

UPPER MORELAND TOWNSHIP
Community Development Committee Meeting
November 24, 2025 at 7:00 p.m.
AGENDA ITEMS ARE SUBJECT TO CHANGE

INSTRUCTIONS TO JOIN:

Go to Zoom.us. Click "Join a Meeting"	Webinar ID: 917 5771 7982	Password: 182130
Join by Phone: Dial 1-929-205-6099	Webinar ID: 917 5771 7982	Password: 182130

***Residents requiring special accommodations:
please call the Township during normal business hours at 215-659-3100 x1058 or x1057***

Community Development Committee Members: Commissioner and Committee Chair Demond Mullen, Commissioner and Board President, Kip McFatrige and Commissioner Nicholas Scull; Township Staff Committee Members: Paul E. Purtell, Director of Code Enforcement and David Elsier, Director of Public Works.

- I. Call to Order**
- II. Presentations/Announcements**
 - Update on Walkability Audit by Claire Warner, Montgomery County Planning Commission
- III. Roll Call**
- IV. Public Comments – Non-Agenda Items Only**
- V. Approval of Minutes – October 20, 2025 (attachment)**
- VI. Land Development/Subdivision**
 - A. Land Development Application for the Upper Moreland Township Municipal Complex (attachments)
- VII. New Business:**
 - A. Authorization to Advertise Ordinance No. XXXX amending the International Property Maintenance Code (attachment)
 - B. Amusement Device License Application located at 425 W. Moreland Road (attachments)
 - C. Consider the cancellation of the December 15, 2025 Community Development Committee Meeting.
- VIII. Old Business**
- IX. Redevelopment**
- X. Acceptance and Approval of the following monthly reports (attachments)**
 - A. Code Enforcement Department Reports
 - B. Public Works Department Report and Recycling Report
 - C. Engineer's Report and Landscape Architect's Report
 - D. Traffic Engineer's Report
 - E. Environmental Advisory Council
 - F. Historical Commission
- XI. Other**
- XII. Commissioner Comments**
- XIII. Adjournment**

TOWNSHIP of UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215

Telephone (215) 659-3100 / Fax (215) 659-7363

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Township Solicitor

Agenda Summary

Community Development Committee Meeting – November 24, 2025

Agenda Item:	Walkability Audit Presentation by MCPC
Prepared By:	Paul Purtell, Director of Code Enforcement
Attachments:	Copy of Power Point presentation and memo from Claire Warner, MCPC
Background/Analysis:	The Montgomery County Planning Commission, along with the Advisory Planning Agency, have been conducting an audit of the Town Center area for pedestrian access and any obstacles/safety hazards that pedestrians may find. The purpose of the audit is to identify areas that could make the downtown area safer, and user friendly, for pedestrians.
Fiscal Impact/Source:	N/A
Alternatives:	N/A
Staff Recommendation:	Provide feedback to the Montgomery County Planning Commission and Advisory Planning Agency, as applicable.

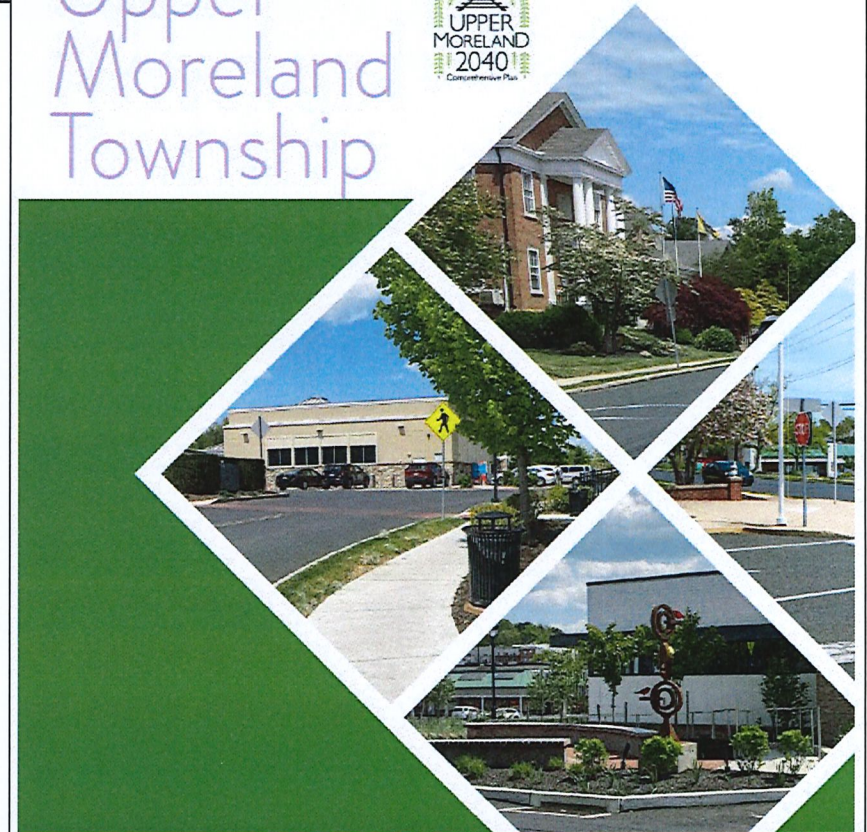
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Update on the *Willow Grove* *Walkability Audit*

November 24, 2025 Upper Moreland Township
Community Development Committee

Upper
Moreland
Township



WALKABILITY AUDIT

117 Park Ave, Willow Grove, PA 19090 | November 2025
DRAFT

What is a Walkability Audit (or Walk Audit)?

A walk audit is a review of walking conditions along specified streets.

Key areas of interest and concern are visited and analyzed for both positive and negative conditions, and the conditions are documented with photographs.

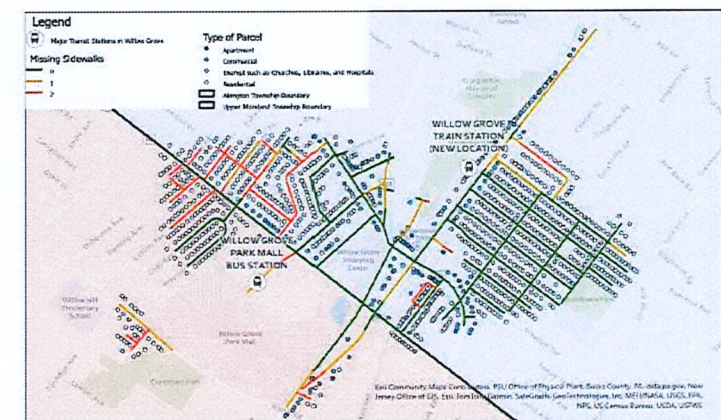
During a walk audit, it is noted where people are crossing the street, driveways, sidewalk conditions, and what it feels like to walk in that environment.

Based on the comprehensive plan recommendations, a walk audit would help identify projects that the township can implement in the short-term to improve walkability in Willow Grove.

Recommendations for Transit-Oriented Development in Willow Grove related to the upcoming SEPTA Regional Rail Willow Grove Station Upgrades

Figure 1: Missing Sidewalks within the Willow Grove TOD 10-minute walkshed

Within a 0.5 mile walk shed from major transit stations in Willow Grove, 17% of sidewalks are missing entirely and 18% only have coverage on one side along walkways



Source:
SEPTA 2024 Summer Bus Stops
Montgomery County Municipality Boundaries
Montgomery County Tax Parcels
Divine Pedestrian Network (lines)

Proctor Port
December 2024
0 0.07 0.15 0.3 Miles

Image from a report by a Temple University student

How does a Walk Audit Relate to the Comprehensive Plan and other studies?

Transportation Recommendations

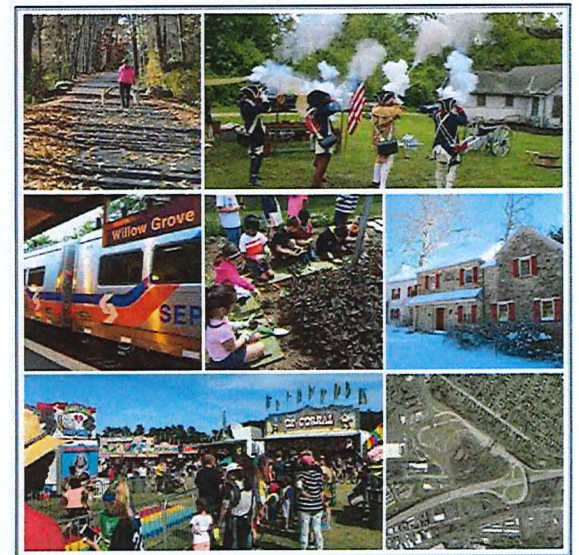
- 10C. Prioritize crosswalk improvements in downtown Willow Grove, near schools, parks and other critical areas.
- 10K. Systematically fill gaps in the sidewalk network by identifying existing gaps, categorizing gaps in terms of funding sources and approaching property owners to implement a plan.
- 10L. Upgrade SALDO to better provide for crosswalks. Sidewalk patterns and/or decorative crosswalks will be required to continue across driveway aprons.
 - Verge. The SALDO will be amended to add provisions requiring these in all zoning districts. These would address width and planting/ paving materials and can greatly affect the appearance and character of an area.
 - Crosswalk Specifications. The SALDO requires a minimum crosswalk width, but does not specify design or materials. We recommend the requirements specify a highly-visible design

Economic Development Recommendations

- 11J. Pursue a “placemaking” strategy in downtown Willow Grove. This would include:
 - **Providing and strengthening incentives for pedestrian accommodations and amenities, with the foundation for such improvements being created by preparing a “walk audit”, examining and documenting the pedestrian system in downtown Willow Grove on foot, in coordination with MCPC.**
- 13L. In downtown Willow Grove, use “placemaking” to strengthen “sense of place” and image, and draw more people downtown. Continue to create linkages between the two sides of Route 611 with pedestrian connections, safety measures, signage and development, while using zoning to strengthen mixed-use development on each side of the road.



UPPERMORLAND2040 COMPREHENSIVE PLAN MONTGOMERY COUNTY, PENNSYLVANIA



July 6, 2020

Benefits of Walkability

Walkable neighborhoods...

- help create vibrant business districts
- help improve physical and mental health
- are good for the environment
- encourage community strength
- are safer for pedestrians and all road users



PennDOT Crash Data - Montgomery County
2019 - 2020 - 2021 - 2022 - 2023

Bus

Pedestrian

Bike

Automobile

Van

Heavy Truck

Motorcycle

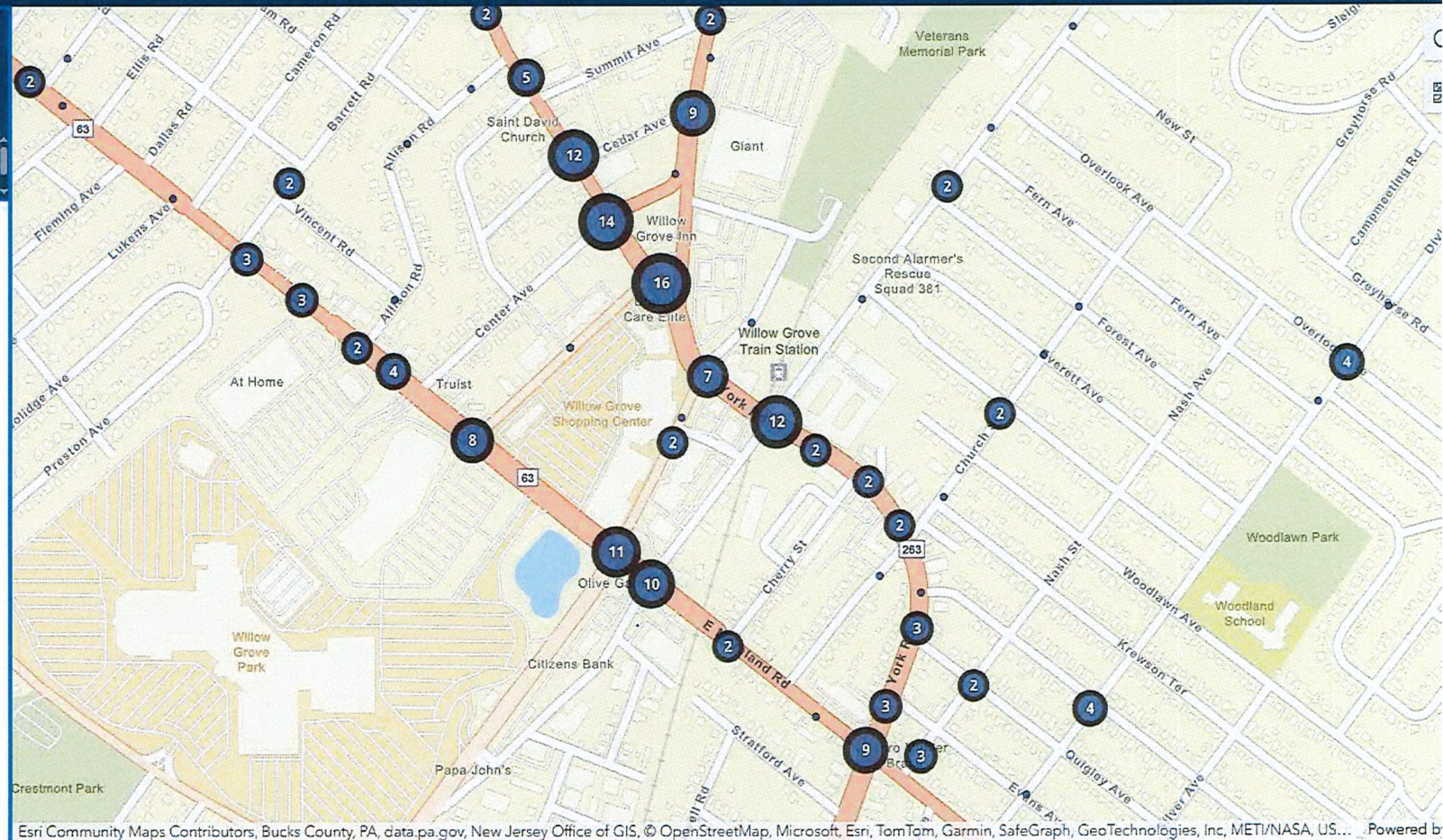
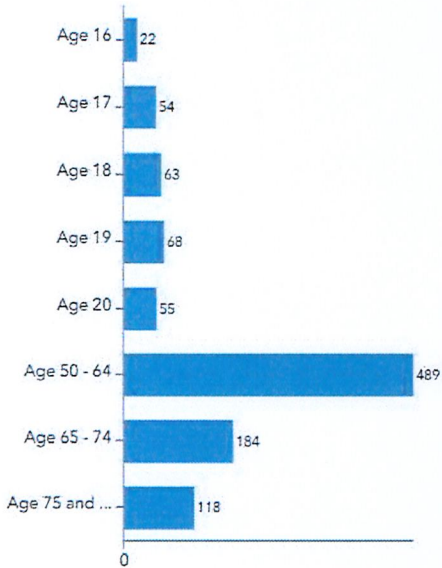
SUV

Total Crashes: 1,348
Total Fatalities : 2

MUNICIPALITY is Upper Moreland T...



Age of Driver



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PennDOT Crash Data - Montgomery County
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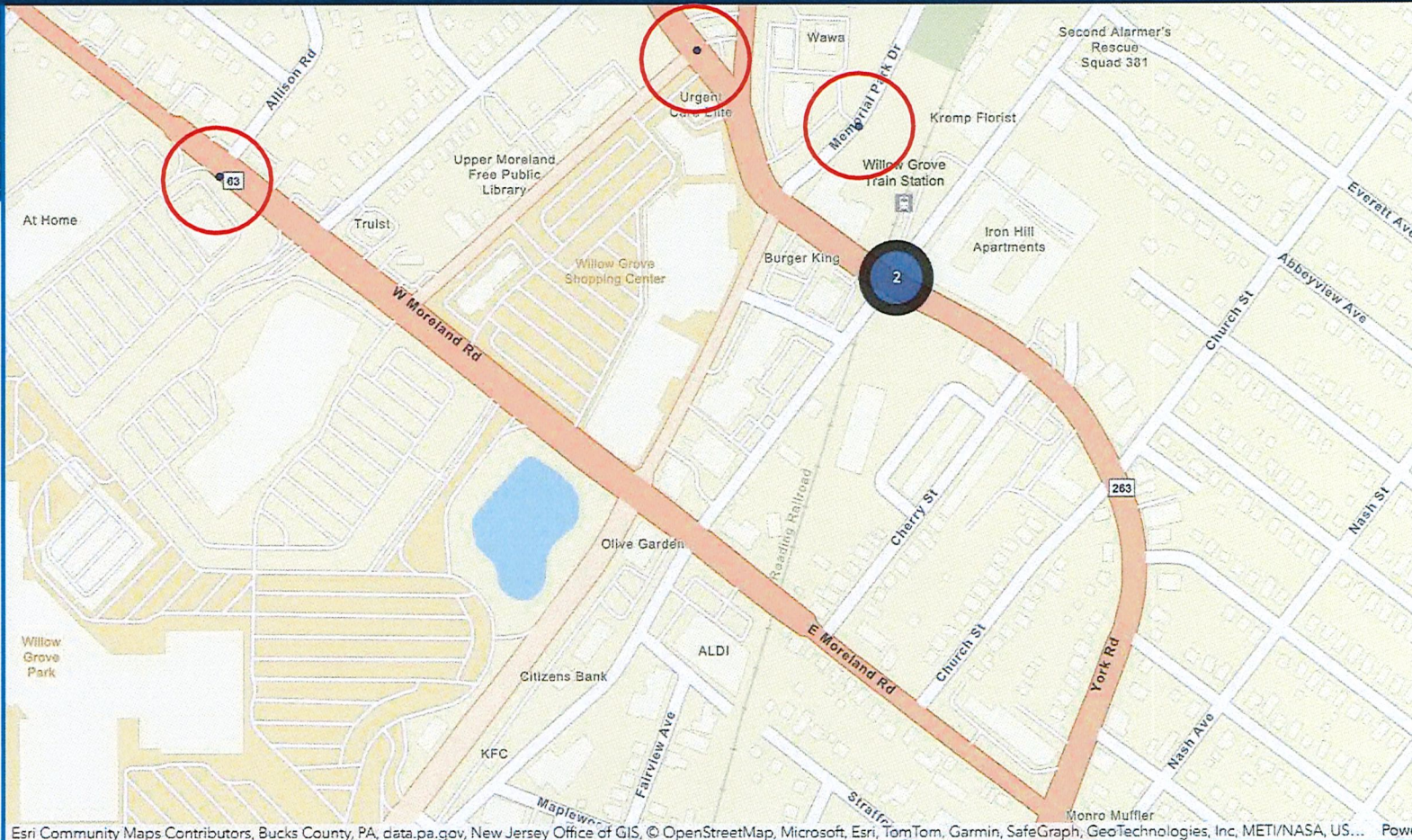
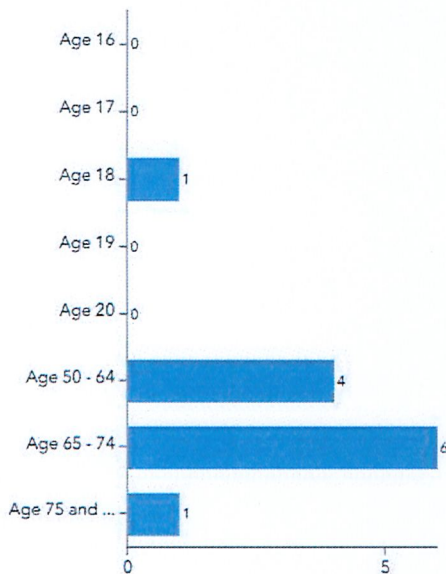
SUV

Total Crashes: 19
Total Fatalities : 1

MUNICIPALITY is Upper Moreland T...



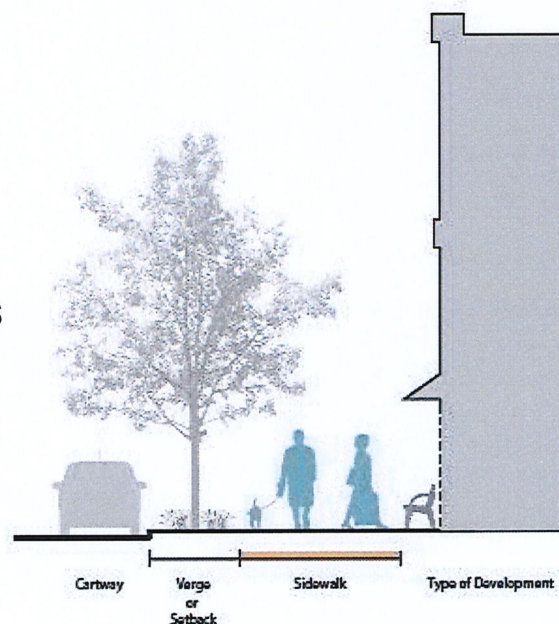
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Walkability Best Practices

- Sidewalk width
- Buffer or verge
- Street trees
- Street furniture
- Crosswalks
- Driveways
- Friendly/unfriendly intersection components
- Block length/mid-block crossings



TYPE OF DEVELOPMENT	VERGE WIDTH	SIDEWALK WIDTH
CENTRAL BUSINESS DISTRICT SIDEWALKS	5'	8'
COMMERCIAL, OFFICE, AND INDUSTRIAL SIDEWALKS OUTSIDE OF CENTRAL BUSINESS DISTRICT	5' - 8'	5'
RESIDENTIAL SIDEWALKS ALONG MAJOR STREETS	5' - 8'	5'
RESIDENTIAL SIDEWALKS ON LOCAL STREETS WITH MORE THAN 4 HOMES PER ACRE	2'	5'
RESIDENTIAL SIDEWALKS ON LOCAL STREETS WITH 4 HOMES PER ACRE OR LESS	2'	4' - 5'

Walkability Best Practices

- Sidewalk width
- Buffer or verge
- Street trees
- Street furniture
- Crosswalks
- Driveways
- Friendly/unfriendly intersection components
- Block length/mid-block crossings

Street Furniture. Street furniture is important for the convenience and comfort of pedestrians. In pedestrian-oriented commercial areas, bike racks, benches, and waste disposal bins should be required to be placed every 250-400 feet. In other areas, street furniture should be provided in intervals as needed.

Lighting. Pedestrian-scale, full cut-off lighting should be installed in residential and commercial areas. Lighting fixtures should be no more than 12 feet in height.



Wide sidewalk with benches, bike racks, and street trees in front of grocery store and multifamily buildings.

Crosswalk Design Standards

Crosswalks are an important link in the network, particularly in traffic-heavy areas like Willow Grove. Drivers are more likely to stop at highly-visible crosswalks. Crosswalks should be highly-visible and have good sight distance for vehicles approaching the crosswalk. Crosswalks should be well lit by street lights and have signage or flashing lights to alert drivers of the upcoming crosswalk. Crosswalks can be enhanced with curb bump-outs (AKA bulb outs or curb extensions), medians, or refuge islands to shorten the crossing distance and can be implemented as part of a larger traffic calming project.



Crosswalk across long driveway, Media, PA. While there is not a lot of separation between the travel lanes or the parked cars, the painted crosswalk does define the pedestrian space.



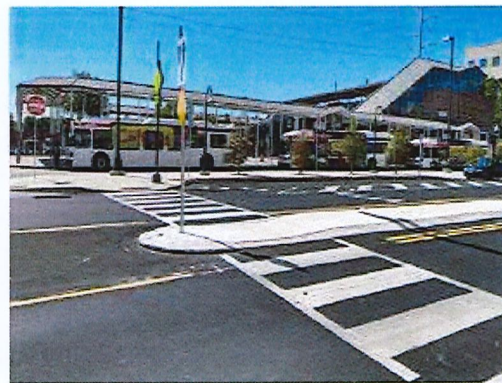
Crosswalk across driveway; separation between sidewalk and parked cars (Wynnewood, Lower Merion)



Crosswalk across driveway (Horsham)

Walkability Best Practices

- Sidewalk width
- Buffer or verge
- Street trees
- Street furniture
- Crosswalks
- Driveways
- Friendly/unfriendly intersection components
- Block length/mid-block crossings



Recent Developments in Willow Gove

The recent developments show us how development can be an opportunity to make significant walkability improvements, and it also shows us what improvements should be strengthened through code revisions.

