted to DEP.</li><li>Submit annual report to DEP for MS4 permit.</li></ul>	<ul style="list-style-type: none"><li>Monitor project status and perform work as needed.</li><li>Routine DEP MS4 Inspection scheduled for December 17<sup>th</sup>.</li></ul>
2. Misc. Consulting Services	<ul style="list-style-type: none"><li>Coordination, site, and grading design for Township Building addition / renovation project. NPDES permit review received November 18<sup>th</sup>.</li><li>Coordination &amp; design for Mill Creek Dam repairs.</li></ul>	<ul style="list-style-type: none"><li>Respond to requests and perform work as necessary.</li><li>Revise and resubmit NPDES permit for building renovation / addition project.</li></ul>
3. Woodlawn Park Redevelopment	<ul style="list-style-type: none"><li>Coordination w/ Township Staff and Simone Collins re: Woodlawn Park project.</li><li>NPDES revised submission made on November 17<sup>th</sup>.</li></ul>	<ul style="list-style-type: none"><li>Work on construction plans for Woodlawn Park w/ Simone Collins for late 2025 / early 2026 bid.</li></ul>
<b>PRIVATE DEVELOPMENT PROJECTS</b>		
1. Fairhill Commons	<ul style="list-style-type: none"><li>No work was performed during this period.</li></ul>	<ul style="list-style-type: none"><li><b>Project is in 18-month maintenance period which was set to expire in May 2025. Applicant is finishing up 12-month wall monitoring program. Review data / report once submitted.</b></li></ul>
2. Federal Realty – Phase 3 Apartments / Retail	<ul style="list-style-type: none"><li>No work was performed this period.</li></ul>	<ul style="list-style-type: none"><li>Monitor project status and perform work as needed.</li></ul>
3. Cloud 10 Carwash	<ul style="list-style-type: none"><li>Coordination re: project close out and final landscaping.</li></ul>	<ul style="list-style-type: none"><li>Work with Applicant on project closeout and return of escrow.</li></ul>
4. Executive Mews	<ul style="list-style-type: none"><li>No work completed this period.</li></ul>	<ul style="list-style-type: none"><li>Work with Applicant on conditions of approval.</li></ul>
5. 1130 Easton Road (Starbucks)	<ul style="list-style-type: none"><li>No work completed this period.</li></ul>	<ul style="list-style-type: none"><li>Work with Applicant on conditions of approval.</li></ul>

PROJECT	WORK PERFORMED LAST PERIOD (October 20 <sup>th</sup> to November 24 <sup>th</sup> )	WORK TO BE PERFORMED THIS PERIOD (November 24 <sup>th</sup> to December 31 <sup>st</sup> )
6. 2005 Pioneer Road	<ul style="list-style-type: none"> <li>• No work completed this period.</li> </ul>	<ul style="list-style-type: none"> <li>• Work with Applicant on conditions of approval.</li> </ul>
7. 2425 Maryland Road	<ul style="list-style-type: none"> <li>• No work completed this period.</li> </ul>	<ul style="list-style-type: none"> <li>• Monitor project status and perform work as needed.</li> </ul>
8. 2400 Pioneer Road	<ul style="list-style-type: none"> <li>• Project approved by BOC in November.</li> </ul>	<ul style="list-style-type: none"> <li>• Work with Applicant on conditions of approval and recording of the plans.</li> </ul>



- 3850 Sierra Circle, Suite 100 | Center Valley, PA 18034 | P: 610.366.8064 | F: 610.366.0433
- 12 Terry Drive, Suite 205 | Newtown, PA 18940 | P: 215.369.3955 | F: 610.968.1829
- 65 E. Butler Avenue, Suite 100 | New Britain, PA 18901 | P: 215.345.4330 | F: 215.948.9943
- 184 W. Main Street, Suite 300 | Trappe, PA 19426 | P: 610.489.4949 | F: 610.489.8447
- One Penn Center at Suburban Station, 1617 JFK Blvd., Suite 425 | Philadelphia, PA 19103 | P: 215.687.4246 | F: 215.564.1780

## MEMORANDUM

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**Date:** November 5, 2025  
**From:** Adrienne Blank, R.L.A.  
**Reference:** Monthly Project Summary - Upper Moreland Township  
G&A Project No. 999100401

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The following is a summary of our work during the previous month and pending work that we anticipate in the coming months.