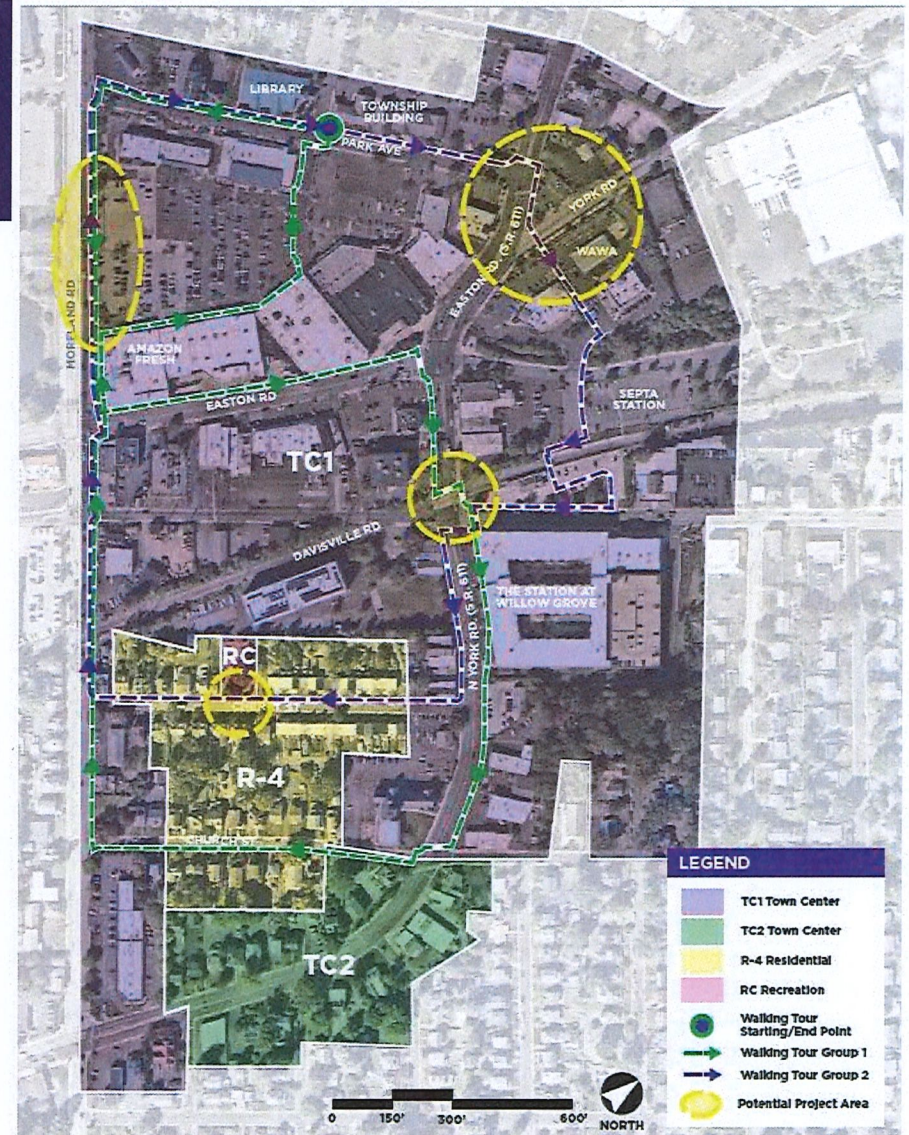


Walk Audit Notes

Key Takeaway: Walkability is possible, but feels unsafe in high-traffic areas

General Themes

- Narrow sidewalks, very little separation between cars and sidewalk
- Narrow verges, or missing entirely
- Sidewalk continuation across driveways
- Few street trees
- Limited lighting (especially pedestrian-scaled)
- Missing crosswalks, ADA ramps oriented incorrectly
- Obstacles in the sidewalk
- Traffic calming on residential streets
- Screening for loading areas/back of buildings
- Massive expanses of parking lots
- Poor pedestrian access to Willow Grove Mall



Walk Audit Route










Start/End at the Township Building

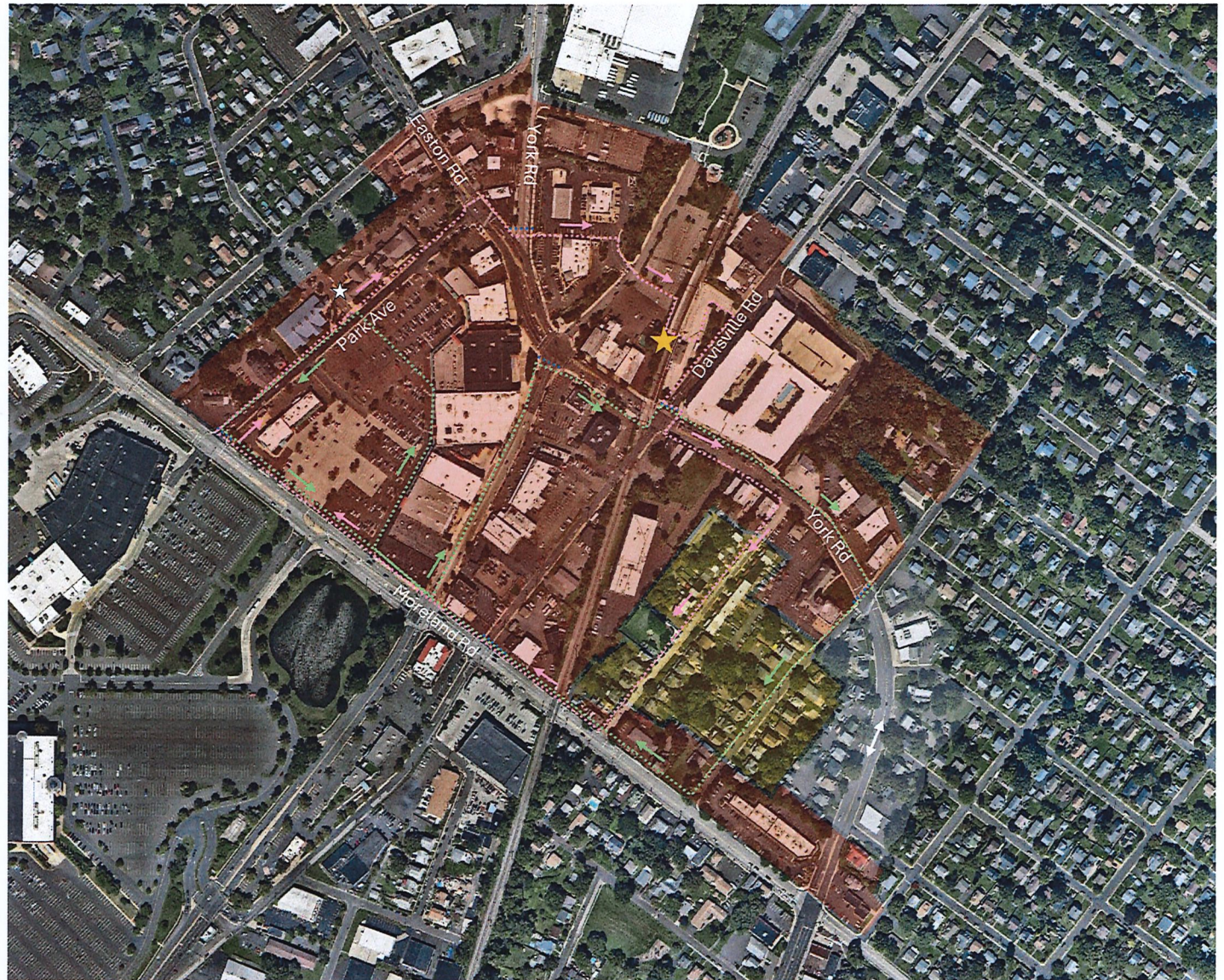
Group 1 Route

Approximately
1.4 miles, 33 minutes

Group 2 Route

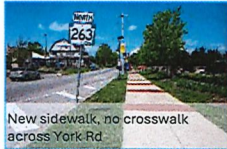
Approximately
1 mile, 30 minutes

-  Group 1 Route
-  Group 2 Route
-  Street Crossing
-  TC 1 Town Center
-  TC 2 Town Center
-  R-4 Residential
-  RC Recreation Conservation
-  SEPTA RR Station
-  Township Building

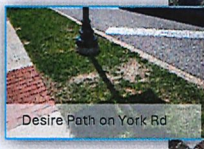


Easton Rd (north) and York Rd (west)

- No crossing at York (desire path)
- Crossing at railroad tracks
- No crossing on the south side of Davisville



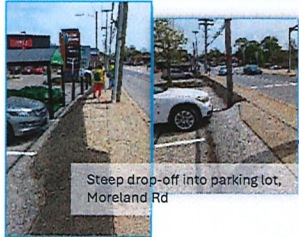
New sidewalk, no crosswalk across York Rd



Desire Path on York Rd

Park Ave, Moreland Rd (west), and Easton Rd

- Narrow sidewalks
- Sidewalk steep drop-off along Moreland
- Loading areas need better screening
- Poor pedestrian-scaled



Steep drop-off into parking lot, Moreland Rd

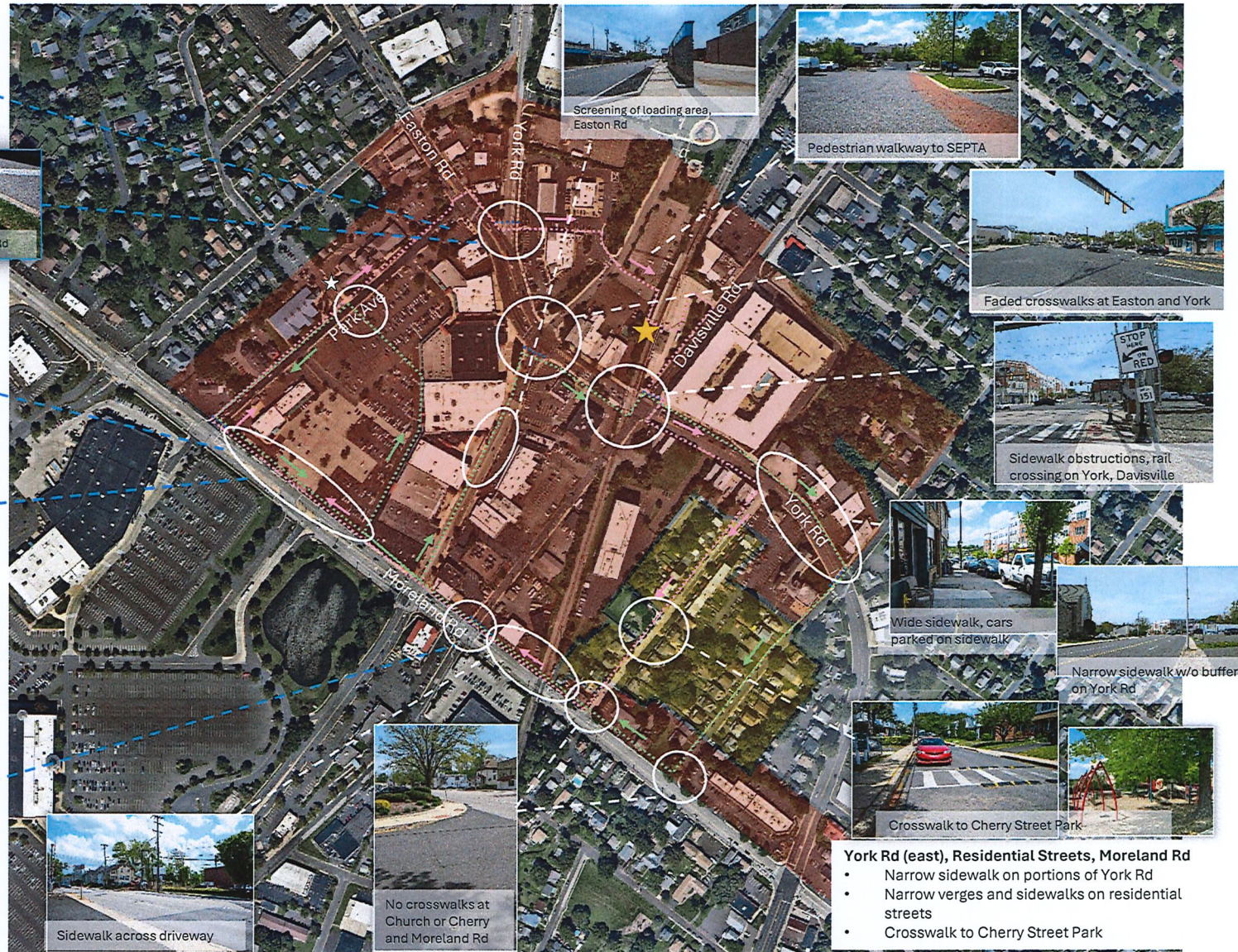
Residential Streets & Moreland Rd (east)

Key Notes:

- Sidewalk slope across driveways at Sherwin Williams
- Massive expanses of parking lots
- Few street trees with no landscaping
- Poor pedestrian access to Willow Grove Mall
- Crosswalk on residential streets and Moreland



Obstructions in sidewalk along Moreland Rd



Screening of loading area, Easton Rd

Pedestrian walkway to SEPTA

Faded crosswalks at Easton and York

Sidewalk obstructions, rail crossing on York, Davisville

Wide sidewalk, cars parked on sidewalk

Narrow sidewalk w/o buffer on York Rd

Crosswalk to Cherry Street Park

York Rd (east), Residential Streets, Moreland Rd

- Narrow sidewalk on portions of York Rd
- Narrow verges and sidewalks on residential streets
- Crosswalk to Cherry Street Park

Sidewalk across driveway

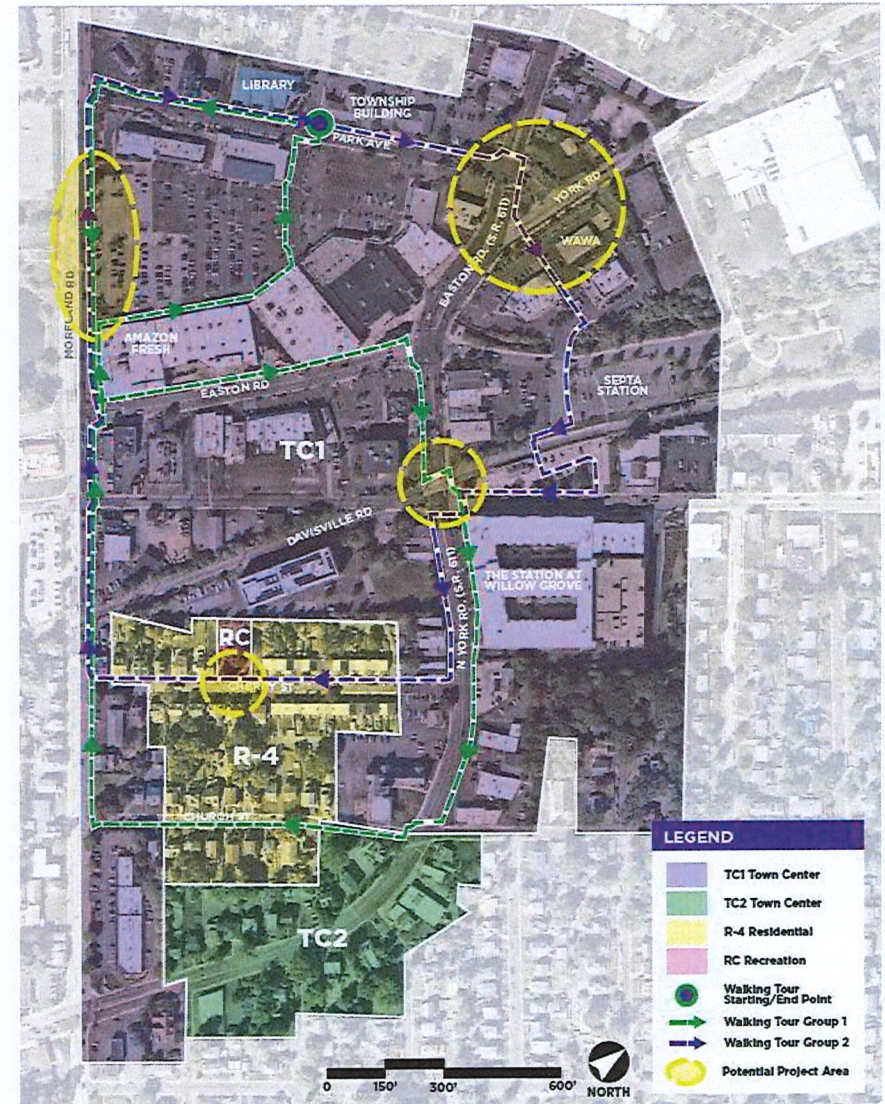
No crosswalks at Church or Cherry and Moreland Rd

Analysis & Recommendations

Summary of Findings

- **Sidewalk Width and Condition.** The sidewalks on commercial and residential streets are very narrow and there are many obstacles in the sidewalk, further narrowing the space for walking or rolling.
- **Verge Width.** On commercial and residential streets, the verge (buffer) is narrow or missing entirely, resulting in little separation between cars and sidewalk.
- **Crosswalk Condition.** There are missing crosswalks, crosswalks that are faded
- **Driveway Entrances.** Sidewalks across driveways are sloped and not clearly delineated.
- **ADA Ramps.** In many locations, ADA ramps are not orientated correctly
- **Street Trees.** There are few street trees.
- **Screening.** The backs of buildings (loading and trash areas) are not well-screened from the street
- **Lighting.** There is limited lighting, especially at pedestrian-scale, making the area dark at night.

Walk Audit Route



Analysis & Recommendations

Categories of Recommendations:

1. General issues to be addressed through SALDO
2. Potential projects that could be pursued through grant funding

Sidewalks. Many sections of sidewalks do not accommodate pedestrians very well and main corridors had narrow sidewalks and little separation between fast moving traffic. Several residential streets had sidewalks in poor condition as well; some of these issues must be addressed by property owners, which will require code enforcement involvement.

The Town Center District has requirements for pedestrian-scaled lighting, but pedestrian-scaled lighting should be provided along all sidewalks in commercial areas and along busy corridors to improve nighttime visibility and safety.

Sidewalks throughout Willow Grove are in many cases below the minimum width for best practice, and obstacles also shrink the usable area of sidewalks. In most cases, narrow sidewalks should be widened to the new standard as part of the subdivision and land development process. Obstacles in the sidewalk should be removed in as many locations as possible and, where they are immovable, the sidewalk should be expanded to accommodate them. This can be done during land development and in coordination with the property owner.



The sidewalk on York Road is narrow, with little-to-no separation from the fast cars and is interrupted by driveways.



The narrow sidewalk along Moreland Road is narrowed further by obstructions - a fire hydrant, signs, utility poles - and parked cars in the adjacent lot that hang over the sidewalk.

Residential Sidewalks. Sidewalks on residential streets are required to be four feet-wide (per SALDO Section 300-18.B). Along the two residential streets that we walked, the sidewalk widths are variable. In some locations, the sidewalk is 3.5 feet, or four feet including the curb. In other locations, a verge is present between the sidewalk and the street, but it is too narrow to grow anything beyond a narrow strip of grass and could be a tripping hazard. A wider sidewalk would be better to accommodate multiple people walking, or people walking with stroller.



The sidewalk on Church Street slopes with driveways. The verge is planted with grass, but is too narrow to allow more plants to grow.

Recommended Potential Projects

Potential Project: Add Pedestrian Crossing at York Road

Easton Road (State Route 611) and York Road (State Route 263) merge into one roadway (N York Road/Old York Road, SR 611) in Willow Grove. Northbound, where York Road splits from Easton Road, York Road is one-way for about one-quarter of a mile. At that Y-shaped intersection, there is no pedestrian crossing at York Road.

At that location, there is a bus stop for the Route 22 Bus and a pedestrian walkway that leads to the Wawa and other businesses, as well as the Regional Rail Station. The sidewalk on the east side of the street also connects to the Giant grocery store. Based on a clear desire path in the grass verge, people cross York Road at that location.

Recommendation. We suggest that this would be an appropriate location for a pedestrian crossing. Specifically, we recommend that the township requests a mid-block crossing with physical barriers and bump-outs. Both roads are state-owned, so coordination with PennDOT would be needed to understand what PennDOT plans for the location.

Existing Conditions



Intersection of York Road and Easton Road, facing south.



A desire path indicates where people often walk over the grass when crossing York Road.



York and Easton crossing Aerial

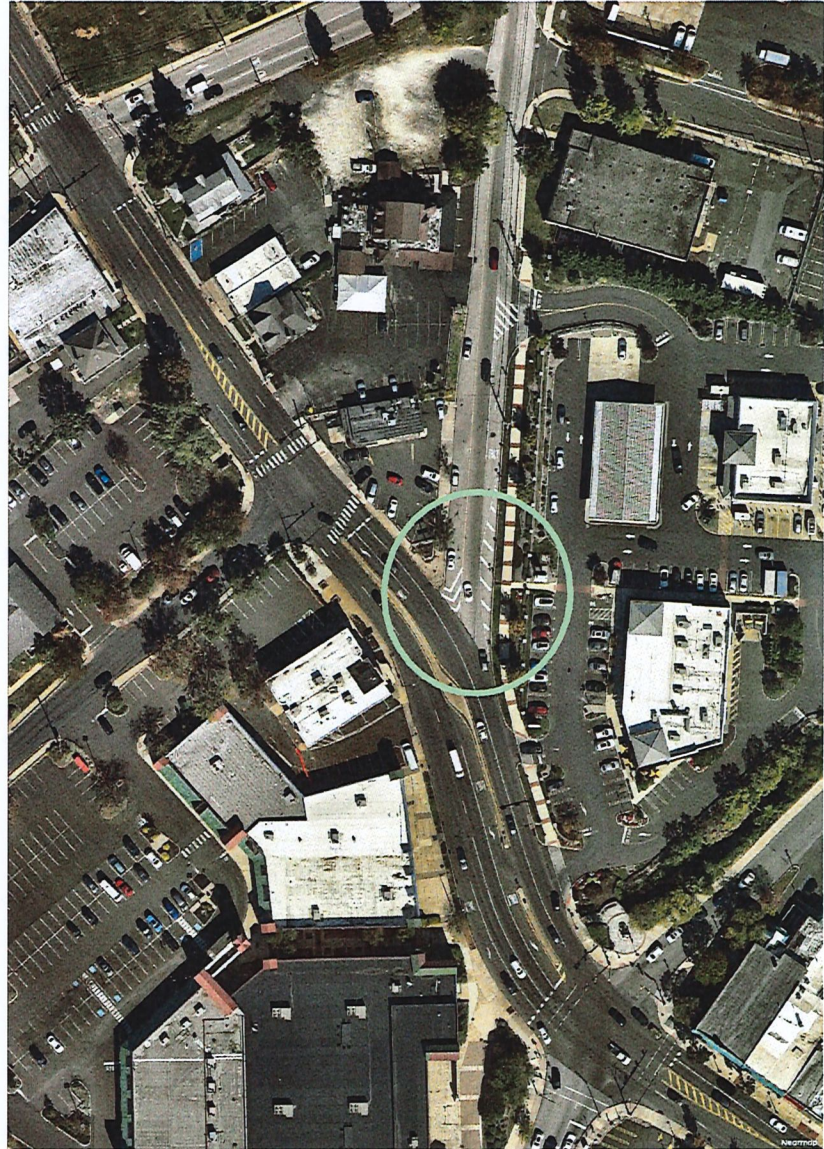
Examples



A mid-block crossing at Presidential Blvd., a busy road in Lower Merion Township, has a pedestrian refuge island and rapid flashing beacons for improved visibility.



Aerial of intersection where a two-way street intersects with a three-lane one-way street. The intersection is signalized and has a pedestrian refuge island that connects the three crosswalks of each of the three road segments.



Potential Project: Improve Pedestrian Crossing at Train Tracks

The Warminster Line has two at-grade crossings in Willow Grove. The intersection of Easton, Davisville, and York is a three-legged intersection that requires pedestrians on the south side of York Road to cross three times to get to the other side of Davisville Road and the train tracks. Pedestrian circulation would be greatly improved with a pedestrian crossing on the south side of the intersection.

At the other crossing at Moreland Road, the track crossing is inadequate in terms of width and quality and there are many obstacles including utility and traffic light poles.

Recommendation. SEPTA coordination is needed to improve any crossing of the Regional Rail tracks. In addition to the track crossing area, other improvements are needed to improve the safety of these intersections. As development occurs, there are opportunities to fix the issues; otherwise, the township would have to pursue the issue in different locations on a case-by-case basis.

In areas along major streets, such as Moreland Road, the township could consider future projects to widen the sidewalk, move parking spots away from sidewalk, and add a green verge, among other improvements. Any project would require coordination with property owners and the utility companies.

Existing Conditions



Sidewalk across tracks at York and Davisville

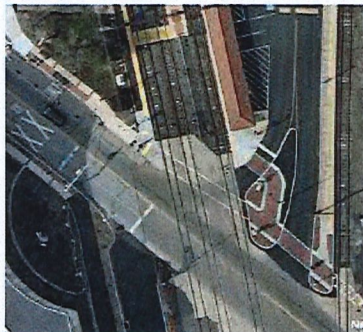


SEPTA Regional Rail tracks across Moreland Road.

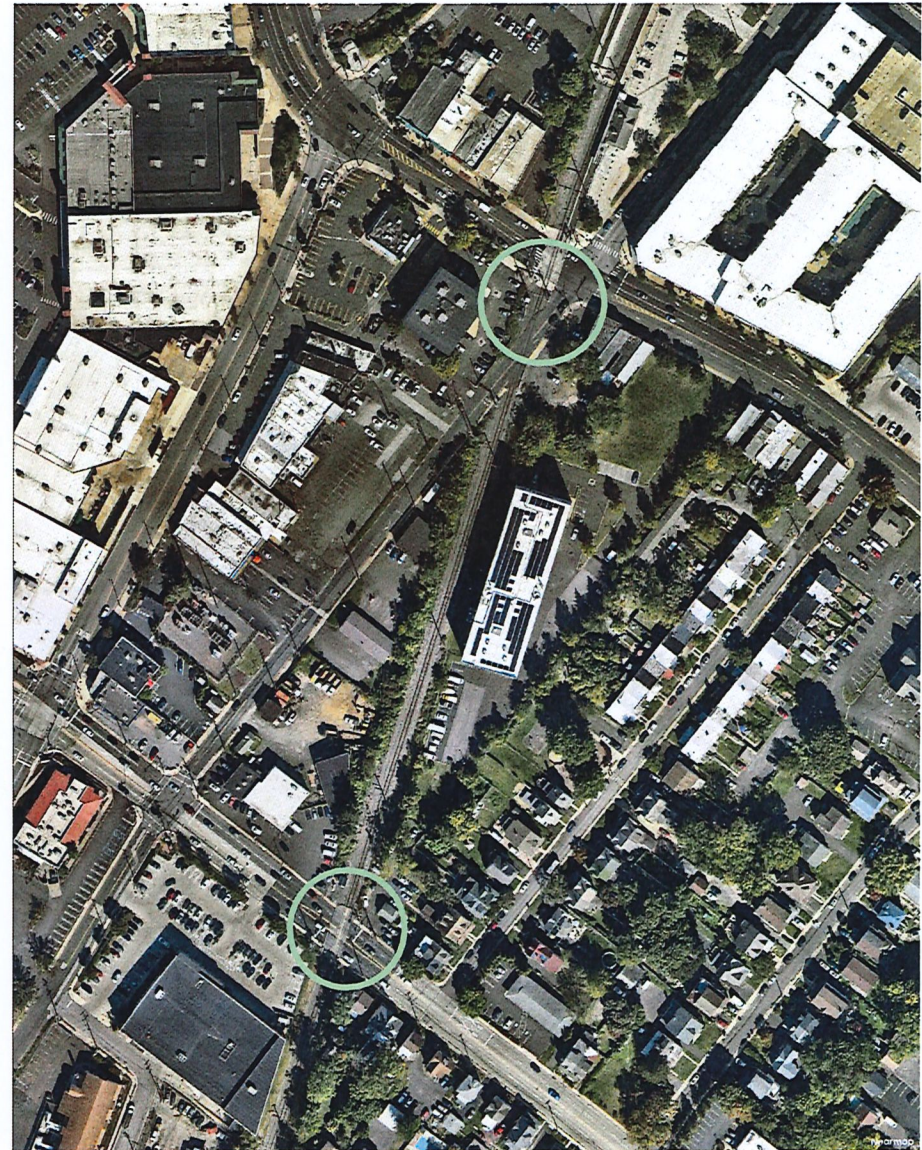


Existing obstacles in the sidewalk along Moreland Road at the SEPTA tracks crossing.

Example



Lansdale Station pedestrian connections were improved with widened sidewalks, curb bump-outs, and highly visible crosswalks, including marked crossings across the train tracks.



Potential Project: Improve Crosswalk to Cherry Street Park

The existing crosswalk to Cherry Street Park does not have an ADA-accessible curb-cut that would allow people using a wheelchair or walking with a stroller to easily cross the street. Additionally, based on aerial imagery, the crosswalk appears to be obstructed by parked cars at various times.

Recommendation. We recommend adding a raised crosswalk that would be ADA-accessible and that would also serve as a speedbump for cars on the residential street. This type of project would be a good candidate for grant funding, such as the Montco2040 implementation grant program.

Existing Conditions



Crosswalks with speed bumps but not curb ramp across Cherry Street to the Cherry Street Park.



Cherry Street Park

Examples



Aerial image of Cherry Street; cars parked in crosswalk. Source: Nearmap



Mid-block crossing on commercial street in Collegeville.



Pedestrian crossing to middle school in Hatfield



Raised crosswalk at trail in residential neighborhood.



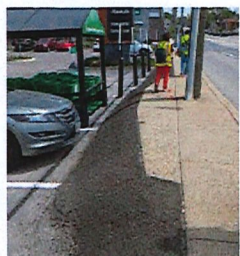
Potential Project: Coordinate with property owner to improve the parking lot and streetscape along Moreland Road

Along Moreland Road, the sidewalk at the Willow Grove Shopping Center drops steeply into that parking lot. The sidewalk along this stretch is narrow (four feet, including the curb), is blocked in portions by utility poles, and has no separation from the fast roadway.

A portion of this parking lot was improved with the construction of the new building and reconfiguration of the driveway onto Park Avenue. However, a large portion of the parking lot remains unchanged and in need of more greenery and better pedestrian infrastructure. On the site plans submitted for the Willow Grove Shopping Center redevelopment, the sidewalk along Moreland Road is shown on site plans as four-foot-wide PECO easement.

Recommendation: We recommend redesigning the parking lot and streetscape along Moreland Road to handle the grade change from the street to the parking lot, add greenery and improved stormwater management to the parking lot, and update the streetscape to be consistent with the Willow Grove Shopping Center redevelopment, including wide sidewalks, street trees, landscaping, pedestrian-scaled lighting, among other treatments. Because of the proposal to redevelop the property, further coordination with the property owner would be needed to negotiate how the parking and streetscape improvements along Moreland Road could be done as part of the redevelopment.

Existing Conditions



Paved drop-off from sidewalk to parking lot; narrow sidewalks.



Little space for a comfortable sidewalk between parked cars and moving cars, and no shade.

Examples



The sidewalk along Easton and York Roads in front of the Wawa is slightly higher than the parking lot, and is separated by a sloping landscaped area.



Parts of the Willow Grove Shopping Center are also below the level of the sidewalk and are sloped toward the building and parking lot.



A large portion of the shopping center has been redeveloped, with the addition of a new building, landscaping, and redesign of pedestrian connections through the parking lot.

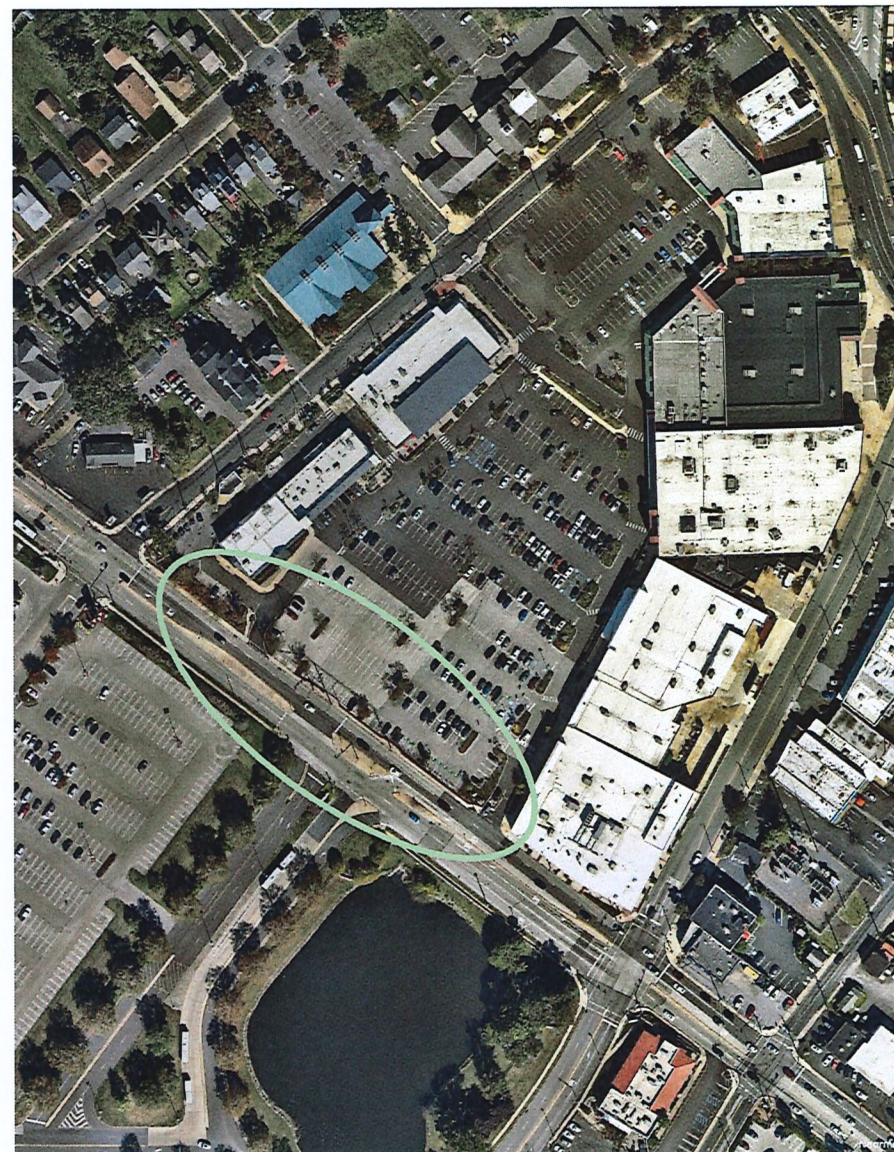




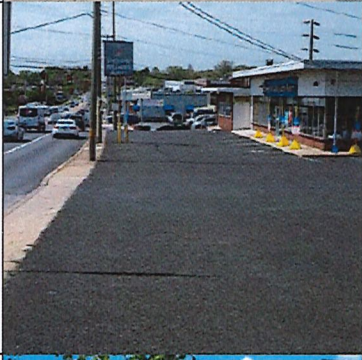







Table of Recommendations

(4 slides)

Issue Identified	Photo Example	Recommendation (Project or SALDO)	Timeframe	Partners
Narrow sidewalks and narrow verge/buffer between sidewalk and travel lane		<p>Recommendation: Review and update SALDO Section 300-18 to address sidewalk width and separation between sidewalk and travel lanes.</p> <p>Recommendation: Work with MCPC to consider the appropriate sidewalk width and verge width for residential streets.</p> <p>Recommendation: When development or project opportunities arise, work with property owners and utilities to widen sidewalk, move parking spots away from sidewalk, add verge, etc.</p>	short	Property owners, PennDOT, MCPC
Obstacles in sidewalk		<p>Recommendation: Obstacles in the sidewalk should be removed in as many locations as possible and, where they are immovable, the sidewalk should be expanded to accommodate them.</p> <p>Recommendation: Work with utility companies to identify utility poles that impede pedestrian traffic and identify mitigation</p> <p>Recommendation: Work with property owners to identify strategies to prevent cars from hanging over sidewalks, such as adding bumper stops or landscaping to move parking spots away from the sidewalk.</p>	Ongoing	PennDOT, utility companies, property owners
Missing crosswalks, Sidewalk slope, across driveways, ADA ramp orientation		<p>Recommendation: Review and update sidewalk and crosswalk standards in Article IV Design Standards of the SALDO to integrate best practices for sidewalk width in commercial areas and residential areas.</p>	Short-ongoing	Property owners

Issue Identified	Photo Example	Recommendation (Project or SALDO)	Timeframe	Partners
Poor lighting, few pedestrian-scaled lights		Recommendation: Review and update SALDO Article IV Design Standards Section 300-29 to address pedestrian-scaled lighting in commercial areas.	Short	Utility companies
Expansive parking lots		Recommendation: Review and update SALDO Article V Landscape Regulations to address parking lot landscaping standards, including the planting requirements provided in Table 1. Specifically, Table 1 should be reviewed for consistency with new zoning districts and updated to align with the current landscaping best practices.	Short	Property owners, utility companies
Insufficiently screened loading and trash storage areas		Recommendation: Review and update the screening requirements for trash and loading areas, particularly for properties with frontages along two streets. Recommendation: Coordinate with property owners on improvements to the loading and trash area screens.	Short	Property owners

Issue Identified	Photo Example	Recommendation (Project or SALDO)	Timeframe	Partners
Few street trees with no landscaping		Recommendation: Review and update SALDO Article V Landscape Regulations Section 300-43.A Street Tree Requirements to evaluate the street tree location, spacing, and species requirements.	Short	
Crosswalk to Cherry Street Park (potential project)		Recommendation: Improve crosswalk to Cherry Street Park. (See Page __ for the full project description and photos)	Medium	UMT Parks and Recreation Property owners
Sidewalk steep drop-off along Moreland (potential project)		Recommendation: Coordinate with property owners to improve the parking lot and streetscape along Moreland Road. (See Page __ for the full project description and photos)	Medium	PennDOT, utility companies, property owners

Issue Identified	Photo Example	Recommendation (Project or SALDO)	Timeframe	Partners
Crosswalk on residential streets and Moreland		Recommendation: Install highly visible crosswalks at residential streets where they intersect with major roads (such as Cherry Street and Moreland Road).	Medium-long	PennDOT
Dangerous intersection at York Road and Easton Road (potential project)		Project Description: Request through PennDOT a mid-block crossing with physical barriers and bump-outs. Additional study of the area will be needed. (See Page __ for the full project description and photos)	Long	PennDOT, Property owners
Dangerous crossing at railroad tracks (potential project)		Project Description: Improve the sidewalk and pedestrian crossing at the train tracks and surrounding area. (See Page __ for the full project description and photos)	Long	PennDOT, SEPTA

What's Next?

- Complete and review the walk audit report recommendations
- Use the recommendations to guide future Subdivision and Land Development Ordinance update



Upper Moreland Township

117 Park Ave, Willow Grove, PA 19090

UPPER MORELAND TOWNSHIP
Community Development Committee
October 20, 2025 - Meeting Minutes

Community Development Committee Members - Commissioner and Committee Chair Demond Mullen, Commissioner and Board President Kip McFatridge, and Commissioner Nicholas Scull. Township Staff Committee Members: Paul E. Purtell, Director of Code Enforcement and David Elsier, Director of Public Works.

- I. **Call to Order** - The meeting was called to order by Commissioner and Committee Chair Mullen.
- II. **Roll Call:** Commissioner and Committee Chair Mullen, Commissioners McFatridge and Scull, Mr. Elsier, and Mr. Purtell. Also present: James Hersh, Gilmore & Associates, Patrick T. Stasio, Township Manager, and Sean Kilkenny, Township Solicitor.
- III. **Announcements/Presentations** – Nothing to report.
- IV. **Public Comments – Non-Agenda Items Only** – Nothing to report.
- V. **Approval of Minutes** – September 22, 2025:
The Committee unanimously approved the minutes.
- VI. **Land Development/Subdivision:**
 - A. Subdivision Application for the property located at 2400 Pioneer Road:
 - Jason Korczak, Sr. P.E. at Holmes Cunningham, LLC, discussed details of waivers for the sidewalk, streetlight, cartway width and right-of-way width.
 - Commissioner Lockard commented concern about the waiver for sidewalks.
 - Mr. Purtell stated that there is no floodplain in front of the existing house or the two proposed lots. Proposed sidewalks going in the direction of Davisville Road are not in the floodplain.
 - The property owner commented an understanding for including the proposed sidewalk.
 - Mr. Korczak commented concerns about moving the crosswalk closer to the houses, the utility pole, and a vertical technical infeasibility along the steep embankment.
 - Commissioner Mullen commented favor for sidewalks on lots two and three.
 - The Committee recommends the Board of Commissioners approve with sidewalks at the November 10, 2025 Regular Meeting.
- VII. **New Business:**
 - A. Mill Creek Dam Repairs – Mr. Hersh discussed the following:
 - The Township-owned dam located along Mill Creek is made from gabion baskets and during recent inspection revealed areas of erosion. A quote received for repairs is above the bidding threshold, the Solicitor's office was consulted, the issue does not constitute an emergency and therefore, must go through a public bidding process. The anticipated cost is \$125,000, all-inclusive and grant funding is not available. There is an area located beneath the Turnpike where water flows and the dam controls water during extreme rain events and protects houses in areas downstream of the PennDOT culvert.
 - The Committee recommends the Board of Commissioners approve at the November 10, 2025 Regular Meeting.
- VIII. **Old Business** – Nothing to report.
- IX. **Redevelopment** – Nothing to report.

UPPER MORELAND TOWNSHIP
Community Development Committee
October 20, 2025 - Meeting Minutes

- X. **Acceptance and Approval of the following monthly reports:**
- A. Code Enforcement Department Report – Nothing further to add to the report.
 - B. Public Works Department Report and Recycling Report – Nothing further to add to the report.
 - C. Township Engineer and Landscape Architect Reports – Nothing further to add to the report.
 - D. Traffic Engineer’s Report – Mr. Hersh added the following:
 - Updates to the Upper Moreland Police Station renovation project include a National Pollutant Discharge Elimination System permit that was submitted to Montgomery County Conservation District and Land Development Plans were provided to Mr. Purtell for review and approval by Montgomery County Planning Commission.
 - E. Environmental Advisory Council (EAC) – Dr. Lynnette Saunders, Chair, discussed:
 - Participated in the October 4th event at Farmstead Park.
 - Invasive plants were removed from Pileggi Park on October 9th.
 - Invasive plants were removed from the Dog Park today, October 20th.
 - Discussed a request for a meadowing ordinance, which contains specific criteria.
 - F. Upper Moreland Historical Commission – Udo Maron, Vice-President, in the absence of Dr. Sue Worth-LaManna, Chair, discussed the following:
 - Asked about the status of PECO telephone pole project. Mr. Stasio stated that information about the work can be found on the Township’s website NewsFlash, and letters were sent to all neighbors in the area. Mr. Stasio will check and provide a follow up.
 - Historical Haunts event will be held at Farmstead Park on Saturday, October 25th with activities and food.
 - Pictures of homes from the Revolutionary War period to be posted as a virtual self-tour.
 - Requesting permission for a 2026 event where youngsters can paint the Ehrenpfort Building with the theme, “What does America mean to me?”.
 - Fountain House historical marker will be ready for installation by the Public Works Department.
 - Replacement of historical banners to be performed by the Public Works Department.
- XI. **Visitor Comments** – Nothing to report.
- XII. **Other Items** – Nothing to report.
- XIII. **Commissioner Comments:**
- Commissioner McFatridge announced that Roger Myers from the VFW has died. He was a volunteer and coordinated many community events that included parades and Parks and Recreation events.
- XVI. **Adjournment** - There being no further business to discuss, the meeting was adjourned at 8:00 p.m.
- Respectfully submitted by Kathleen Kristire.

TOWNSHIP of UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215

Telephone (215) 659-3100 / Fax (215) 659-7363

COMMISSIONERS

KIP McFATRIDGE

President

CHERYL LOCKARD

Vice President

JARED JACOBS

DEMOND MULLEN

BENJAMIN W. OLSZEWSKI

NICHOLAS O. SCULL

CHARLES M. WHITING



OFFICIALS

PATRICK T. STASIO

Township Manager

JOHN D. BATES

Assistant Township Manager/

Director of Finance

ALEX H. LEVY

Township Treasurer

SEAN P. KILKENNY, ESQ.

Township Solicitor

Agenda Summary

Community Development Committee Meeting – November 24, 2025

Agenda Item:	117 Park Avenue Township Land Development Application
Prepared By:	Paul Purtell, Director of Code Enforcement
Attachments:	Land Development application and Draft Resolution
Background/Analysis:	Upper Moreland Township is proposing alterations to the existing municipal building and complex. Improvements will include interior alterations, building expansion to both the administration and police department, reconfiguration of the parking areas, new stormwater management facilities and other site improvements for safety and building access.
Fiscal Impact/Source:	N/A
Alternatives:	N/A
Staff Recommendation:	The Committee recommends the Board of Commissioners approve at the December 1, 2025 Regular Meeting.

Equal Opportunity Employer

VISIT US ON THE WEB @ www.uppermoreland.org

Upper Moreland Township
APPLICATION FOR APPROVAL OF PLAN

RECEIVED
OCT 21 2025
UPPER MORELAND
CODE ENFORCEMENT

Submission date: 10/21/25 Application number _____

To the Board of Commissioners of Upper Moreland Township:

The undersigned hereby makes application for approval of a plan type as indicated below, under the provisions of the Code of Upper Moreland Township, Chapter 300, *Subdivision and Land Development*, and any supplements and amendments thereto.

Furthermore, the applicant hereby waives the requirement under Act 247, as amended, that the Subdivision and/or Land Development plan be acted upon within ninety (90) days from date of submission.

[Signature]
Signature of Applicant

[Signature]
Signature of Land Owner

Title of Plan Submitted: Upper Moreland Twp LD Plan

A. Plan Type:

☐ Minor Subdivision
☐ Preliminary Major Subdivision
☐ Final Major Subdivision
☐ Preliminary Major SD&LD

☒ Minor Land Development - Ordinary/Final
☐ Preliminary Major Land Development
☐ Final Major Land Development
☐ Final Major SD&LD

B. Plan Identification

Plan Dated: 8/29/25 Engineer: Gilmore & Assoc.

Plan Proposes: Brief narrative of the proposed activity. Commercial/Industrial/Institutional applications to include building square footage and specific uses; Residential applications to include number of lots and amount of dwelling unit types:

Renovations & additions to Upper Moreland Twp.
Municipal complex

C. Property Identification:

Address/Location 117 Park Ave, WG, PA. 19090

(Continued on next page)

TPN: 59-00-14053-00-9 Block # _____ Unit # _____

D. Applicant Identification:

Applicant: Pat Stasio - WMT Manager

Address: 117 Park Ave, WG, PA. 19090

Phone: 267-607-1056 Email (required): pstasio@uppermoredun.org

Land Owner: Upper Moreland Twp

Address: —

Phone: — Email (required): —

Engineer: Jim Hersh - Gilmore & Assoc

Address: 401 Plymouth Rd, Ste 150, Plymouth Meeting, PA.

Phone: 267-337-7170 Email (required): jhersegilmore-^{N/19462}assoc.com

Attorney: —

Address: —

Phone: — Email (required): —

Office Use Only

Fees received from applicant:

Application fee: —

Review Escrow: —

Total: —

Fees acknowledged and application accepted as complete:

[Signature]
Staff signature

10/21/25
Date



Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

Land Development

LD25-0037

Date Printed: 10/21/2025

Summary

Type: Land Development Submittal Date: 10/21/2025

Description of Work:
Upper Moreland Township and Police Building Renovations

Applicant/Mail to:

Upper Moreland Township
117 Park Ave
Willow Grove, PA 19090

Property Information

Address: 117 Park Ave , (590014053018) Tax ID: 590014053018
Owner: Upper Moreland Township Phone:

Fee Details

Payment Information	Payment Type	Amount
	AMOUNT PAID	\$0.00
	BALANCE DUE	\$0.00

Additional Information

Decision Date:

Decision Description:

Hearing Date:

Hearing Time:

Public Hearing No:

Planning Commission 247 Submission Portal

Scott France, AICP
Executive Director



[Municipal 247 Submission Portal Instructions](#)

Welcome Elda Maggeo Upper Moreland emaggeo@uppermoreland.org

New Proposal

Proposals In Progress

Submitted Proposals

Proposal Entry

Proposal

Plan

Parcel

Land Use

Upload Documents

Remarks

Review / Payment

Confirmation of Submission

Montgomery County Planning Commission has received the proposal. Please record the following information for future reference.