A. Landscape Architectural Plan Reviews

1. Willow Grove Shopping Center Redevelopment – Federal Realty
  - a. Phase 3 (Multi-Family) Land Development Landscape Review 2–5/30/2024.
  - b. **PENDING:** Future plan submissions and reviews.
2. 1130 Easton Road – Starbucks
  - a. Review of waivers requested 6/27/2024.
  - b. **PENDING:** Future plan submissions and reviews.
3. 2005 Pioneer Road
  - a. Preliminary Subdivision Review 2 – Review letter issued 9/11/2024.
  - b. **PENDING:** Future plan submissions and reviews.
4. 2425 Maryland Road (Willow Pointe II)
  - a. Land Development Landscape Review – Review letter issued 5/27/2025.
  - b. **PENDING:** Future plan submissions and reviews.

B. Landscape Architectural Field Reviews

1. 2300 Easton Road Upper Moreland
  - a. Landscape inspection to determine if punchlist items from 2019 inspection have been completed for remaining escrow release.

- b. All landscaping is acceptable with the exception of the rain garden. Original punchlist indicated the rain garden was mowed lawn. Plugs and seed mix are required per approved plans. Rain garden is still mowed lawn. Plugs and seed mix must be installed in order to release the remaining escrow.
- c. **Complete:** Corrections to the rain garden were made and the project is now complete.

C. Township Projects

- 1. UMT Police Building
  - a. Revised land development plan submitted 4/17/2024.
  - b. **PENDING:** Revise land development submission as reviewed.
- 2. Davisville and York Landscape Enhancements
  - a. Conceptual Plans for Township feedback - 5/8/2024. Opinion of Probable Cost and Site rendering 6/5/2024.
  - b. **PENDING:** Design revisions as requested.

**UPPER MORELAND TOWNSHIP  
MONTGOMERY COUNTY  
PROJECT STATUS  
November 18, 2025**

**MORELAND AVENUE BRIDGE RECONSTRUCTION**

- Full reconstruction of bridge along Moreland Avenue at Hatboro Borough border by County.
- Full road closure is required. Approximate 6 - 8 month closure.
- Project Awarded to Haines & Kibblehouse 2/20/2025
- County anticipates NTP in June/July 2025. Project completion is September 2027

**ROUTE 611 BRIDGE OVER TURNPIKE RAMP**

- PennDOT is soliciting for Designer for the project.

**BLAIR MILL ROAD**

- Project for widening along Blair Mill Road at Easton Road to lengthen existing right turn lane to new traffic signal at Gibraltar Road and adding sidewalk along the southern side to connect to existing sidewalk.
- DCED MTF Grant - \$175,000 Grant Awarded for construction.
- 2025 DCED MTF Grant Submission for Construction and Construction Inspection – Requesting \$677,170

**BLAIR MILL ROAD (HORSHAM PROJECT) – PHASE 1**

- Project for widening along Blair Mill Road at Commerce Avenue\Witmer Rd and at Easton Road. Project be led by Horsham Township. Michael Baker is the designer.
- James D. Morrisey is the contractor. Roadwork Ongoing.

**BLAIR MILL ROAD (HORSHAM PROJECT) – PHASE 2**

- Project for widening along Blair Mill Road to provide 5-lane section from Welsh Road to Easton Road. Project led by Horsham Township. Michael Baker is the designer.