General Information

Proposal Number: 108001

Applicant: Upper Moreland Township

Proposal Name: Upper Moreland Township and Police Building Renovations

[Home](#)

P.O. Box 311, Norristown, PA 19404-0311 610-278-3722
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October 10, 2025

File No. 23-02039.01

Upper Moreland Township Board of Commissioners
117 Park Avenue
Willow Grove, PA 19090

Reference: Upper Moreland Township and Police Building Renovations
Land Development Waiver Requests

Dear Commissioners:

In consideration of the Upper Moreland Township and Police Building Renovations project, please see below a list of requested waivers from the Stormwater Management Ordinance (Chapter 287) and the Subdivision and Land Development Ordinance (Chapter 300):

1. 287-23.A(2)(b) – Requires that one hundred percent of existing impervious area, when present, be considered meadow in the model for existing conditions. The proposed project is designed to meet the NPDES requirement to model 20% of the existing impervious area as meadow.
2. 287-25.A – Requires peak rate reductions in accordance with Table 287-25.1. The site currently contains no conventional stormwater management best management practices (BMPs), but the proposed project is designed to meet the NPDES requirement to show no increase in peak rates from existing conditions. Peak rates will be reduced in all storm events, and by approximately 40% in the 1-year storm event. They will be reduced by a minimum of 10% through the 50-year storm event, and by approximately 7% in the 100-year storm event.
3. 300-15.B – Requires that Park Avenue have a minimum cartway width of 30 feet. The development does not propose improvements along Park Avenue and will not result in an increase in traffic to Park Avenue. Additionally, this waiver was granted for the Willow Grove Shopping Center Retail Building project, where additional widening was deemed unnecessary by the Commissioners.
4. 300-19.A(7) – Requires an 8-inch reveal on all curbing in accordance with the specifications set forth in Chapter 295 Article 1. The proposed project proposes a 6-inch reveal on curbing to aid in handicap and pedestrian accessibility throughout the site.
5. 300-43.D(1)(d) - A minimum of one shade tree shall be planted in each parking lot island. A shade tree cannot be planted in three of the islands located in the parking lot between the Township Building and Center Avenue due to the incorporation of sidewalks and accessible ramps for increased pedestrian connectivity and accessibility to the through the site. Shade trees are provided along the perimeter of the parking lot in this area to provide shade.
6. 300-45.A & 300-45.B – These sections require replacement trees be planted on-site to offset the removal of existing trees and Heritage Trees removed during construction. The landscape plan proposes 9 replacement trees where 22 are required by Ordinance for trees 8 inches to 23 inches in caliper. Available planting area on site is the primary constraint reducing the ability to comply with the Ordinance. The Township may consider planting trees in open space or park areas in other parts of the Township to make up the Ordinance deficiency on this site.
7. 300-50.B – Requires a preliminary plan for all subdivisions in the Township. We request that the application be considered by the Commissioners as joint Preliminary/Final.
8. 300-52.C(1) – Requires that all Land Development plans show detailed survey information for an area of 400 feet surrounding the project. Sufficient detail is shown on the plans for the proposed improvements and if additional off-site survey is required for utility tie ins, that information will be obtained as necessary.

As always, if you have any questions or require additional information, please do not hesitate to contact our office.

Sincerely,

James J. Hersh, P.E.
Vice President
Gilmore & Associates, Inc.

401 Plymouth Road | Suite 150 | Plymouth Meeting, PA 19462-1653 | Phone: 610-489-4949 | Fax: 610-489-8447

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION NO. _____

A RESOLUTION GRANTING PRELIMINARY/FINAL LAND DEVELOPMENT APPROVAL WITH CONDITIONS TO UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA FOR EXPANSION AND UPDATES TO THE MUNICIPAL COMPLEX ON THE PARCEL LOCATED AT 117 PARK AVENUE, WILLOW GROVE, UPPER MORELAND TOWNSHIP.

WHEREAS, Upper Moreland Township, Montgomery County, Pennsylvania (“Applicant” or “Township”) filed an application with Upper Moreland Township requesting approval with certain waivers (the “Land Development Application”) to expand and update the Township Municipal Complex property located at 117 Park Avenue, Willow Grove, PA (the “Project”); and

WHEREAS, the Applicant has submitted the following in support of the Land Development Application: “Land Development Plan for Upper Moreland Township-Renovations and Additions for Township Building and Police Building”, prepared by Gilmore & Associates, Inc., dated August 29, 2025, last revised October 10, 2025, consisting of Sheets 1 to 16 of 16 (the “Plans”). The Plans are attached hereto as **Exhibit “A”** and incorporated herein by reference; and

WHEREAS, the Applicant is the title holder of record to ten (10) parcels of land located at Center Avenue and Park Avenue in the Township which are collectively referred to as the Township Municipal Complex which consists of the Upper Moreland Township Library, Administration Building, Police Department, parking areas and open space (the “Municipal Complex” or “Property”); and

WHEREAS, the parcels of land comprising the Municipal Complex are further identified as Montgomery County, Pennsylvania Tax Parcel Numbers: 59-00-14047-00-6 (17 Park Avenue), 59-00-14050-00-3 (27 Park Avenue), 59-00-14053-00-9 (119 Park Avenue), 59-00-02773-00-3 (30 Center Avenue), 59-00-02776-00-9 (100 Center Avenue), 59-00-02779-00-6 (102 Center Avenue), 59-00-02782-00-3 (104 Center Avenue), 59-00-02785-00-9 (114 Center Avenue), 59-00-02788-00-6 (116 Center Avenue) and 59-00-02791-00-3 (118 Center Avenue); which were previously split zoned with the majority located in the R-4 Residential Zoning District and the remainder located in the INST-Institutional and TC-1 Town Center Zoning Districts; and

WHEREAS, the Upper Moreland Township Board of Commissioners on June 5, 2023, via Upper Moreland Township Ordinance No. 1742, adopted a zoning map change to re-zone all parcels of land comprising the Municipal Complex to the TC-1 Town Center Zoning District; and

WHEREAS, the Applicant proposes an expansion and updates to the Municipal Complex that would include an approximately 8,000 square foot addition to the Township administrative portion at the main and lower levels of the building and an approximately 6,000-square foot

addition to the police department at the main level. The proposed changes to the Municipal Complex would include a reconfiguration of public entrances, with accessible entrances on both the Cedar Avenue and Park Avenue sides of the building. Additional improvements include pedestrian connections to the municipal building from Center Avenue, accessible public entrances, and open space and trees around the municipal building and along the streets. The site will continue to be served by public water and sewer; and

WHEREAS, the Applicant has requested waivers from requirements set forth in Chapters 287 “Stormwater Management” and 300 “Subdivision and Land Development” of the Upper Moreland Township Code of Ordinances, more fully referenced in Paragraph 4 below; and

WHEREAS, the Township Engineer and Township Landscape Architect have submitted Applicant’s Preliminary/Final Land Development Plans and have requested certain waivers from Chapters 287 “Stormwater Management” and 300 “Subdivision and Land Development” of the Upper Moreland Township Code of Ordinances as set forth in the waiver request letter dated October 10, 2025; and

WHEREAS, The Township Traffic Engineer has reviewed Applicant’s Preliminary/Final Land Development Plans and has recommended their approval, subject to the conditions and comments set forth in the review letter dated November 13, 2025, attached hereto as **Exhibit “B”** and incorporated herein by reference; and

WHEREAS, The Montgomery County Planning Commission has reviewed Applicant’s Preliminary/Final Land Development Plans and has recommended their approval, subject to the comments set forth in the review letter dated November 7, 2025, attached hereto as **Exhibit “C”** and incorporated herein by reference; and

WHEREAS, The Township Advisory Planning Agency has reviewed Applicant’s Preliminary/Final Land Development Plans and has recommended their approval, as set forth in the minutes of the Agency dated November 20, 2025, attached hereto as **Exhibit “D”** and incorporated herein by reference; and

WHEREAS, based on Applicant’s presentation of the Project on November 24, 2025, the Upper Moreland Township Community Development Committee has recommended Conditional Preliminary/Final Approval of the Applicant’s Preliminary/Final Land Development Plans; and

WHEREAS, the Upper Moreland Township Board of Commissioners has determined that based on the testimony, and reviews of Township Consultants, Applicant has satisfactorily established that Conditional Preliminary/Final Land Development Approval will not be contrary to the public interest.

NOW, THEREFORE, BE IT RESOLVED, by the Upper Moreland Township Board of Commissioners that the Applicant’s Preliminary/Final Land Development Plans are hereby

granted Conditional Preliminary/Final Land Development Approval, subject to the satisfaction of the following conditions by the Applicant:

1. Except as modified herein, Applicant shall comply with all other applicable Township Ordinances, County, Commonwealth and Federal statutes, rules, and regulations, and obtain all applicable permits and approvals including but not limited to, obtaining the approval of the fire marshal, UMHJSA permit, Aqua of Pennsylvania permit, Montgomery County Conservation District permits, and PA DEP permits.

2. Applicant shall strictly comply with all applicable Americans with Disabilities Act accessibility standards as promulgated by the Department of Justice and the International Code Council, A117.1-2017, for the construction of accessible facilities, including, but not limited, to handicapped parking spaces on the Property.

3. Unless waived by the Board of Commissioners, the Applicant shall comply with all conditions and comments set forth in the Township's consultants review letters.

4. Further, the Board of Commissioners takes the following action as to the Applicant's request for waivers from the requirements of Chapter 287 "Stormwater Management" and Chapter 300 "Subdivision and Land Development" of the Upper Moreland Township Code of Ordinances:

A. §287-23.A(2)(b): From the requirement that one hundred percent of existing impervious area, when present, be considered meadow in the model for existing conditions. The proposed project is designed to meet the NPDES requirement to model 20% of the existing impervious area as meadow.

☐ Granted ☐ Denied

B. §287-25.A: From the requirement that peak rate reductions be calculated in accordance with Table 287-25.1. The site currently contains no conventional stormwater management best management practices, but the proposed project is designed to meet the NPDES requirement to show no increase in peak rates from existing conditions. Peak rates will be reduced in all storm events, and by approximately 40% in the 1-year storm event. The rates will also be reduced by a minimum of 10% through the 50-year storm event, and by approximately 7% in the 100-year storm event.

☐ Granted ☐ Denied

C. §300-15.B: From the requirement that Park Avenue have a minimum cartway width of 30 feet. The development does not propose improvements along Park Avenue and will not result in an increase in traffic to Park Avenue. This waiver would mirror the waiver granted to the Willow Grove Retail Building project

where additional widening of Park Avenue was deemed unnecessary by the Commissioners.

☐ Granted ☐ Denied

- D. §300-19.A(7): From the requirement for an 8-inch reveal on all curbing in accordance with the specifications set forth in Chapter 295, Article I. The proposed project proposes a 6-inch reveal on curbing to aid in handicap and pedestrian accessibility throughout the site.

☐ Granted ☐ Denied

- E. §300-43.D(1)(d): From the requirement that a minimum of one shade tree shall be planted in each parking island lot. A shade tree cannot be planted in three of the islands located in the parking lot between the Township building and Center Avenue due to the incorporation of sidewalks and accessible ramps for increased pedestrian connectivity and accessibility to the through site. Shade trees are provided along the perimeter of the parking lot in this area to provide shade.

☐ Granted ☐ Denied

- F. §300-45.A & B: From the requirements of these sections that replacement trees be planted onsite to offset the removal of existing trees and Heritage Trees removed during construction. The landscape plan proposes 9 replacement trees where 22 are required by the SALDO for trees 8 inches to 23 inches in caliper. Available planting area onsite is the primary constraint reducing the ability to comply with the SALDO. The Township may consider planting trees in open space or park areas in other parts of the Township to make the deficiency on this site.

☐ Granted ☐ Denied

- G. §300-50.B: From the requirement for a preliminary plan for all subdivisions in the Township. The Applicant requests that the application be considered by the Board of Commissioners as joint Preliminary/Final.

☐ Granted ☐ Denied

- H. §300-52.C(1): From the requirement that all land development plans show detailed survey information for an area of 400 feet surrounding the project. Sufficient detail is shown on the plans for the proposed improvements and if additional off-site survey is required for utility tie-ins that information will be obtained as necessary.

☐ Granted ☐ Denied

5. Unless construction has begun in accordance with the Plans, this Resolution will expire in two years from the date of this Resolution, unless extended in writing by the Township.

6. This Conditional Preliminary/Final Land Development Approval does not and shall not authorize the construction of improvements or buildings exceeding those shown on the Plans. Furthermore, this Conditional Preliminary/Final Land Development Approval shall be rescinded automatically upon the Applicant's or the Applicant's agent's failure to accept, in writing, all conditions herein imposed within ten (10) days of receipt of this Resolution, such acceptance to be evidenced by the Applicant's or the Applicant's agent's signature below.

7. By approving this Resolution, the Applicant is signifying acceptance of the conditions contained herein.

DULY PRESENTED AND ADOPTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, in a public meeting held this 1st day of December, 2025.

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS:**

ATTEST:

Patrick Stasio, Township Manager

By: _____
Clifton McFatridge, President

In the event that the executed Resolution is not delivered to the Township within ten (10) days of receipt, it shall be deemed that the Applicant does not accept these conditions, and approvals conditioned upon its acceptance are revoked, and the application is considered denied for the reasons set forth above.

Date: _____

ACCEPTED BY:

APPLICANT

UPPER MORELAND TOWNSHIP

Name:
Title:

EXHIBITS

DRAFT

Exhibit A

LAND DEVELOPMENT PLAN

FOR

UPPER MORELAND TOWNSHIP

RENOVATIONS AND ADDITIONS FOR

TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

SHEET LIST TABLE

SHEET NO.	SHEET TITLE
COVER	COVER SHEET
1	EXISTING FEATURES AND DEMOLITION PLAN
2	RECORD PLAN
3	EROSION AND SEDIMENT CONTROL PLAN
4	POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN
5	GRADING PLAN
6	UTILITY PLAN
7	LANDSCAPE PLAN
8	LIGHTING PLAN
9	EROSION AND SEDIMENT CONTROL DETAILS AND NOTES 1
10	EROSION AND SEDIMENT CONTROL DETAILS AND NOTES 2
11	POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS
12	POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS AND NOTES
13	CONSTRUCTION DETAILS AND NOTES 1
14	CONSTRUCTION DETAILS AND NOTES 2
15	LIGHTING DETAILS AND NOTES



OWNER/APPLICANT:

UPPER MORELAND TOWNSHIP
117 PARK AVENUE
WILLOW GROVE, PA 19090
(215) 659-3100

PROJECT LOCATION:

117 PARK AVENUE
WILLOW GROVE, PA 19090
UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY

TAX PARCEL:

59-00-14053-00-9

G:\MUNICIPAL\2023\2302039-01-1WT-New Police Station Building CAD\Production Drawings\2302039-DEMO Plotted By: batuder, on Fri Oct 10, 2025 at 3:00pm

PENNSYLVANIA ONE CALL SYSTEM, INC.

925 Inth Run Road
West Mifflin, Pennsylvania
15122 - 1076

811

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH

SERIAL NO. 20230661537

LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS. THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.

ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50.

GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

GENERAL SURVEY NOTES:

- PROPERTY AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF UPPER MORELAND, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA.
- THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN MARCH, 2023, AND THE REFERENCED INFORMATION LISTED HEREON. IT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- SUBJECT TO COVENANTS, RESTRICTIONS AND/OR EASEMENTS EITHER WRITTEN OR IMPLIED.
- VERTICAL DATUM IS NAVD88 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- HORIZONTAL DATUM IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD 83) ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- A CLOCKWISE ROTATION OF 21°19'00" IS REQUIRED TO CONVERT FROM THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH (PCPCS) TO THE REFERENCED DEED BEARING SYSTEM.

REFERENCES:

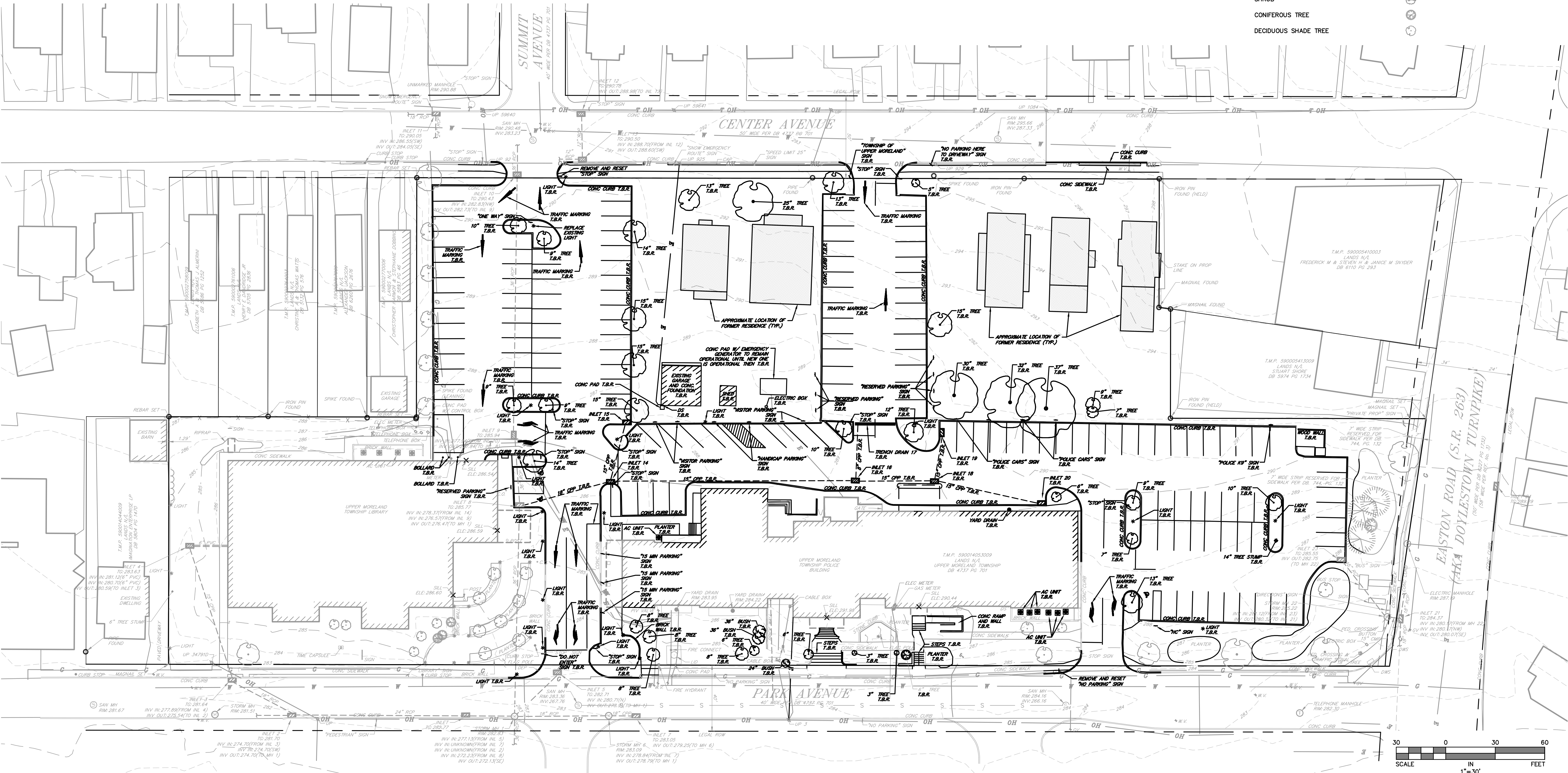
- TAX MAP FOR THE TOWNSHIP OF UPPER MORELAND, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA.
- PLAN ENTITLED "PLAN OF LOTS OF SAMUEL KEIGHTLY" DATED MAY 2, 1896, PREPARED BY JOSEPH W. HUNTER, ENGINEER & SURVEYOR OF JUNKERTOWN, PA, AND RECORDED IN THE MONTGOMERY COUNTY RECORDER OF DEEDS IN PLAN BOOK 399 PAGE 500
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- DEED BOOKS AS NOTED.

ABBREVIATIONS

BC	BOTTOM OF CURB	MIN	MINIMUM
BW	BOTTOM OF WALL	MISC	MISCELLANEOUS
C.O.	CLEAN OUT	N/A	NOT APPLICABLE
CONC	CONCRETE	NO./#	NUMBER
CPP	CORRUGATED PLASTIC PIPE	PG	PAGE
DB	DEED BOOK	PVC	POLYVINYL CHLORIDE
DEP	DEPRESSED	R	RADIUS OR RISER
ø/DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DWS	DETECTABLE WARNING SURFACE	SAN	SANITARY
EA	EACH	SF	SQUARE FOOT OR SQUARE FEET
EL/ELE	ELEVATION	STMH	STORM MANHOLE
ELEC	ELECTRIC	TBD	TO BE DETERMINED
EX/EXIST	EXISTING	T.B.R.	TO BE REMOVED
FF/FFE	FINISHED FLOOR ELEVATION	TC	TOP OF CURB
FT	FOOT OR FEET	TEL	TELEPHONE
HDPE	HIGH DENSITY POLYETHYLENE	TG	TOP OF GRATE ELEVATION
INL	INLET	T.M.P.	TAX MAP PARCEL
INV	INVERT ELEVATION	TW	TOP OF WALL
LF	LINEAR FOOT OR LINEAR FEET	TYP	TYPICAL
MAX	MAXIMUM	W	WATER OR WDE

LEGEND

	EXISTING
CURB	---
EDGE OF PAVE	---
LEGAL RIGHT-OF-WAY	---
PROPERTY LINE	---
EASEMENT	---
MAJOR CONTOURS	-210-
MINOR CONTOURS	-212-
SPOT ELEVATION	x 25.0
FENCE LINE	x x x x
SANITARY SEWER LINE	S
STORM LINE	OH
OVERHEAD ELECTRIC LINE	EH
UNDERGROUND ELECTRIC LINE	E
WATER LINE	W
GAS LINE	G
STORM MANHOLE	⊕
SANITARY MANHOLE	⊕
ELECTRIC MANHOLE	⊕
WATER MANHOLE	⊕
GAS VALVE	⊕
WATER VALVE	⊕
ELECTRIC METER	⊕
GAS METER	⊕
WATER METER	⊕
SIGN	⊕
UTILITY POLE	⊕
GUY WIRE	⊕
FIRE HYDRANT	⊕
IRON PIN FOUND	⊕
CONCRETE MONUMENT FOUND	⊕
LIGHT FIXTURE	⊕
SHRUB	⊕
CONIFEROUS TREE	⊕
DECIDUOUS SHADE TREE	⊕



LAND DEVELOPMENT PLAN

RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

EXISTING FEATURES AND DEMOLITION PLAN

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT No.: 23-02039

OWNERS INFO:
UPPER MORELAND TOWNSHIP
117 PARK AVENUE
MILLOW GROVE PA 19090
(215) 659-3100

MUNICIPAL FILE No.: N/A

TAX MAP PARCEL No.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC. TOTAL LOTS: 1

DATE: 8/29/2025 SCALE: 1"=30'

DRAWN BY: BMS CHECKED BY: JHH

SHEET NO.: 1 OF 15

REV.	DESCRIPTION	DATE	BY

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

401 FLYCOUTH ROAD, SUITE 100, FLYCOUTH MEETING, PA 19025 • (610) 465-0400 • www.gilmore-associates.com

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10/10/2025 PRELIM/FINAL LD SUBMISSION

G:\MUNICIPAL\2023\2302039.01-LWT-New Police Station Building\CAD\Production Drawings\2302039_FCD.dwg Layout: RCD Plotted By: bituder, on Fri Oct 10, 2025 at 3:01pm

OWNER CERTIFICATION OF ACKNOWLEDGEMENT:

COMMONWEALTH OF PENNSYLVANIA
SS.
COUNTY OF MONTGOMERY:

ON THE _____ DAY OF _____, 20____, BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN MONTGOMERY COUNTY, PERSONALLY APPEARED CLIFTON MCFATRIDGE, WHO ACKNOWLEDGED HIMSELF TO BE THE PRESIDENT OF THE UPPER MORELAND TOWNSHIP BOARD OF COMMISSIONERS, AND THAT AS SUCH, BEING AUTHORIZED TO DO SO, HE EXECUTED THE FOREGOING PLAN BY SIGNING THAT THE SAID ENTITY IS THE REGISTERED OWNER OF THE DESIGNATED LAND, AND ALL NECESSARY APPROVALS OF THE PLAN HAVE BEEN OBTAINED AND ARE ENDORSED THEREON; THAT SAID ENTITY DESIRES THAT THE FOREGOING PLAN BE RECORDED ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR AFORESAID.

(SIGNATURE OF OFFICER)

NOTARY PUBLIC
MY COMMISSION EXPIRES:

(TITLE)
(CORPORATE SEAL)

RECORDED IN THE OFFICE OF RECORDER OF DEEDS OF MONTGOMERY COUNTY, NORRISTOWN, PENNSYLVANIA IN PLAN BOOK _____ PAGE _____ ON THE _____ DAY OF _____, 20____.

APPROVAL OF THE TOWNSHIP BOARD OF COMMISSIONERS:

APPROVED BY THE BOARD OF COMMISSIONERS OF UPPER MORELAND TOWNSHIP THIS _____ DAY OF _____, 20____.

PRESIDENT
ATTEST:

TOWNSHIP SECRETARY

TOWNSHIP ENGINEER

PROFESSIONAL LAND SURVEYOR'S CERTIFICATION:

I, RUSSELL CROSS, P.L.S., A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA, SURVEYOR NO. SU, DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE EXISTING FEATURES, TOPOGRAPHY, AND METES AND BOUNDS SHOWN ON THIS PLAN ARE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS IN JULY OF 1996 (OR AS SUBSEQUENTLY ADOPTED). A FIELD SURVEY WAS PERFORMED UNDER MY IMMEDIATE SUPERVISION, AND ALL MONUMENTS AND/OR LOT PINS SHOWN, EXIST AS INDICATED OR SHALL BE PLACED AS SHOWN, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

(SIGNATURE OF REGISTERED PROFESSIONAL LAND SURVEYOR) (REGISTRATION NUMBER)

RECORDER OF DEEDS:

RECORDED THIS _____ DAY OF _____, 20____, IN THE OFFICE OF THE RECORDING OF DEEDS, ETC. IN AND FOR THE COUNTY OF MONTGOMERY IN NORRISTOWN, PENNSYLVANIA IN PLAN BOOK _____ PAGE _____

RECORDER

ZONING INFORMATION:

ZONING DISTRICT: TOWN CENTER (TC-1)

PROPOSED USE: GOVERNMENT ADMINISTRATION USES (ALLOWED BY RIGHT)

TC-1 ZONING INFORMATION

STANDARD	REQUIRED	EXISTING	PROPOSED
MIN LOT SIZE	2,500 SF	178,366 SF	178,366 SF
MIN LOT WIDTH	25 FT	450 FT	450 FT
SIDEWALK ⁽¹⁾	N/A ⁽²⁾	21.6 FT	21.6 FT
MIN SIDE YARD	35.8 FT	30.8 FT	30.8 FT
MAX IMPERVIOUS COVERAGE	90%	60.20%	70.16%
		(107,374 SF)	(125,134 SF)
MAX BUILDING HEIGHT	45 FT ⁽³⁾	<45 FT	<45 FT
BUILDING STEPBACK	6 FT ⁽⁴⁾	N/A	N/A
MAX BUILDING FOOTPRINT	15,000 SF	15,345 SF ⁽⁵⁾	25,496 SF ⁽⁵⁾

- (1) BUILDINGS SHALL BE BUILT TO THE SIDEWALK OR SET BACK A MAXIMUM OF 15 FEET FROM THE SIDEWALK FOR PURPOSES OF A PLAZA, SQUARE, COURTYARD, OR OUTDOOR DINING. NO PARKING SHALL BE LOCATED IN THIS AREA.
- (2) THERE SHALL BE NO SIDE YARD SETBACK REQUIRED FOR BUILDINGS THAT SHARE A PARTY WALL. THE SETBACK BETWEEN BUILDINGS SHALL BE A MINIMUM OF 10 FEET (5 FEET PER EACH BUILDING) WHEN NOT SHARING A PARTY WALL.
- (3) BUILDINGS SHALL BE A MINIMUM OF 2 OCCUPIED STORIES OVER 90% OF THE BUILDING AREA. MAXIMUM HEIGHT DOES NOT INCLUDE ADDITIONAL HEIGHT OF UNOCCUPIED PITCHED ROOF AREA OR SCREENING OF ROOFTOP MECHANICAL SYSTEMS.
- (4) BUILDINGS HIGHER THAN 2 STORIES SHALL HAVE A 6 FOOT STEPBACK BETWEEN 10 FEET AND 40 FEET ABOVE GROUND LEVEL.
- (5) EXISTING NON-CONFORMING

PARKING INFORMATION:

POLICE ARE CURRENTLY SITUATED IN EXISTING TOWNSHIP BUILDING AND ARE BEING RELOCATED TO SEPARATE PROPOSED POLICE STATION ON PROPERTY. THERE IS NO SHORTAGE OF PARKING CURRENTLY EXPERIENCED ON-SITE AND NO INCREASE IN PARKING DEMAND EXPECTED.

EXISTING SPACES: 149 SPACES

PROPOSED SPACES: 147 SPACES

GENERAL SURVEY NOTES:

- PROPERTY AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF UPPER MORELAND, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA.
- THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN MARCH, 2023, AND THE REFERENCED INFORMATION LISTED HEREON. IT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- SUBJECT TO COVENANTS, RESTRICTIONS AND/OR EASEMENTS EITHER WRITTEN OR IMPLIED.
- VERTICAL DATUM IS NAVD88 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- HORIZONTAL DATUM IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD 83) ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- A CLOCKWISE ROTATION OF 21°19'00" IS REQUIRED TO CONVERT FROM THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH (PCPCS) TO THE REFERENCED DEED BEARING SYSTEM.

REFERENCES:

- TAX MAP FOR THE TOWNSHIP OF UPPER MORELAND, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA.
- PLAN ENTITLED "PLAN OF LOTS OF SAMUEL KEIGHTLY" DATED MAY 2, 1896, PREPARED BY JOSEPH W HUNTER, ENGINEER & SURVEYOR OF JUNKERTOWN, PA, AND RECORDED IN THE MONTGOMERY COUNTY RECORDER OF DEEDS IN PLAN BOOK 399 PAGE 500
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- DEED BOOKS AS NOTED.

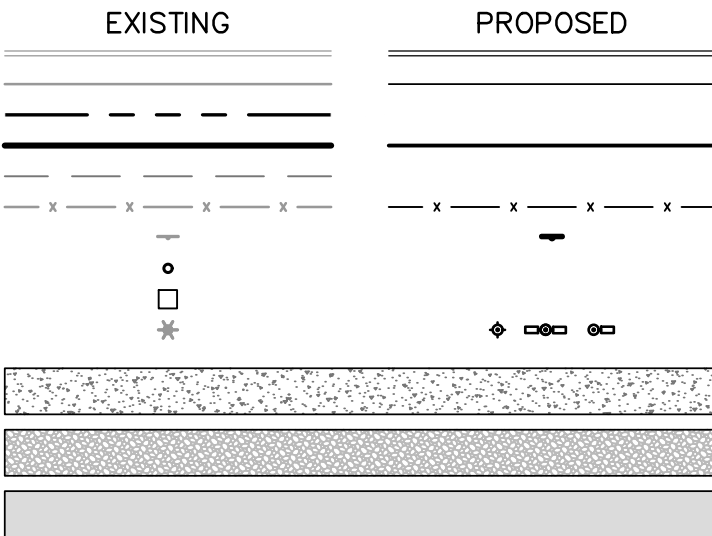
LEGEND

CURB
EDGE OF PAVE
LEGAL RIGHT-OF-WAY
PROPERTY LINE
EASEMENT
FENCE LINE
SIGN
IRON PIN FOUND
CONCRETE MONUMENT FOUND
LIGHT FIXTURE

CONCRETE AREA

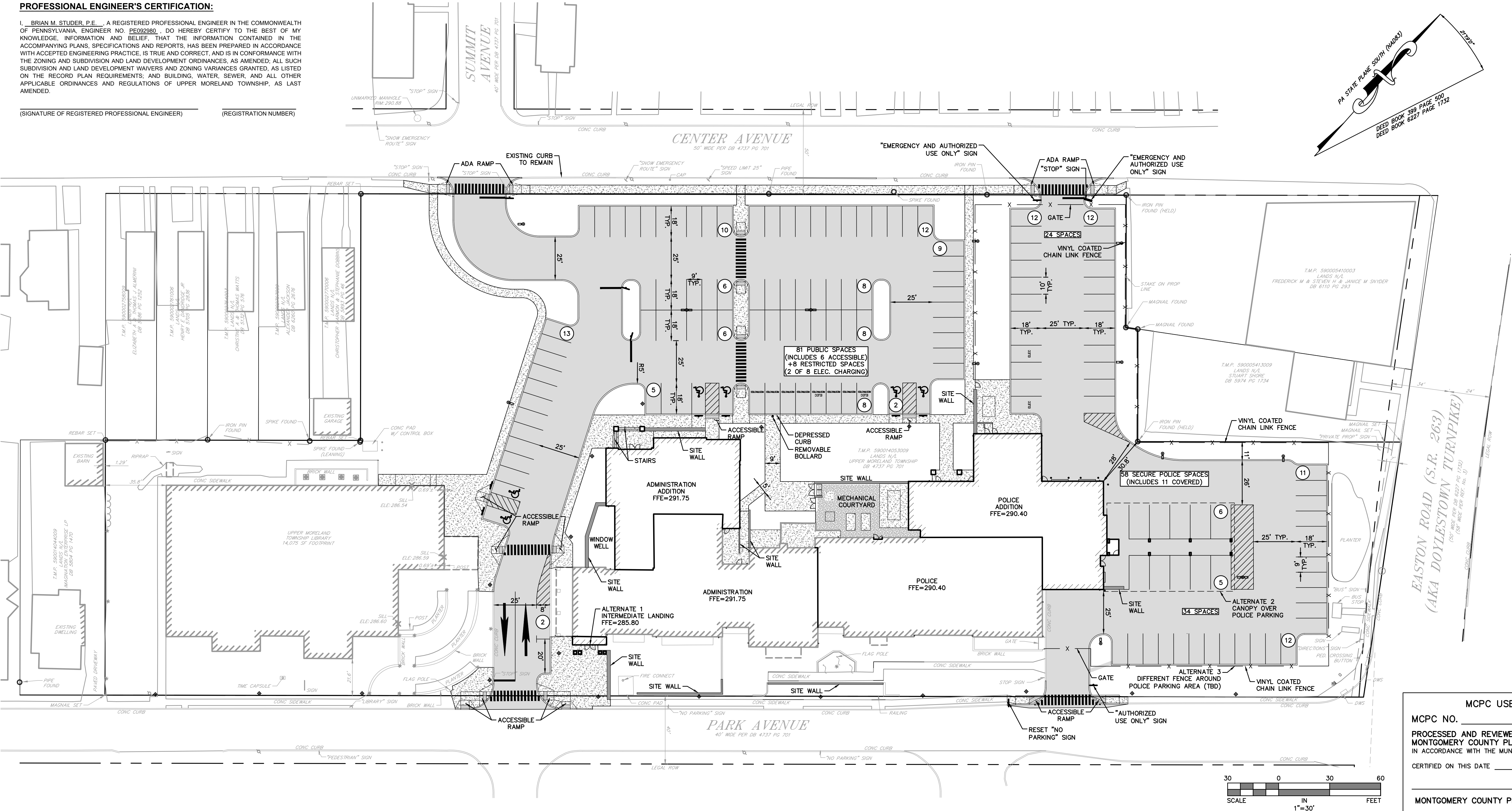
STONE/GRAVEL AREA

ASPHALT PAVEMENT AREA



ABBREVIATIONS

CONC	CONCRETE	MISC	MISCELLANEOUS
DB	DEED BOOK	N/A	NOT APPLICABLE
DEP	DEPRESSED	NO./#	NUMBER
DWS	DETECTABLE WARNING SURFACE	NTS	NOT TO SCALE
EA	EACH	PG	PAGE
EX/EXIST	EXISTING	PR	PROPOSED
FT	FOOT OR FEET	R	RADIUS OR RISER
LF	LINEAR FOOT OR LINEAR FEET	SF	SQUARE FOOT OR SQUARE FEET
MAX	MAXIMUM	T.M.P.	TAX MAP PARCEL
MIN	MINIMUM	TYP	TYPICAL



MCPC USE ONLY
MCPC NO. _____
PROCESSED AND REVIEWED. REPORT PREPARED BY MONTGOMERY COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.
CERTIFIED ON THIS DATE _____

FOR THE DIRECTOR
MONTGOMERY COUNTY PLANNING COMMISSION

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
401 E. NINTH STREET, SUITE 100, EPHRATA, PA 16835 • (717) 865-0000 • www.gilmore-associates.com
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LAND DEVELOPMENT PLAN
RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
PROJECT No.: 23-02039
OWNERS INFO: UPPER MORELAND TOWNSHIP
117 PARK AVENUE
MILLOW GROVE, PA 19090
(215) 659-3100

MUNICIPAL FILE No.: N/A
TAX MAP PARCEL No.: 59-00-14053-00-9
TOTAL AREA: 4.095 AC. TOTAL LOTS: 1
DATE: 8/29/2025 SCALE: 1"=30'
DRAWN BY: BMS CHECKED BY: JHJ
SHEET No.: 2 OF 15

10/10/2025 PRELIM/FINAL LD SUBMISSION

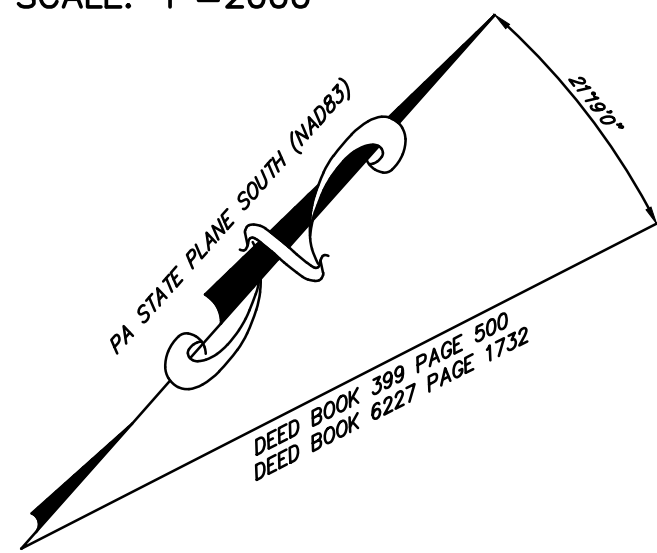
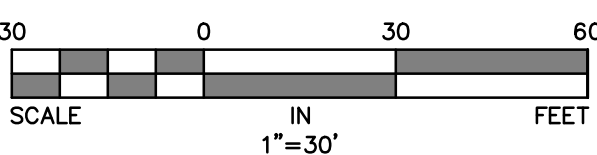
GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL
SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

BMP	BEST MANAGEMENT PRACTICE	MIN	MINIMUM
CFS	COMPOST FILTER SOCK	N/A	NOT APPLICABLE
CONC	CONCRETE	NIC	NOT IN CONTRACT
CPP	CORRUGATED PLASTIC PIPE	NO./#	NUMBER
CSST	COMPOST SOCK SEDIMENT TRAP	OCS	OUTLET CONTROL STRUCTURE
DEP	DEPRESSED	OPMH	OBSERVATION PORT MANHOLE
ø/DIA	DIAMETER	PERF	PERFORATED
E&S	EROSION AND SEDIMENT	PVC	POLYVINYL CHLORIDE
EA	EACH	R	RADIUS OR RISER
ESC	EROSION AND SEDIMENT CONTROL	S	SLOPE
EL/ELEV	ELEVATION	SAN	SANITARY
ELEC	ELECTRIC	SOM	STORMWATER CONTROL MEASURE
EX/EXIST	EXISTING	SF	SQUARE FOOT OR SQUARE FEET
FT	FOOT OR FEET	SSB	SUBSURFACE BASIN
H	HIGH	STMH	STORM MANHOLE
HDPE	HIGH DENSITY POLYETHYLENE	TBA	TO BE ABANDONED
IN/HR	INCHES PER HOUR	TBD	TO BE DETERMINED
INF	INFILTRATION	T.B.R.	TO BE REMOVED
INL	INLET	TEL	TELEPHONE
INV	INVERT ELEVATION	TG	TOP OF GRATE ELEVATION
LF	LINEAR FOOT OR LINEAR FEET	TPY	TYPICAL
LOD	LIMIT OF DISTURBANCE	UD	UNDER DRAIN
MAX	MAXIMUM	W	WATER OR WIDE

1. PROPERTY AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF UPPER MORELAND, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA.
2. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES INC. IN MARCH, 2023, AND THE REFERENCED INFORMATION LISTED HEREON. IT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
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4. DEED BOOKS AS NOTED.

1. EXISTING AND PROPOSED INLETS SHALL BE PROTECTED FROM EROSION AND SEDIMENT WITH INLET FILTER BAGS UNTIL THEY ARE REMOVED AND/OR THEIR ENTIRE TRIBUTARY DRAINAGE AREA IS STABILIZED.

NE = NOT ENCOUNTERED

3 OF 15

REV.	DESCRIPTION	DATE	BY
------	-------------	------	----

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

EROSION AND SEDIMENT CONTROL PLAN

A

GILMORE & ASSOCIATES, INC
ENGINEERING & CONSULTING SERVICES

PROJECT No.:
23-02039

OWNERS INFO:
UPPER MORELAND TOWNSHIP
117 PARK AVENUE
WILLOW GROVE, PA 19090
(215) 659-3100

MUNICIPAL FILE No.:
N/A

TAX MAP PARCEL No.:
59-00-14053-00-9

TOTAL AREA: 4.095 AC.	TOTAL LOTS: 1
--------------------------	------------------

DATE: 8/29/2025	SCALE: 1"=30'
DRAWN BY:	CHECKED BY:

DRAWN BY: BMS	CHECKED BY: JJH
SHEET NO.:	

3 OF 15

SERIAL NO. 20230661537

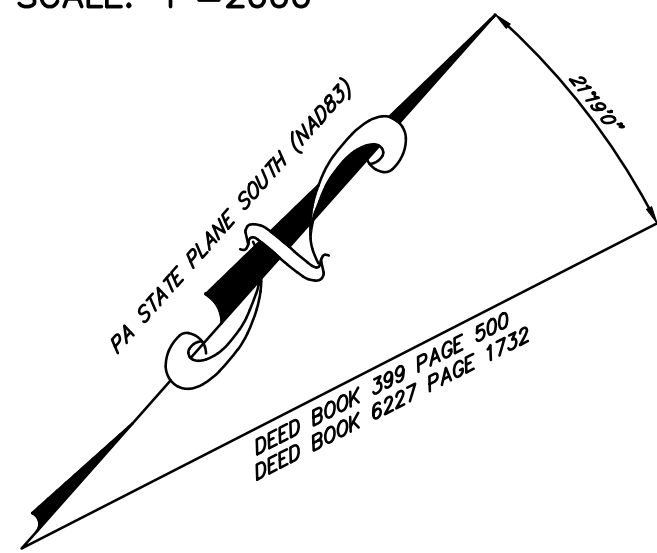
GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL
SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

BC	BOTTOM OF CURB	N/A	NOT APPLICABLE
BMP	BEST MANAGEMENT PRACTICE	NO./#	NUMBER
BW	BOTTOM OF WALL	OC	ON CENTER
C.O.	CLEAN OUT	CCS	OUTLET CONTROL STRUCTURE
CONC	CONCRETE	OPMH	OBSERVATION PORT MANHOLE
CPP	CORRUGATED PLASTIC PIPE	PERF	PERFORATED
DEP	DEPRESSED	PR	PROPOSED
ø/DIA	DIAMETER	PVC	POLYVINYL CHLORIDE
EA	EACH	RCP	REINFORCED CONCRETE PIPE
EL/ELEV	ELEVATION	S	SLOPE
ELEC	ELECTRIC	SAN	SANITARY
EX/EXIST	EXISTING	SCM	SCHEDULE
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LOD	LIMIT OF DISTURBANCE	TYD	TYPICAL
MAX	MAXIMUM	UD	UNDER DRAIN
MIN	MINIMUM	W	WATER OR WIDE

The figure consists of two side-by-side diagrams of a street intersection. The left diagram is labeled 'EXISTING' and the right is labeled 'PROPOSED'. Both diagrams show a four-way intersection with traffic lights (S, N, E, W) and a crosswalk. The 'EXISTING' diagram shows a standard four-way intersection with traffic lights and a crosswalk. The 'PROPOSED' diagram shows a similar intersection but with a different signalization scheme, including a 'SW-1' signal and a 'Urmia Blvd' label. The diagrams are labeled with 'EXISTING' and 'PROPOSED' at the top.

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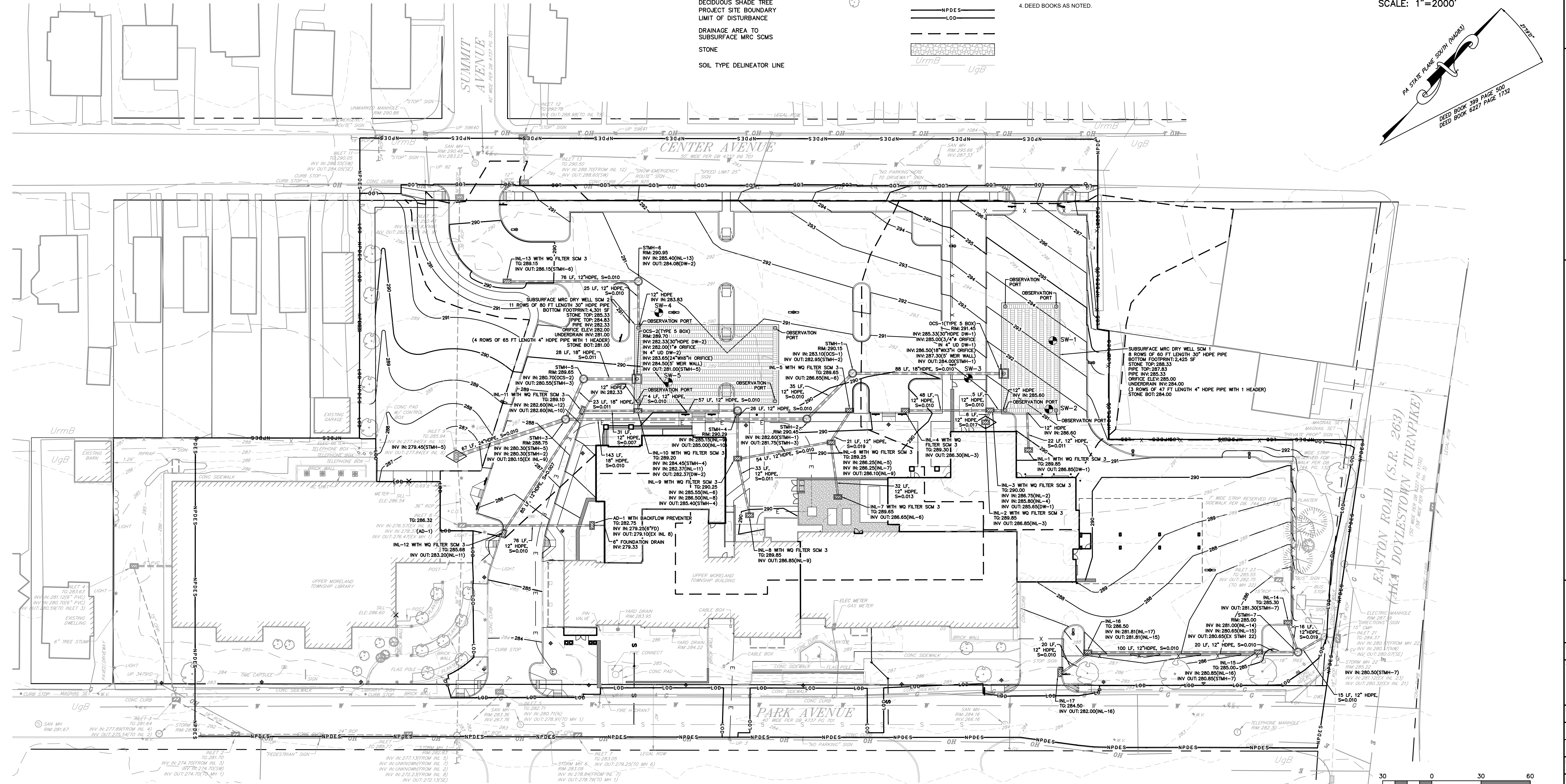


GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

401 PLYMOUTH ROAD, SUITE 150, PLYMOUTH-MEETING, PA 19462 • (610) 489-4949 • www.gilmore-assoc.com

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UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

OWNERS INFO:
UPPER MORELAND
117 PARK AVENUE
WILLOW GROVE, PA
(215) 659-3100

TAX MAP PARCEL No.
59-00-14053-

TOTAL AREA:	TOTAL
-------------	-------

DATE:	SCALE:
-------	--------

8/29/2023	
DRAWN BY:	CHEC

BMS	
SHEET 110	

4 of 1

PENNSYLVANIA ONE CALL SYSTEM, INC.