**MARYLAND ROAD BRIDGE**

- DCED MTF Grant awarded for \$897,375.00 for construction and construction inspection. No required match.
- Bid Awarded to Bi State Construction Company for \$680,079.25.
- Construction complete. **Final punch list items completed.**
- **Coordination with Township for reimbursement**

**POWER LINE TRAIL**

- Installation of Trail along PECO power line from Blair Mill Road to Maryland Road.
- Project selected for TASA grant (\$2.4 million).
- **Design Started.**

**2022 TRAFFIC SIGNAL TECHNOLOGIES AWARD**

- Upgrades to 23 intersections along Route 611 and 263 to replace controller timers, install new radio communication, and connect to PennDOT's Traffic Management Center (TMC).

- Grant Award - \$557,000. Township match \$0.
- In Construction. Controller replacements completed. Awaiting cellular modems from PennDOT

#### **2022 GREEN LIGHT GO AWARD**

- Upgrades to 16 intersections along Route 611 and 263 to replace loops with radar\video detection.
- Grant Request - \$513,360. Township match \$128,340.
- Awarded to Armour Electric lower Bidder for \$395,718.00

#### **BONNET LANE PARK – PHASE 1 UTILITY RELOCATION**

- Improvements to relocate existing overhead utilities. provide new road connection from Mill Road to Bonnet Lane, with turning lane on Mill Road. Closure of Bonnet Lane between St. Dunstans and Burnbridge, and installation of parking lot per Bonnet Lane Park master plan
- Grant Award \$250,000, for utility relocations.
- Coordination Meeting held 5/2 with utilities to finalize relocation work. PECO, Verizon, and Comcast verifying\updating estimates.
- **Utility work started. New Poles installed and PECO work complete. Verizon and Comcast relocations scheduled.**

#### **GRANT SCHEDULE**

- PennDOT Multimodal Transportation Fund – Opening in November 2025
- Green Light Go – Applications Open. Scoping Forms Due Jan 2, 2026. Final Applications due March 31, 2026

### **EAC Report to CDC November 2025**

The EAC, and Parks and Rec are planning a spring tree giveaway for Upper Moreland residents. We have chosen Octoraro as the native plant nursery to purchase the trees from.

The Outdoor Environmental Education Center at the library is doing well. There was discussion of adding an area of vegetables for the community.

We discussed removing invasive vines and plants from Veterans Park in the spring as well as fall next year.

We hope to have our 2026 Earth Day Fair on April 25th.

Upper Moreland Historical Commission  
Report to the CDC  
November 24, 2025

1. The Commission met on Tuesday, November 11<sup>th</sup> on ZOOM, as this was a national holiday and the Township was closed. There was a quorum present. Approval of Minutes and Treasurer's Report.
2. Farmstead Report: Winter closing taking place. Discussed grants for roof and flashing. Events are expanding: next up is the Holiday Photo Shoot. In 2026 there is discussion of a FIFA watch party, Farmstead on Tap, and a Vendors' Fair. The UMHC would like to have a Film Festival at the Farmstead in May 2026, highlighting short films, as well as our fifth annual Historical Haunts in October. Alan Sentman stated that there are considerations for buildings to be added to the Farmstead as part of their Master Plan.
3. Reviewed the expansion of the Scavenger Hunt, using the Farmstead property, and the possibility of having ground-penetrating equipment to try and discover more about the property and what might be buried there. Rebecca will look into this.
4. Budget line-items for 2026 were reviewed.
5. The 2026 Revolutionary War house tour project has completed the pictures and now we need to decide on the presentation. Jackie Cherepinsky volunteered to do a preliminary video, as we had decided to have both a virtual and a reality tour option. We will seek the fabrication of small signs to indicate the houses on the walking tour.
6. The Mural Arts Project 2026 in the downtown will be discussed with the business owner. The School District has expressed a strong interest. The acquisition of paints and brushes was also discussed. This is a project for the high school art students, while the middle school students will be asked to create a painting of "what America means to me," which will be displayed in the Community.

Next meeting: December 2, 2025 in the Caucus Room of the Administration Building at 7:00 p.m. Interested residents are always welcome to attend.

Respectfully submitted,  
Susan Worth-LaManna  
President