925 Irwin Road
West Mifflin, Pennsylvania
15122 - 1076

811

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776

NON-MEMBERS MUST BE CONTACTED DIRECTLY

PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH

SERIAL NO. 20230661537

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GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

ABBREVIATIONS			
BC	BOTTOM OF CURB	MIN	MINIMUM
BMP	BEST MANAGEMENT PRACTICE	N/A	NOT APPLICABLE
BW	BOTTOM OF WALL	NO./#	NUMBER
C.O.	CLEAN OUT	OC	ON CENTER
CONC	CONCRETE	OCS	OUTLET CONTROL STRUCTURE
CPP	CORRUGATED PLASTIC PIPE	OPMH	OBSERVATION PORT MANHOLE
DEP	DEPRESSED	PERF	PERFORATED
ø/DIA	DIAMETER	PR	PROPOSED
EA	EACH	PVC	POLYVINYL CHLORIDE
EL/ELE	ELEVATION	RCP	REINFORCED CONCRETE PIPE
ELEC	ELECTRIC	S	SLOPE
EX/EXIST	EXISTING	SAN	SANITARY
FF/FFE	FINISHED FLOOR ELEVATION	SCH	SCHEDULE
FT	FOOT OR FEET	SF	SQUARE FOOT OR SQUARE FEET
H	HIGH	SSB	SUBSURFACE BASIN
HDPE	HIGH DENSITY POLYETHYLENE	STMH	STORM MANHOLE
IN/HR	INCHES PER HOUR	TBD	TO BE DETERMINED
INF	INFILTRATION	TC	TOP OF CURB
INL	INLET	TEL	TELEPHONE
INV	INVERT ELEVATION	TG	TOP OF GRATE ELEVATION
LF	LINEAR FOOT OR LINEAR FEET	TW	TOP OF WALL
LOD	LIMIT OF DISTURBANCE	TYP	TYPICAL
MAX	MAXIMUM	UD	UNDER DRAIN
		W	WATER OR WIDE

LEGEND	
EXISTING	PROPOSED
CURB	CURB
EDGE OF PAVE	EDGE OF PAVE
LEGAL RIGHT-OF-WAY	LEGAL RIGHT-OF-WAY
PROPERTY LINE	PROPERTY LINE
EASEMENT	EASEMENT
MAJOR CONTOURS	MAJOR CONTOURS
MINOR CONTOURS	MINOR CONTOURS
SPOT ELEVATION	SPOT ELEVATION
FENCE LINE	FENCE LINE
SANITARY SEWER LINE	SANITARY SEWER LINE
STORM LINE	STORM LINE
OVERHEAD ELECTRIC LINE	OVERHEAD ELECTRIC LINE
UNDERGROUND ELECTRIC LINE	UNDERGROUND ELECTRIC LINE
WATER LINE	WATER LINE
GAS LINE	GAS LINE
STORM MANHOLE	STORM MANHOLE
SANITARY MANHOLE	SANITARY MANHOLE
ELECTRIC MANHOLE	ELECTRIC MANHOLE
WATER MANHOLE	WATER MANHOLE
GAS VALVE	GAS VALVE
WATER VALVE	WATER VALVE
SIGN	SIGN
UTILITY POLE	UTILITY POLE
GUY WIRE	GUY WIRE
FIRE HYDRANT	FIRE HYDRANT
LIGHT FIXTURE	LIGHT FIXTURE
CONIFEROUS TREE	CONIFEROUS TREE
DECIDUOUS SHADE TREE	DECIDUOUS SHADE TREE
STONE	STONE

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- PROPERTY AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF UPPER MORELAND, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA.
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GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

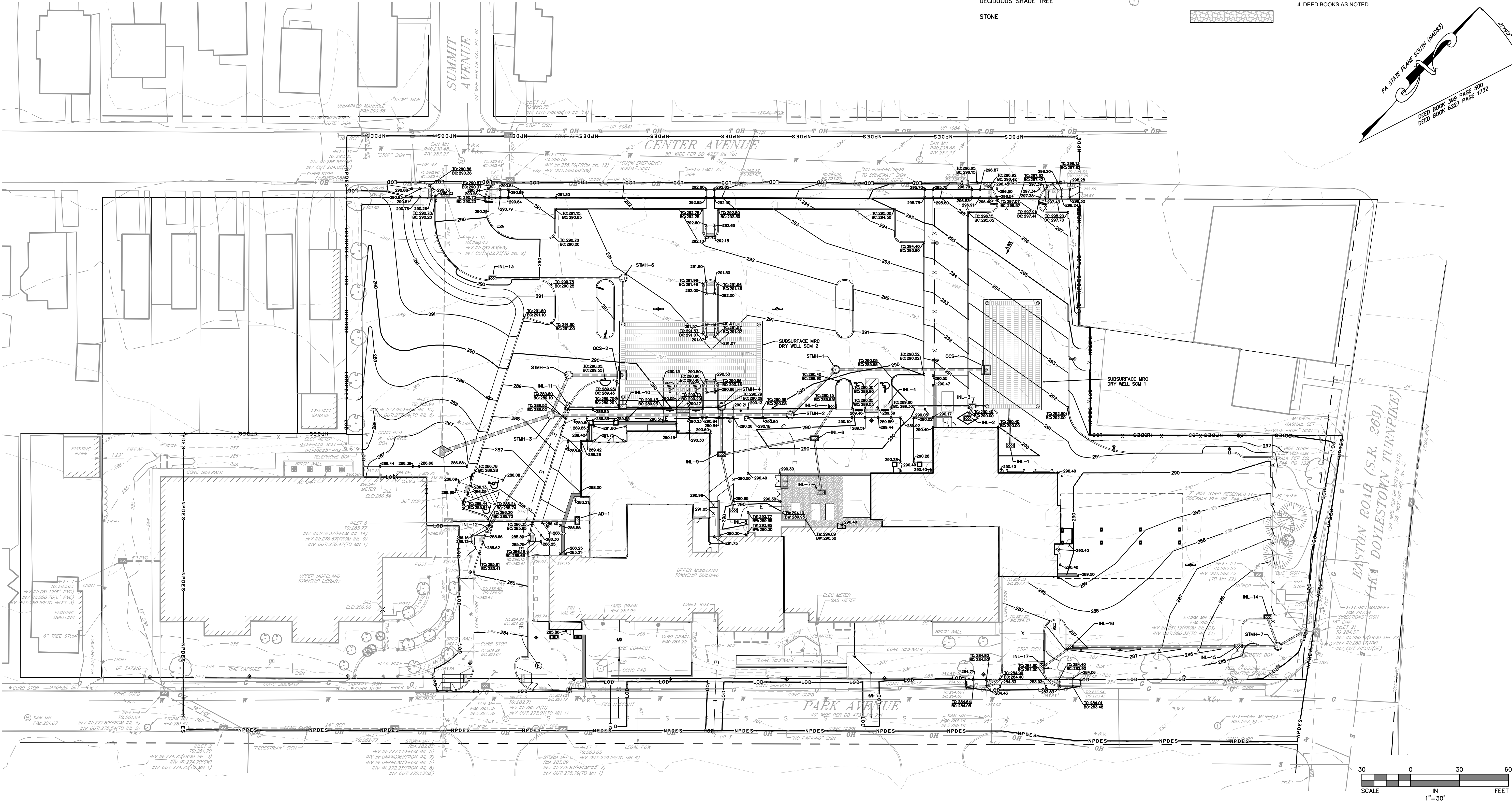
401 E. YOUTH ROAD, SUITE 150, ELYSOUTHMEETING, PA 19025 • (610) 486-4300 • www.gilmore-inc.com

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10/10/2025 PRELIM/FINAL LD SUBMISSION

G:\MUNICIPAL\2023\2302039-01-LWT New Police Station Building CAD\Production Drawings\2302039_GFD.dwg Layout: on Fri Oct 10, 2025 at 3:03pm



LAND DEVELOPMENT PLAN

RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT NO.: 23-02039

OWNERS INFO:
UPPER MORELAND TOWNSHIP
117 PARK AVENUE
WILLOW GROVE, PA 19090
(215) 659-3100

MUNICIPAL FILE NO.: N/A

TAX MAP PARCEL NO.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC. TOTAL LOTS: 1

DATE: 8/29/2025 SCALE: 1"=30'

DRAWN BY: BMS CHECKED BY: JH

SHEET NO.: 5 OF 15

G:\MUNICIPAL\2023\2302039-01-LWT-New Police Station Building CAD\Production Drawings\2302039-UTILITY.dwg Layout: UTIL Plotted By: batuder, on Fri Oct 10, 2025 at 3:04pm

PENNSYLVANIA ONE CALL SYSTEM, INC.

925 Inland Road
West Mifflin, Pennsylvania
15122 - 1076

811

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NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
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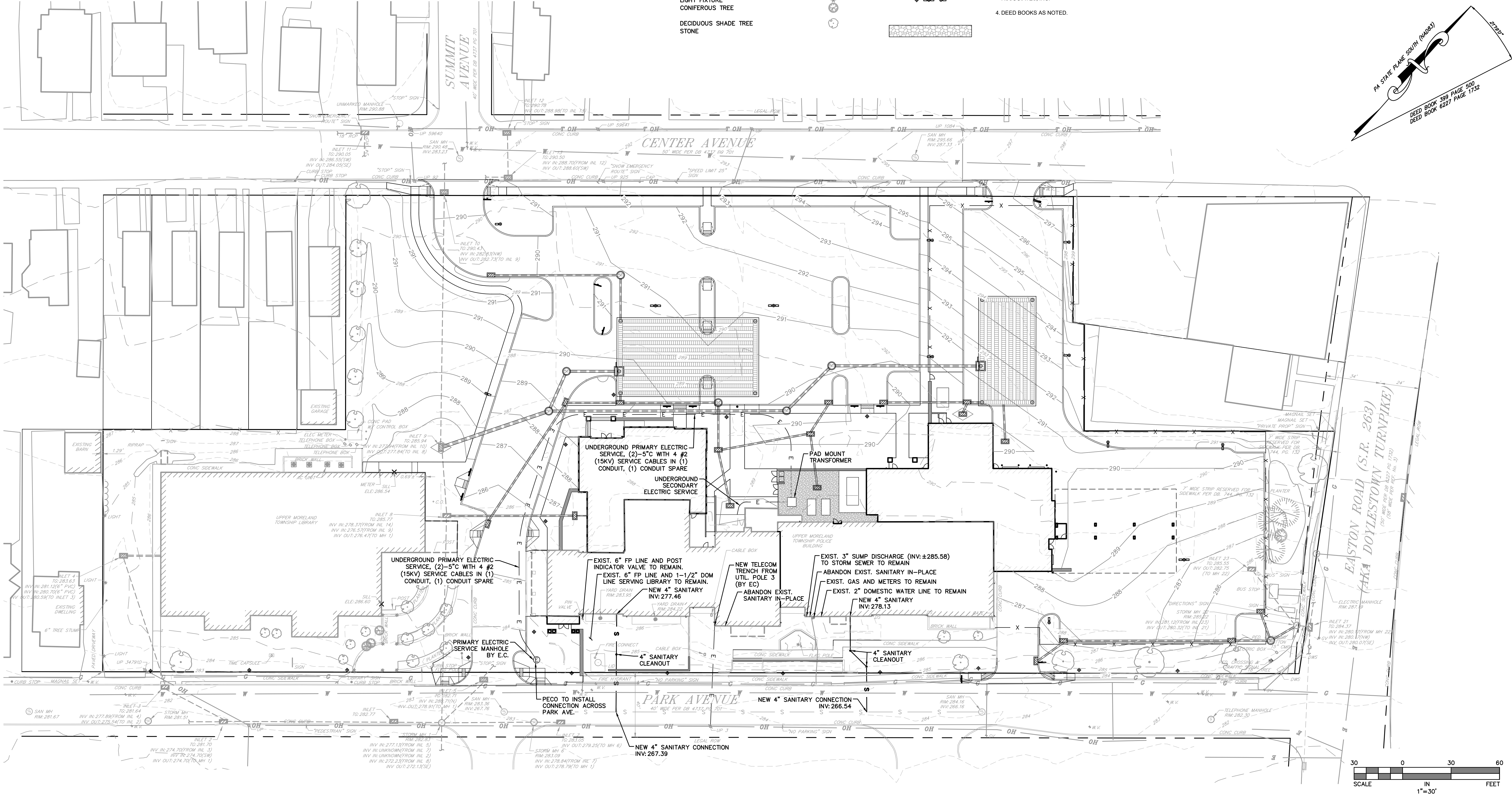
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LEGEND	
EXISTING	PROPOSED

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 - DEED BOOKS AS NOTED.

- UTILITY NOTES:**
- PLUMBING CONTRACTOR (PC) TO INSTALL PROPOSED NEW 3-INCH DOMESTIC WATER LINE SHOWN ON THE CIVIL SITE PLANS FROM THE EXISTING PIT TO THE BUILDING CONNECTION.
 - PLUMBING CONTRACTOR (PC) IS RESPONSIBLE FOR ALL PROPOSED SANITARY SEWER IMPROVEMENTS FROM THE BUILDING UP TO 4 FEET OUTSIDE THE BUILDING.
 - GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR ALL PROPOSED SANITARY SEWER IMPROVEMENTS ON THE SITE UP TO 4 FEET OUTSIDE THE BUILDING, AS WELL AS CONNECTIONS AT THAT POINT. GC TO CONTACT UPPER MORELAND-HATBORO JOINT SEWER AUTHORITY PRIOR TO PERFORMING WORK IN STREET(S) FOR INSPECTION. EXISTING SANITARY SEWER PIPE THAT WILL NO LONGER BE OPERATIONAL MAY BE ABANDONED IN-PLACE.
 - GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR ALL PROPOSED STORM SEWER IMPROVEMENTS ON THE SITE UP TO 4 FEET OUTSIDE THE BUILDING, AS WELL AS DOWNSPOUTS AND DOWNSPOUT BOOT CONNECTIONS.
 - ELECTRICAL CONTRACTOR (EC) IS RESPONSIBLE FOR SITE LIGHTING AND TRENCHING OF THE ELECTRICAL LINES AND COMMUNICATION LINES. THIS INCLUDES COORDINATION WITH MECHANICAL CONTRACTOR, PLUMBING CONTRACTOR, GENERAL CONTRACTOR, STORM DRAINAGE, AND POLICE FUNCTIONS.
 - ALL OTHER EXCAVATION AND/OR TRENCHING FOR THE WORK OF EACH CONTRACT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR FOR THEIR OWN WORK.
 - EXISTING STORM SEWER PIPE AND OTHER DEMOLISHED/ABANDONED UTILITIES THAT ARE NO LONGER FUNCTIONAL/OPERATIONAL SHALL BE REMOVED AND DISPOSED OF. EXISTING SANITARY SEWER PIPE THAT WILL NO LONGER BE OPERATIONAL MAY BE ABANDONED IN-PLACE.



LAND DEVELOPMENT PLAN

RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT NO.: 23-02039

OWNERS INFO:
UPPER MORELAND TOWNSHIP
117 PARK AVENUE
MILLOW GROVE, PA 19090
(215) 659-3100

MUNICIPAL FILE NO.: N/A

TAX MAP PARCEL NO.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC. TOTAL LOTS: 1

DATE: 8/29/2025 SCALE: 1"=30'

DRAWN BY: BMS CHECKED BY: JH

SHEET NO.: 6 OF 15

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ENGINEERING & CONSULTING SERVICES

401 FLYCATCHER ROAD, SUITE 106, FLYCATCHER, PA 19025 • (610) 465-0044 • www.gilmore-associates.com

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10/10/2025 PRELIM/FINAL LD SUBMISSION

COMPLIANCE CHART

THE FOLLOWING CHART REPRESENT THE MINIMUM QUANTITIES OF REQUIRED PLANT MATERIAL ACCORDING TO THE UPPER MORELAND TOWNSHIP ZONING AND SUBDIVISION AND LAND DEVELOPMENT ORDINANCES, AND TO DEMONSTRATE COMPLIANCE WITH THE SAME.

§ 350-79.D(1) - STREET TREES	REQUIRED	EXISTING	PROPOSED	TOTAL
REQUIREMENT: 1 SHADE TREE PER 40 L.F. CENTER AVE. 394.14 L.F. PARK AVE. 479.11 L.F. EASTON ROAD 151.61 L.F.	10 11 4	1 4 4	9 7 0	10 11 4
NOTE: STREET LENGTH DOES NOT INCLUDE WIDTH OF ENTRANCE DRIVE AT R.O.W.				
§ 350-74.A - PARKING AREA TREES				
REQUIREMENT: 1 TREES FOR EVERY 12 SPACES (136 SPACES)	11	0	11	11
§ 350-79.G - STREETSCAPE AND GREEN AREA STANDARDS				
BUILDING ADDITIONS AND ALTERATIONS REQUIREMENT: 4 POINTS FROM CATEGORY A PROVIDED: ADDITIONAL PLANTING AREA 2X(2 PTS)	4	0	4	4
§ 300-45.A - REPLACEMENT TREES				
REQUIREMENT: 1 TREE PER EACH 8" - 23" CAL. TREE REMOVED (22 TREES) 2 TREES PER EACH 23" - 36" CAL. TREE REMOVED (3 TREES)	22 6	9 6	9* 6	
*NOTE: PARTIAL WAIVER REQUESTED.				
§ 300-45.B - HERITAGE TREES				
REQUIREMENT: EVERY HERITAGE TREE REMOVED SHALL BE REPLACED WITH NEW TREES (4" CAL. EACH) TOTALING THE CALIPER INCHES OF EXISTING HERITAGE TREES REMOVED.	37"	0	40"	40"

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
STREET TREES						
CC ^S	2	CERCIS CANADENSIS	EASTERN REDBUD	3" CAL	B&B	SINGLE STEM
CV ^S	2	CRATAEGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	3" CAL	B&B	
LS ^S	7	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	3" CAL	B&B	FRUITLESS, COLUMNAR
PS ^S	3	PRUNUS SERRULATA 'KWANZAN'	KWANZAN CHERRY	3" CAL	B&B	
TC ^S	2	TILIA CORDATA	LITTLELEAF LINDEN	3" CAL	B&B	
PARKING AREA PLANTINGS						
CANOPY TREES						
GT ^P	4	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	HONEY LOCUST	2 1/2" CAL	B&B	THORNLESS
UA ^P	7	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	2 1/2" CAL	B&B	
SHRUBS						
CA ^P	4	CLETHRA ALNIFOLIA	SUMMERSWEET	36" MIN	CONT	
IV ^P	9	ITEA VIRGINICA	VIRGINIA SWEETSPICE	36" MIN	CONT	
RA ^P	59	RHUS AROMATICA 'GRO-LOW'	GROW LOW SUMAC	18" MIN	CONT	
VP ^P	59	VIBURNUM X PRAGENSE	PRAGUE VIBURNUM	4' HT MIN	CONT	
ADDITIONAL PLANTING AREA PLANTINGS						
DECIDUOUS TREES						
AC ^A	3	AMELANCHIER CANADENSIS	SERVICEBERRY	8' HT MIN	B&B	
SHRUBS						
HP ^A	10	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	30" MIN	CONT	
POP ^A	11	PHYSCOCARPUS OPULIFOLIUS 'GINGER WINE'	NINEBARK	30" MIN	CONT	
REPLACEMENT TREE PLANTINGS						
ARA ^R	6	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	2 1/2" CAL	B&B	
CCA ^R	6	CARPINUS CAROLINIANA	IRONWOOD	2 1/2" CAL	B&B	
NS ^R	3	NYSSA SYLVATICA	BLACK TUPELO	2 1/2" CAL	B&B	
HERITAGE TREE REPLACEMENT PLANTINGS						
ARO ^H	5	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	4" CAL	B&B	
PO ^H	3	PLATANUS OCCIDENTALIS	SYCAMORE	4" CAL	B&B	
QA ^H	2	QUERCUS ALBA	WHITE OAK	4" CAL	B&B	

PENNSYLVANIA ONE CALL SYSTEM, INC.



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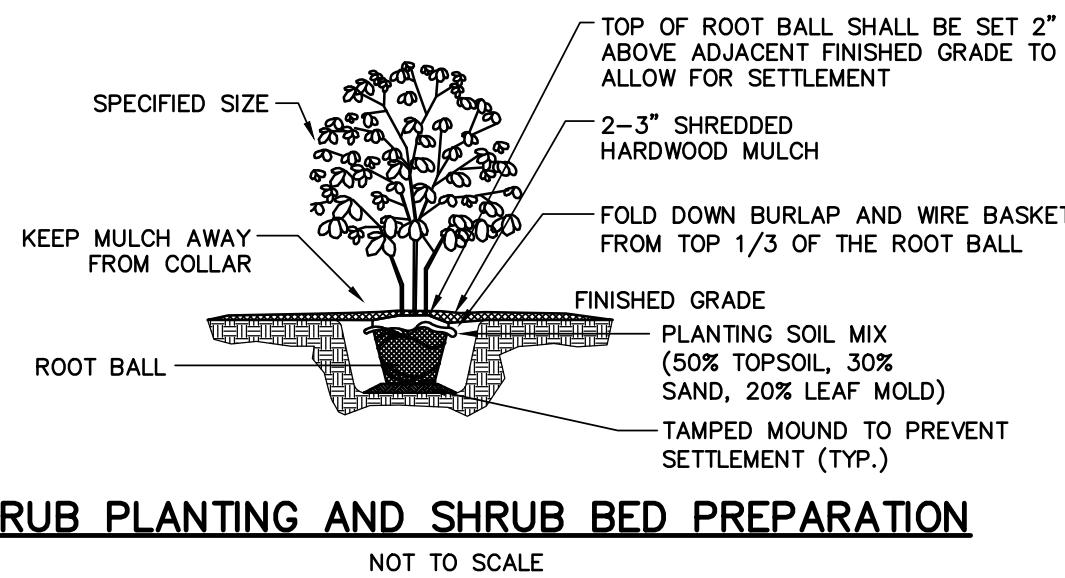
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LEGEND

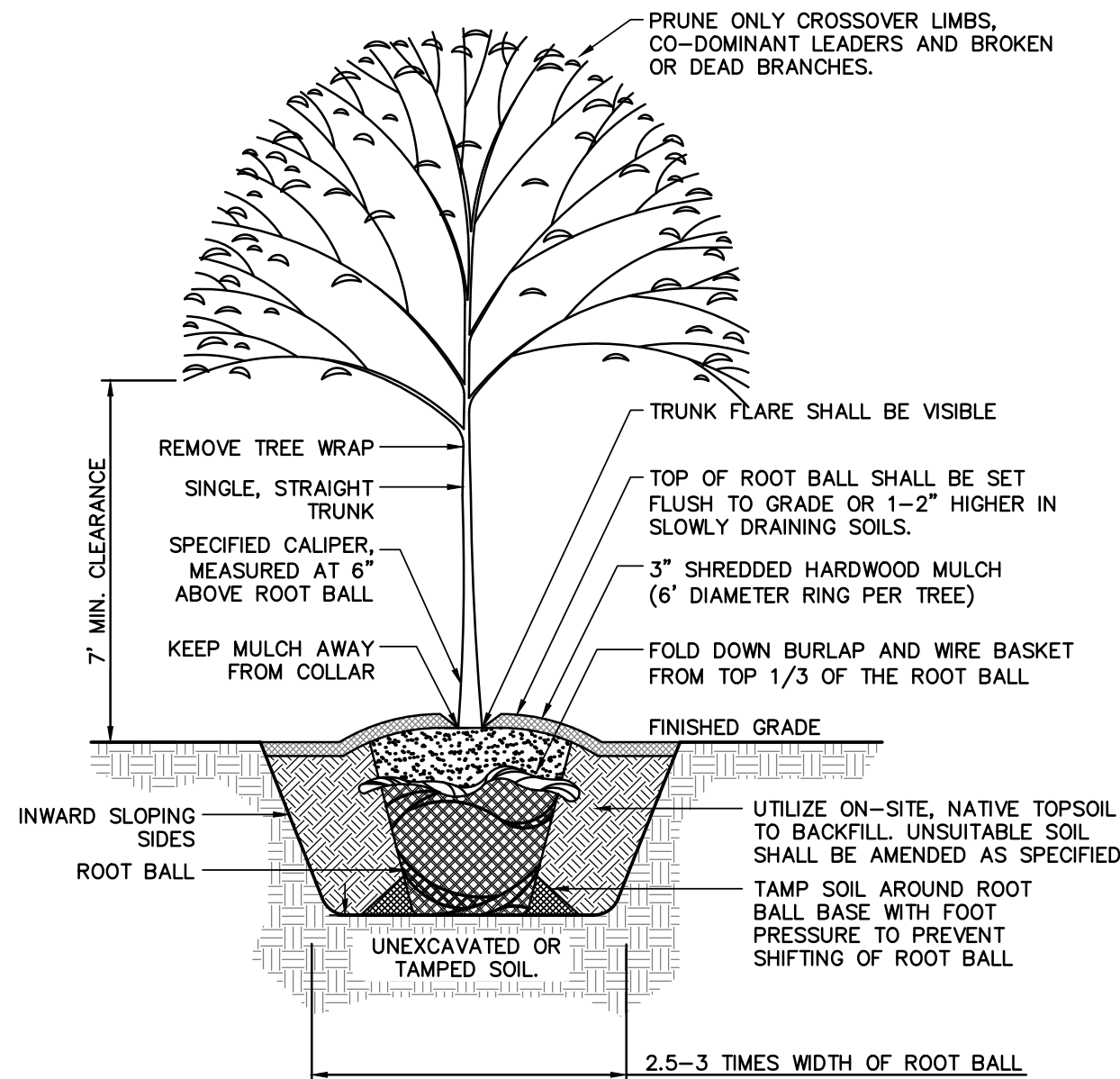
CONIFEROUS TREE
DECIDUOUS SHADE TREE
DECIDUOUS ORNAMENTAL TREE
SHRUBS



SHRUB PLANTING AND SHRUB BED PREPARATION

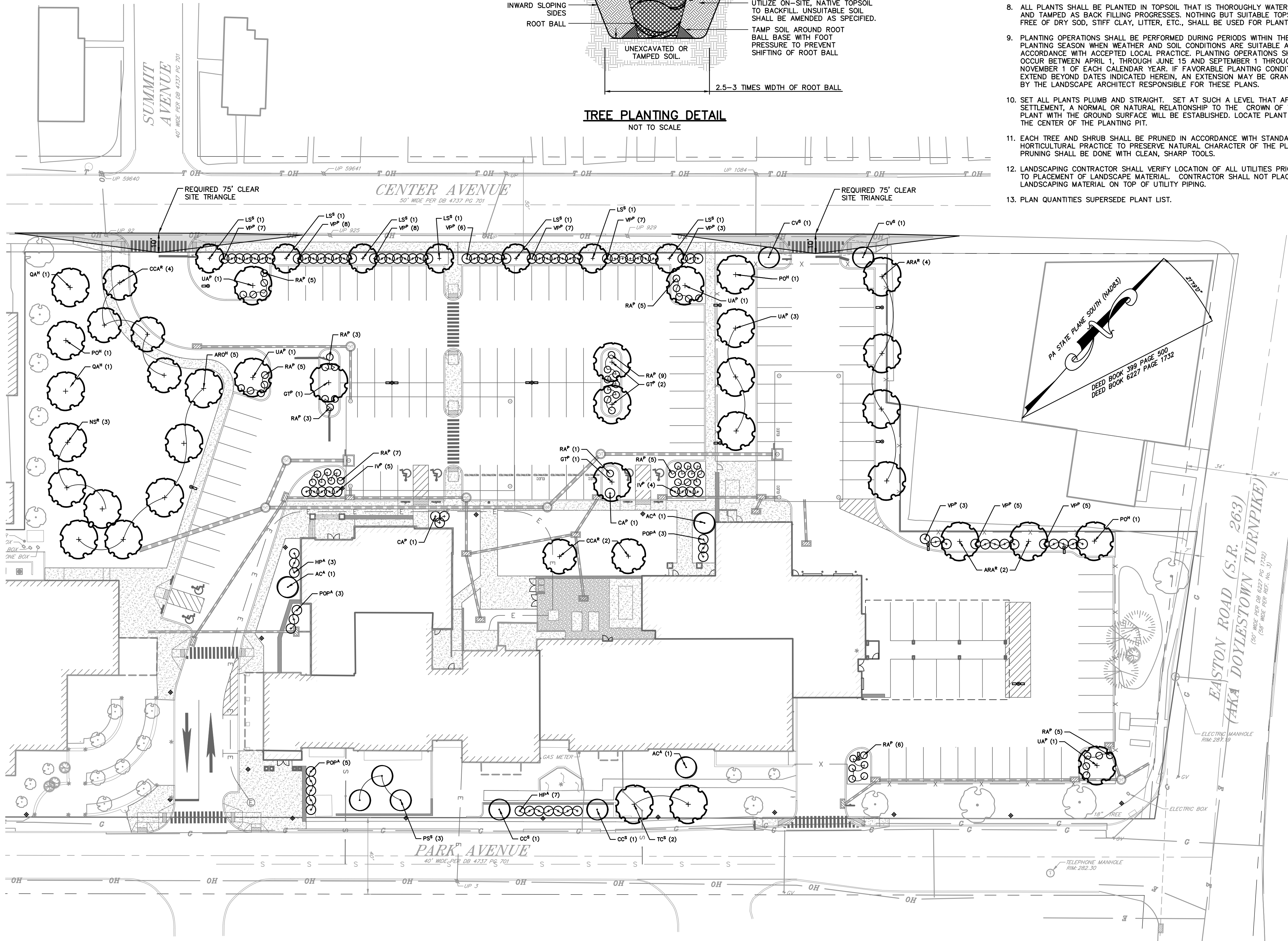


TREE PLANTING DETAIL



GENERAL LANDSCAPE NOTES

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS EQUIPMENT, INCIDENTALS AND CLEAN UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, BE DENSELY FOLIATED, HAVE VIGOROUS ROOT SYSTEMS AND BE FREE OF DEFECTS AND INJURIES.
- ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE WELFARE OF THE PLANT MATERIAL SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISIONS SHALL BE MADE FOR A GUARANTEE OF AT LEAST 18 MONTHS FOR TREES AND SHRUBS. REPLACEMENT SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INsofar AS IT IS PRACTICABLE, PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE 2014 "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN INC., OR LATEST EDITION.
- ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER, ETC., SHALL BE USED FOR PLANTING.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTING OPERATIONS SHALL OCCUR BETWEEN APRIL 1, THROUGH JUNE 15 AND SEPTEMBER 1 THROUGH NOVEMBER 1 OF EACH CALENDAR YEAR. IF FAVORABLE PLANTING CONDITIONS EXTEND BEYOND DATES INDICATED HEREIN, AN EXTENSION MAY BE GRANTED BY THE LANDSCAPE ARCHITECT RESPONSIBLE FOR THESE PLANS.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH A LEVEL THAT AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE GROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PLANTING PIT.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- LANDSCAPING CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO PLACEMENT OF LANDSCAPE MATERIAL. CONTRACTOR SHALL NOT PLACE LANDSCAPING MATERIAL ON TOP OF UTILITY PIPING.
- PLAN QUANTITIES SUPERSEDE PLANT LIST.



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

LAND DEVELOPMENT PLAN
RENOVATIONS AND ADDITIONS FOR
TOWNSHIP AND POLICE BUILDING
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

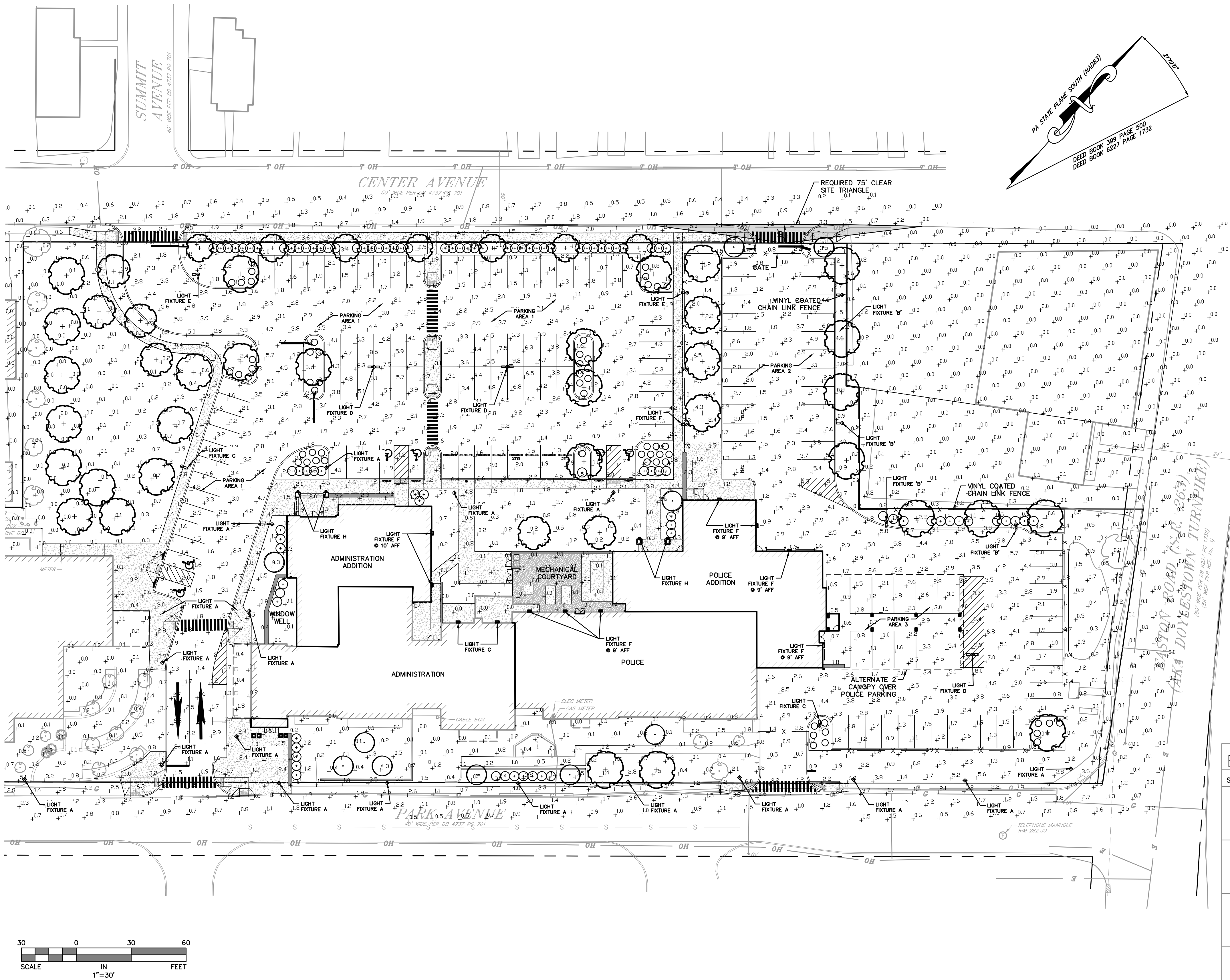
LANDSCAPE PLAN



OWNERS INFO:
UPPER MORELAND TOWNSHIP
117 PARK AVENUE
MILLOW GROVE, PA 19090
(215) 659-3100

MUNICIPAL FILE No.:
N/A
TAX MAP PARCEL No.:
59-00-14053-00-9
TOTAL AREA:
4.095 AC.
TOTAL LOTS:
1
DATE:
8/29/2025
SCALE:
1"=30'
DRAWN BY:
CMC
CHECKED BY:
JSG
SHEET NO.:
7 OF 15

G:\MUNICIPAL\2023\2302039.01-LWT-New Police Station Building\CAD\Production Drawings\2302039_LGT.dwg Layout: LTG Plotted By: bsaluder, on Fri Oct 10, 2025 at 3:06pm



GENERAL LIGHTING NOTES

1. THIS PLAN IS TO BE UTILIZED FOR SITE LIGHTING PURPOSES ONLY. ELECTRICAL ENGINEERING, INCLUDING, BUT NOT LIMITED TO CIRCUITRY, CONDUIT, WIRING, AND ASSOCIATED SPECIFICATIONS, IS NOT WITHIN THE SCOPE OF THIS DOCUMENT.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL.
3. SUBSTITUTION REQUESTS MUST BE APPROVED BY THE TOWNSHIP.
4. THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
5. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLAN AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
6. LIGHTING VALUES DEPICTED ON THIS PLAN WERE GENERATED USING VISUAL 2020R2 SOFTWARE.
7. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPES OF FIXTURES ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR ELECTRICAL LIGHTING CONTRACTOR. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, LAWS AND STATUTES.
8. CONTRACTOR SHALL BRING TO THE DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES OR OTHER STRUCTURES.
9. ALL PROPOSED LIGHT FIXTURES ARE TO BE NEW AND SHOULD BE INCLUDED WITH THE BASE BID.
10. CONTRACTOR SHALL PROVIDE TEMPORARY SITE LIGHTING AS NEEDED WHEN EXISTING SITE LIGHTING IS NO LONGER OPERATIONAL.
11. SITE LIGHTING TO BE BY ELECTRICAL CONTRACTOR.

Exterior Site Lighting Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING_1	✱	2.4 fc	9.8 fc	0.6 fc	16.3:1	4.0:1
PARKING_2	✱	2.7 fc	5.7 fc	1.6 fc	3.6:1	1.7:1
PARKING_3	✱	3.2 fc	9.9 fc	0.7 fc	14.1:1	4.6:1

NOTE: 'H' FIXTURE ILLUMINATION IS NOT INCLUDED IN CALCULATED VALUES SHOWN ON LIGHTING PLAN

Exterior Site Lighting Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
A	A	19	PHILIPS LUMEC	ATx0,0Tx0,XLx0-35W32LED3K-63-LE3F	AT Ancestra Post Top LED - 0T/XL Optima Post Top LED, 32 LED's, 3000K CCT, TYPE LE3F OPTIC, FLAT LENS	1	4048	0.9	37	12'
B	B	4	GARDCO BY SIGNIFY	P26-A02-730-BLC	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE BLC OPTIC	1	10956	0.9	85.4	18'
C	C	2	GARDCO BY SIGNIFY	P26-A02-730-T3M	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE T3M OPTIC	1	12865	0.9	85.4	18'
D	D	3	GARDCO BY SIGNIFY	P26-A02-730-T3M	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE T3M OPTIC	1	14559	0.9	170.8	18'
E	E	3	GARDCO BY SIGNIFY	P26-A02-730-T3M	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE T3M OPTIC	1	15310	0.9	85.4	18'
F	F	9	GARDCO BY SIGNIFY	PWS-P-A03-840-4	PureForm LED wall sconce PWS, 20 LED's, 4000K CCT, 80 CRI, TYPE 4 OPTIC	1	5448	0.9	34.4	9' & 10' ABOVE FINISHED FLOOR
G	G	2	GARDCO BY SIGNIFY	PWS-P-A08-840-4	PureForm LED wall sconce PWS, 20 LED's, 4000K CCT, 80 CRI, TYPE 4 OPTIC	1	14732	0.9	91.5	20' ABOVE FINISHED FLOOR
H	H	4	PROGRESS LIGHTING	SEE SPEC. SHEET	ROUND SCONCE					7' ABOVE FINISHED FLOOR

PENNSYLVANIA ONE CALL SYSTEM, INC.

925 Irwin Run Road
West Mifflin, Pennsylvania
15122 - 1076

811

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BLAST OR BOMBUSH

SERIAL NO. 20230661537

LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS; THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.

ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50.

GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

401 FLYCATCHER ROAD, SUITE 100, FLYCATCHER, PA 19029 • (610) 465-0400 • WWW.GILMORE-AND-ASSOCIATES.COM

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LAND DEVELOPMENT PLAN

RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

LIGHTING PLAN

PROJECT No.: 23-02039

OWNERS INFO:
UPPER MORELAND TOWNSHIP
117 PARK AVENUE
MILLOW GROVE, PA 19090
(215) 659-3100

MUNICIPAL FILE No.: N/A

TAX MAP PARCEL No.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC. TOTAL LOTS: 1

DATE: 8/29/2025 SCALE: 1"=30'

DRAWN BY: TPL CHECKED BY: JSG

SHEET NO.: 8 OF 15

10/10/2025 PRELIM/FINAL LD SUBMISSION

EROSION AND SEDIMENT CONTROL MEASURES:

PLANNING AND DESIGN §102.4(b)(4)

SOILS AND GEOLOGIC FORMATIONS §102.4(b)(5)(ii)

SEQUENCE OF CONSTRUCTION §102.4(b)(5)(vii)
NOTES:

- 4.5.1. CARE SHOULD BE TAKEN TO NOT OVER-EXCAVATE OR COMPACT THE SOIL BELOW THE BASIN TO THE MAXIMUM EXTENT POSSIBLE.
- 4.5.2. THE BASIN BOTTOM SHOULD BE FREE FROM ROCKS AND DEBRIS
- 4.5.3. INSTALL OUTLET CONTROL STRUCTURE
- 4.5.4. INSTALL GEOTEXTILE FABRIC, BASE STONE AND UNDERDRAIN SYSTEM WITH UPTURNED END
- 4.5.5. CONNECT UPTURNED ELBOW IN UNDERDRAIN TO OUTLET CONTROL STRUCTURE AND INSTALL END CAP WITH DRILLED ORIFICE
- 4.5.6. INSTALL STORAGE PIPES AND STONE, AND INFLOW PIPE CONNECTIONS
- 4.5.7. AFTER INSTALLATION, PREVENT SEDIMENT-LADEN WATER FROM ENTERING THE FACILITY.

TEMPORARY VEGETATION. AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR SHALL RECEIVE PERMANENT STABILIZATION.

SOIL/TOPSOIL STOCKPILE - OPERATION AND MAINTENANCE

1. REFER TO COMPOST FILTER/DIVERSION SOCKS (CFS) - OPERATION AND MAINTENANCE.

VEGETATIVE STABILIZATION - OPERATION AND MAINTENANCE

1. AREAS ARE NOT CONSIDERED STABILIZED UNTIL A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED.

2. AREAS OF VEGETATIVE STABILIZATION SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT.

THE PERMITTEE / CO-PERMITTEE(S) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND WITHIN 24 HOURS AFTER EACH MEASURABLE RUNOFF EVENT THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE RECEIPT AND ACCEPTANCE OF THE LOTION OF THE EROSION BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE VISUAL SITE INSPECTIONS AND REPORTS SHALL BE COMPLETED IN A FORMAT PROVIDED BY THE DEPARTMENT, AND CONDUCTED BY QUALIFIED PERSONNEL. THE VISUAL SITE INSPECTIONS AND REPORTS SHALL BE SUBMITTED TO THE E&S BLMPS AND PCSM SOMS ARE PROPERLY CONSTRUCTED AND MAINTAINED TO EFFECTIVELY MINIMIZE POLLUTION TO THE WATERS OF THE COMMONWEALTH. A WRITTEN REPORT OF EACH VISUAL SITE INSPECTION SHALL INCLUDE:

1. A SUMMARY OF SITE CONDITIONS, E&S BMP AND PCSM SOM IMPLEMENTATION AND MAINTENANCE, AND COMPLIANCE ACTIONS; AND

GEOLOGIC FORMATIONS/SOIL CONDITIONS §102.4(b)(5)(xii)
THERE ARE NO GEOLOGIC FORMATIONS OR SOIL CONDITIONS THAT COULD CAUSE CONTAMINANT POLLUTION DURING EARTH DISTURBANCE ACTIVITIES. HOWEVER, SOIL EROSION DURING CONSTRUCTION AND UNTIL THE SITE IS STABILIZED COULD POTENTIALLY CAUSE STORMWATER POLLUTION. TO MINIMIZE THIS POTENTIAL, THE PROPOSED EROSION AND SEDIMENT CONTROL BMPs ARE TO BE PROVIDED AND SOILS SHALL BE STABILIZED WITH EITHER TEMPORARY OR FINAL STABILIZATION IN AREAS WHERE EARTHWORK IS DELAYED OR STOPPED FOR FOUR CONSECUTIVE DAYS.

POTENTIAL THERMAL IMPACTS §102.4(b)(5)(xiii)

- THERE IS A MINIMAL POTENTIAL FOR HYDRAULIC IMPACTS TO SURFACE WATERS DURING CONSTRUCTION. THE PROPOSED PROJECT WILL BE CONSTRUCTED IN AREAS WHERE IT WILL BE IMPLEMENTED TO AVOID, MINIMIZE, AND MITIGATE POTENTIAL THERMAL IMPACTS:
- COMPOST FILTER SOCKS: COMPOST FILTER SOCKS HAVE BEEN APPROPRIATELY SIZED AND PLACED TO SLOW FLOW VELOCITIES DURING CONSTRUCTION. THE SOCKS WILL REDUCE THE FLOW VELOCITIES AND RELEASE ENERGY (HEAT) FROM THE RUNOFF PRIOR TO DISCHARGE FROM THE SITE AND ENTRY INTO THE RECEIVING WATERS.
- COMPOST SOCK SEDIMENT TRAP: A COMPOST SOCK SEDIMENT TRAP HAS BEEN APPLICATED TO THE RUNOFF FROM THE SLOPE OF THE RUNOFF DURING CONSTRUCTION OF THE PROPOSED MRP SCMS. THIS E&S BMP WILL REDUCE THE FLOW VELOCITIES AND RELEASE ENERGY (HEAT) FROM THE RUNOFF PRIOR TO DISCHARGE FROM THE SITE AND ENTRY INTO THE RECEIVING WATERS.
- INLET FILTER BAGS: INLET FILTER BAGS SHALL BE INSTALLED IN THE INLETS AS INDICATED ON THE PLAN SHEETS TO SLOW AND FILTER RUNOFF DURING CONSTRUCTION, WHICH WILL REDUCE THE FLOW VELOCITIES AND RELEASE ENERGY (HEAT) FROM THE RUNOFF PRIOR TO DISCHARGE FROM THE SITE AND ENTRY INTO THE RECEIVING WATERS.
- VEGETATIVE STABILIZATION: SOILS SHALL BE STABILIZED WITH EITHER TEMPORARY OR FINAL STABILIZATION IN AREAS WHERE EARTHWORK IS DELAYED OR STOPPED FOR FOUR MONTHS OR MORE DURING CONSTRUCTION. VEGETATION WILL REDUCE THE FLOW VELOCITIES AND RELEASE ENERGY (HEAT) FROM THE RUNOFF PRIOR TO DISCHARGE FROM THE SITE AND ENTRY INTO THE RECEIVING WATERS.
- PROVISIONS WHEREVER POSSIBLE: PROTECTING EXISTING TREES AVOIDS AND MINIMIZES POTENTIAL THERMAL IMPACTS BY ALLOWING EXISTING TREES TO CONTINUE TO PROVIDE SHADE TO COOL THE GROUND SURFACE, WHICH WILL RESULT IN COOLER TEMPERATURES.
- REPLANTING NUMEROUS NEW AND REPLACEMENT TREES: PLANTING NEW TREES MINIMIZES AND MITIGATES POTENTIAL THERMAL IMPACTS BY PROVIDING NEW SHADED AREAS TO COOL THE GROUND SURFACE, WHICH WILL RESULT IN COOLER TEMPERATURES.
- TWO SUBSURFACE MRP DRY DRY DRY WELLS: THE PROJECT PROPOSES TWO (2) SUBSURFACE MRP DRY DRY DRY WELLS THAT WILL COLLECT AND MITIGATE TRIBUTARY RUNOFF UNDERGROUND IN THE PROPOSED PIPE AND STONE DESIGN. THIS WILL COOL THE TRIBUTARY RUNOFF AND FRESHEN WATER TO THE MAIN TRIBUTARY DRAINAGE.
- TEMPERATURES, AS OPPOSED TO ABOVE-GROUND BASINS, WHERE PONDED RUNOFF COULD POTENTIALLY BE WARMED BY DIRECT EXPOSURE TO THE SUN. OUTLET CONTROL STRUCTURES WILL BE PROVIDED AND HAVE BEEN APPROPRIATELY DESIGNED TO MEET THE PEAK RATE AND VOLUME REQUIREMENTS.

E&S PLAN DESIGNED AND IMPLEMENTED TO BE CONSISTENT WITH PCSM PLAN §102.40.(5)(x)(v).
THE EROSION AND SEDIMENT CONTROL (E&S) PLANS AND REPORT AND THE
POST-CONSTRUCTION STORMWATER MANAGEMENT (PCSM) PLANS AND REPORT HAVE BEEN
PROVED SEPARATELY; HOWEVER, THEY HAVE BEEN PLANNED, DESIGNED, AND IMPLEMENTED
TO BE CONSISTENT WITH ONE ANOTHER IN RELATION TO PROPOSED CONTOURS, IMPROVEMENTS,
SOILS, WETLANDS, FLOODWAYS, STREAMS, DISCHARGE LOCATIONS, ETC. THE PCSM DRAWINGS
AND REPORTS ARE BASED ON THE E&S DRAWINGS AND REPORT MAKE UP THE
E&S PLAN. DIMENSIONS AND ELEVATIONS INDICATED ON THE DRAWINGS ARE CONSISTENT WITH
THOSE USED IN THE SUPPORTING CALCULATIONS.

EXISTING/PROPOSED RIPARIAN FOREST BUFFERS §102.4(b)(5)(xv)

THERE ARE NO EXISTING OR PROPOSED RIPARIAN FOREST BUFFERS LOCATED WITHIN THE LIMITS OF DISTURBANCE FOR THIS PROJECT.

TERMINATION OF COVERAGE
NOTE: UPON PERMANENT STABILIZATION OF EARTH DISTURBANCE ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITIES THAT ARE AUTHORIZED BY THIS PERMIT AND WHEN SCMS IDENTIFIED IN PART B HAVE BEEN PROPERLY INSTALLED, THE PERMITTEE AND/OR CO-PERMITTEE OF THE FACILITY MUST SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM THAT IS SIGNED IN ACCORDANCE WITH PART B, SECTION 1.C, SIGNATORY REQUIREMENTS, OF THIS PERMIT. ALL LETTERS CERTIFYING DISCHARGE TERMINATION ARE TO BE SENT TO THE DEPARTMENT OR THE DISTRICT ENGINEER, AS APPLICABLE.
REQUIRED INFORMATION: FACILITY NAME, ADDRESS, AND LOCATION, OPERATOR NAME AND ADDRESS, PERMIT NUMBER, IDENTIFICATION AND PROOF OF ACKNOWLEDGMENT FROM THE PERSON(S) WHO WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE PGSM SCMS IN ACCORDANCE WITH PART B, SECTION 1.C, SIGNATORY REQUIREMENTS, OF THIS PERMIT.
THE PERMITTEE HAS RECEIVED WRITTEN ACKNOWLEDGEMENT OF THE N.O.T. THE PERMITTEE WILL

WITHIN 30 DAYS AFTER THE COMPLETION OF EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS PERMIT, INCLUDING THE PERMANENT STABILIZATION OF THE SITE AND PROPER INSTALLATION OF PCSM SCMS IN ACCORDANCE WITH THE APPROVED PCSM PLAN, OR UPON SUBMISSION OF THE N.O.T. IF SOONER, THE PERMITTEE SHALL FILE WITH THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT A STATEMENT SIGNED BY A LICENSED PROFESSIONAL AND BY THE PERMITTEE CERTIFYING THAT WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND THE APPROVED E&S AND PCSM PLANS.

The technical drawings illustrate the components and installation of the storm inlet system:

- ISOMETRIC VIEW:** Shows the assembled unit with dimensions: 2 FT. (width), 4 FT. (length), and 3 FT. (height). It includes an INLET GRATE and 1 IN. REBAR FOR BAG REMOVAL FROM INLET.
- SECTION VIEW:** A cross-section showing the unit installed in a concrete curb. Labels include: TOP OF CURB, 1 FT. MIN. (height from curb to top of unit), 2:1 MAX (TYP.) (slope of the berm), FLOW, STORM INLET, and BERM.
- PLAN VIEW:** A top-down view showing the unit's placement relative to the CURB and BERM. It includes a note: "EXTEND BERM OVER CURB IF RUNOFF BYPASSING INLET LANDWARD SIDE".
- INSTALLATION DETAIL:** A close-up of the inlet grate assembly. Labels include: SANDBAG, FILTER LOG, COMPOST SOCK, OR FILTER TUBE; EXPANSION RESTRAINT (1/4 IN. NYLON ROPE); and 2 IN X 2 IN. X 3/4 RUBBER BLOCK.

NOTES:

1. MAXIMUM DRAINAGE AREA = 1/2 ACRE.
2. PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN C.
3. TROLL BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
4. ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED, ROAD SUBBASE IS LAYED, OR BERM IS 12 INCHES WIDE AND 12 INCH MINIMUM HEIGHT.
5. ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
6. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS PER YD BURST STRENGTH AND A MINIMUM TRAPZODIA LEAK STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING NO. 40 SIEVE.
7. INSPECTION OF BAGGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET DRAINAGE. BAGGS SHALL BE MAINTAINED UNTIL THEY ARE FULL. TO MAINTAIN ON SITE FOR REPLACEMENT OF BAGGS, ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS FULL BAGGS.

STANDARD CONSTRUCTION DETAIL #4-15
FILTER BAG INLET PROTECTION - TYPE C INLET
NOT TO SCALE

The technical drawings include an isometric view of the catch basin, showing its square shape with a 2-foot by 2-foot top surface and a 4-foot by 4-foot base. The depth is indicated as 5 feet. The top surface features an inlet grate and a 1-inch rebar for bag removal. The isometric view also shows the width and length of the basin. The installation detail shows the catch basin being set into a concrete foundation, with an expansion restraint (1/4 inch nylon rope) and a 2-inch by 2-inch by 3/4-inch rubber block used to secure it. The flow direction is indicated by an arrow pointing into the basin. A scale bar indicates 1 foot minimum.

INLET GRATE

2 FT.

2 FT.

1 IN. REBAR FOR BAG REMOVAL FROM INLET

4 FT.

5 FT.

WIDTH

LENGTH

EXPANSION RESTRAINT (1/4 IN. NYLON ROPE)

2 IN X 2 IN. X 3/4 RUBBER BLOCK

INSTALLATION DETAIL

ISOMETRIC VIEW

1 FT. MIN.

2:1

FLOW

The drawing consists of two parts: a Section View on the left and a Plan View on the right.

SECTION VIEW: A cross-section of a storm inlet. It shows a trapezoidal opening in a ground surface. The top surface is labeled "STORM INLET". The sides of the opening are indicated by dashed lines. The bottom of the opening is a horizontal line.

PLAN VIEW: A top-down view of the storm inlet. It shows a trapezoidal shape. The top width is labeled "6 IN. MIN. HEIGHT". The bottom width is labeled "3:1".

NOTES:

1. MAXIMUM DRAINAGE AREA = 1/2 ACRE.
2. INLET SHALL BE DESIGNED FOR INLET TREATMENT TO REMOVE RAINFALL

ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED.
EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS

CARTON LIDS AND REMAINS SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED BY THE CONTRACTOR.

A. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRASS TENSILE STRENGTH OF 120 LB. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING NO. 60 SIEVE.

B. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUN-OUT EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN THERE IS ANY LOSS OF EFFICIENCY DURING OPERATION.

C. IF INLET FILTER BAGS ARE DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION, DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL MATERIALS ACCORDING TO LOCAL REGULATIONS.

D. DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARD.

STANDARD CONSTRUCTION DETAIL #4-16
FILTER BAG INLET PROTECTION - TYPE M INLET
NOT TO SCALE



SCALE: 1"=125'

SOILS CLASSIFICATION:

BASED ON NRCS WEB SOIL SURVEY FOR MONTGOMERY COUNTY, PA

SYMBOL	SOIL NAME	RATING	SLOPE
UgB	URBAN LAND	N/A (USE, D)	0-8%
UrmB	URBAN LAND-GLENELG COMPLEX	N/A (USE, D)	0-8%

SOIL LIMITATIONS TABLE:

PER TABLE E.1 OF THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL DATED MARCH 2012, THE FOLLOW TABLE DISPLAYS THE LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS FOR THE SOILS LOCATED ON THE PROJECT SITE.

	SOIL NAME	CUTBANKS CAVE	CORROSIVE TO CONCRETE / STEEL*	DROUGHT	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE / HIGH WATER TABLE	HYDRIC AHDRC INCLUSIONS	LOW STRENGTH / LANDSLIDE PRONE	SLOW PERCOLATION	PIPING	POOR SOURCE OF TOP SOIL	FROST ACTION	SHRINK – SWELL	POTENTIAL SINKHOLE	ROADWAY
GLENELG	X	I	C	I	X	I	I	X	X	X	X	X	X	I	I	I
URBAN LAND**	I	I	I	I	I	I	I	I	X	I	X	I	X	I	I	I

NOTE: ABSENCE OF AN X DOES NOT MEAN "NO POTENTIAL LIMITATION"
 * C=CONCRETE, S=STEEL
 ** 'URBAN LAND' NOT INCLUDED IN TABLE E.1

SOIL LIMITATIONS AND RESOLUTIONS FOR LIMITATION

LIMITATION	RESOLUTION OF LIMITATIONS
CUTBACKS CAVE	PROVIDE APPROPRIATE BENCHING AND/OR SLOPING IN AREAS OF EXCAVATION
CORROSIVE TO CONCRETE/STEEL	PROVIDE ALL PIPES IN TRENCHES WITH SELECT MATERIAL BACKFILL, AND ALL PIPES SHALL HAVE WATERTIGHT CONNECTIONS.
DROUGHTY	SOIL SHOULD BE INSPECTED BY A GEOTECHNICAL ENGINEER PRIOR TO USE ON SITE. ANY RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER SHALL BE FOLLOWED PRIOR TO USE OF SOIL
EASILY ERODIBLE	SOILS SHALL BE STABILIZED WITH EITHER TEMPORARY OR FINAL STABILIZATION IN AREAS WHERE EARTHWORK IS DELAYED OR STOPPED FOR FOUR CONSECUTIVE DAYS.
FLOODING	AVOID CONSTRUCTION WITHIN THESE SOILS AS MUCH AS POSSIBLE. SOIL SHOULD BE INSPECTED BY A GEOTECHNICAL ENGINEER PRIOR TO USE ON SITE. ANY RECOMMENDATIONS BY THE ENGINEER SHOULD BE FOLLOWED PRIOR TO USE OF SOIL.
DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE	SOILS SHOULD BE EVALUATED FOR WETNESS PRIOR TO USE IN SITE WORK. IF GEOTECHNICAL ENGINEER DEEMS SOILS TOO WET FOR SITE WORK, THEN SOIL SHOULD BE AMENDED OR DRIED PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
HYDRIC/HYDRIC INCLUSIONS	SOIL SHOULD BE INSPECTED BY A GEOTECHNICAL ENGINEER PRIOR TO USE ON SITE. ANY RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER SHALL BE FOLLOWED PRIOR TO USE OF SOIL
LOW STRENGTH/ LANDSLIDE PRONE	SOILS SHALL BE STABILIZED WITH EITHER TEMPORARY OR FINAL STABILIZATION IN AREAS WHERE EARTHWORK IS DELAYED OR STOPPED FOR FOUR CONSECUTIVE DAYS.
SLOW PERCOLATION	SOIL SHOULD BE INSPECTED BY A GEOTECHNICAL ENGINEER PRIOR TO USE ON SITE. ANY RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER SHALL BE FOLLOWED PRIOR TO USE OF SOIL
PIPING	AREAS OF EMBANKMENTS WITH PIPES PASSING THROUGH THEM SHALL HAVE ANTI-SEEP COLLARS INSTALLED PER PADEP &S DESIGN MANUAL
POOR SOURCE OF TOPSOIL	SOILS SHOULD BE AMENDED AS RECOMMENDED TO PROVIDE ADDITIONAL ORGANIC CONTENT AND WATER HOLDING CAPACITY.
FROST ACTION	SOILS SHOULD BE FREE OF FROZEN OR MUCKY MATERIALS. FILL SHOULD NOT BE PLACED ON SATURATED OR FROZEN SURFACES. EARTHWORK INVOLVING THESE SOILS SHOULD BE LIMITED TO WARMER MONTHS WHEN PRACTICABLE.
WETNESS	SOILS SHOULD BE EVALUATED FOR WETNESS PRIOR TO USE IN SITE WORK. IF SOILS ARE DEEMED TOO WET FOR SITE WORK BY GEOTECHNICAL ENGINEER, SOILS ARE TO BE DRIED OR AMENDED PER ENGINEER'S RECOMMENDATIONS.

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

401 PLUMCOTT ROAD, SUITE 150, PLUMCOTT MEETING, PA 19426 • (610) 469-0449 • www.gilmore-esaco.com

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REV.	DESCRIPTION	DATE	BY

IS 2

LAND DEVELOPMENT PLAN

***INNOVATIONS AND ADDITIONS FOR
TOWNSHIP AND POLICE BUILDING***

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

LAND AND SEDIMENT CONTROL DETAILS AND NOTES

<p>EROSION</p>	<p>GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES</p> <p>PROJECT No.: 23-02039</p> <p>OWNERS INFO: UPPER MORELAND TOWNSHIP 117 PARK AVENUE WILLOW GROVE, PA 19090 (215) 659-3100</p>
-----------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

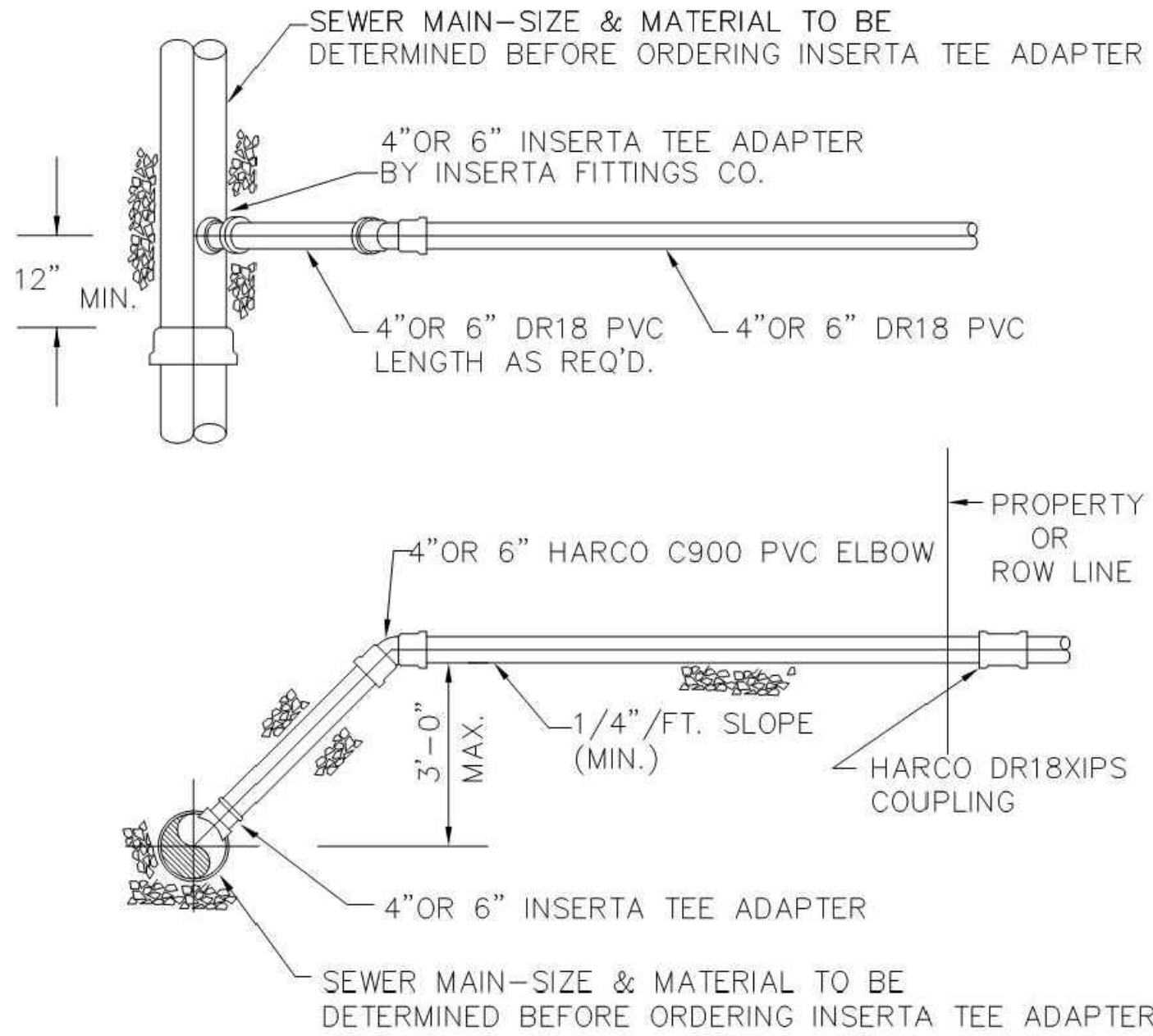
MUNICIPAL FILE No.: N/A	
TAX MAP PARCEL No.: 59-00-14053-00-9	
TOTAL AREA: 4.095 AC.	TOTAL LOTS: 1
DATE: 8/29/2025	SCALE: AS NOTED
DRAWN BY: BMS	CHECKED BY: JJH
SHEET NO.: 10 of 15	

MODEL FX STANDARD WOVEN BAG
BAG SIZE SHALL MATCH INLET SIZE:
• 24" X 45-1/4" OPENING FOR TYPE M AND TYPE C

FlexStorm Pure inlet filters are the preferred choice for permanent inlet protection and stormwater runoff control. Constructed of stainless steel, FlexStorm Pure inlet filters will fit any drainage structure and are available with site-specific filter bags providing various levels of filtration.

G:\MUNICIPAL\2023\2302039.01-UMT-New Police Station Building\CAD\Production Drawings\2302039_DET.dwg Layout: CONSTR 1 Plotted By: batulder, on Fri Oct 10, 2025 at 3:06pm

NOTE:
INSERTA TEE IS A THREE PIECE SERVICE CONNECTION CONSISTING OF A PVC HUB, RUBBER SLEEVE AND STAINLESS STEEL BAND. INSERTA TEE IS COMPRESSION FIT INTO THE CORED WALL OF A MAINLINE. INSTALL STRICTLY PER MANUFACTURER'S RECOMMENDATIONS.



JOB TITLE:	UMHJA— STANDARD DETAILS	DATE:	4/9/19
DWG TITLE:	DWG 029 — LATERAL CONNECTION INTO EXISTING MAIN WITH INSERTA TEE ADAPTER	INT:	A.L.P.

CB SEWER SADDLE SEWER SADDLE

SUBMITTAL INFORMATION

* Patent #4494780

MAY BE USED IN LIEU
OF INSERTA TEE AT
CONTRACTOR'S
DISCRETION.

MATERIALS

CASTING

The saddle body is cast from ductile (nodular) iron, meeting or exceeding ASTM A 536, Grade 65-45-12.

GASKET

Gasket is made from virgin Styrene Butadiene Rubber (SBR) compounded for water and sewer service in accordance with ASTM D 2000 MBA 710.

PIPE STOP

A pipe stop is molded into the inside wall of the gasket. This pipe stop can hold up to 1000 lbs of force along the branch.

STRAP

Type 304 (18-8) Stainless Steel, 3 1/2 inches wide to

spread out clamping forces on the pipe, M.I.G. and T.I.G welds. Passivated for corrosion resistance.

BOLTS AND NUTS

Type 304 (18-8) Stainless Steel, passivated for resistance to corrosion. 1/2" National Coarse roll thread. Nuts coated to prevent galling.

COATINGS

Shop coat applied to cast parts for corrosion protection in transit. Fusion bonded epoxy, liquid epoxy and other coatings available on request.

WASHERS

Acetyl and stainless steel washers are used to reduce friction.

PRESSURE

Designed for sewer service, the Style CB saddle will hold a 7 psi air test when properly installed on a pipe within the correct outside diameter range.

DEFLECTION

When the CB saddle is installed properly the branch can accommodate up to 3 degrees of deflection.

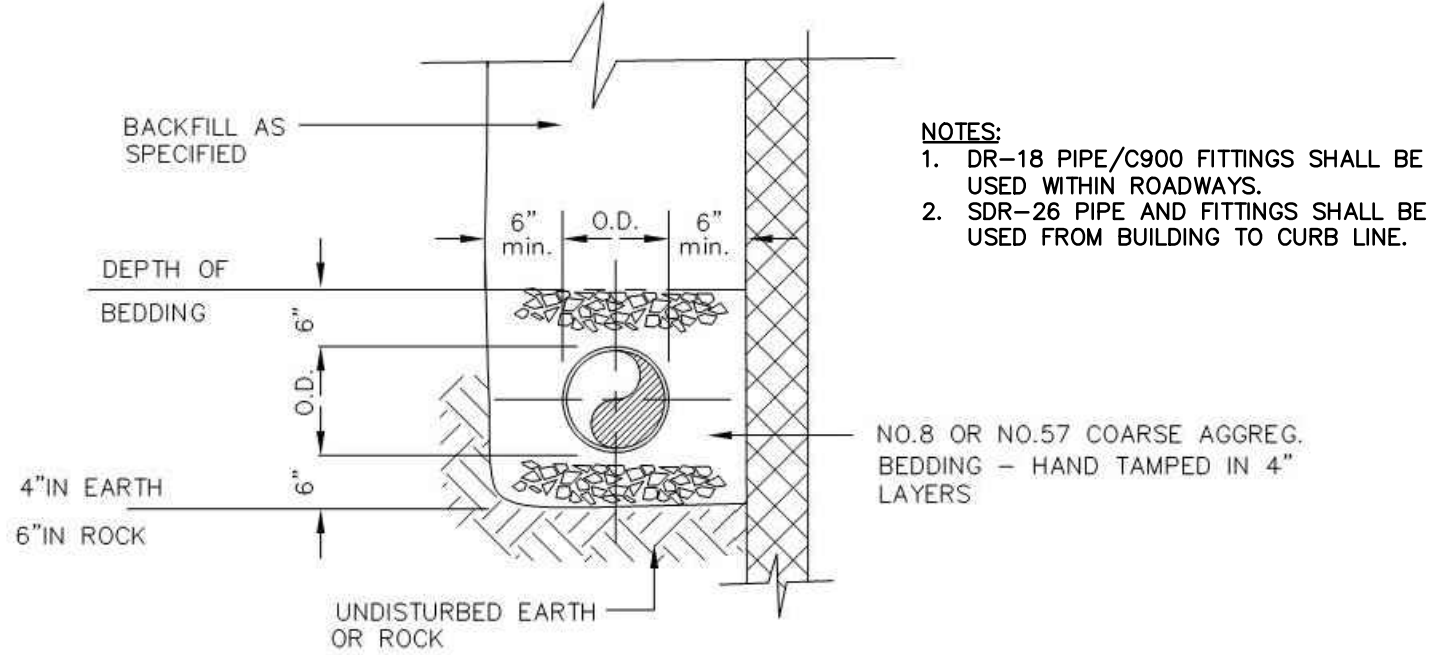
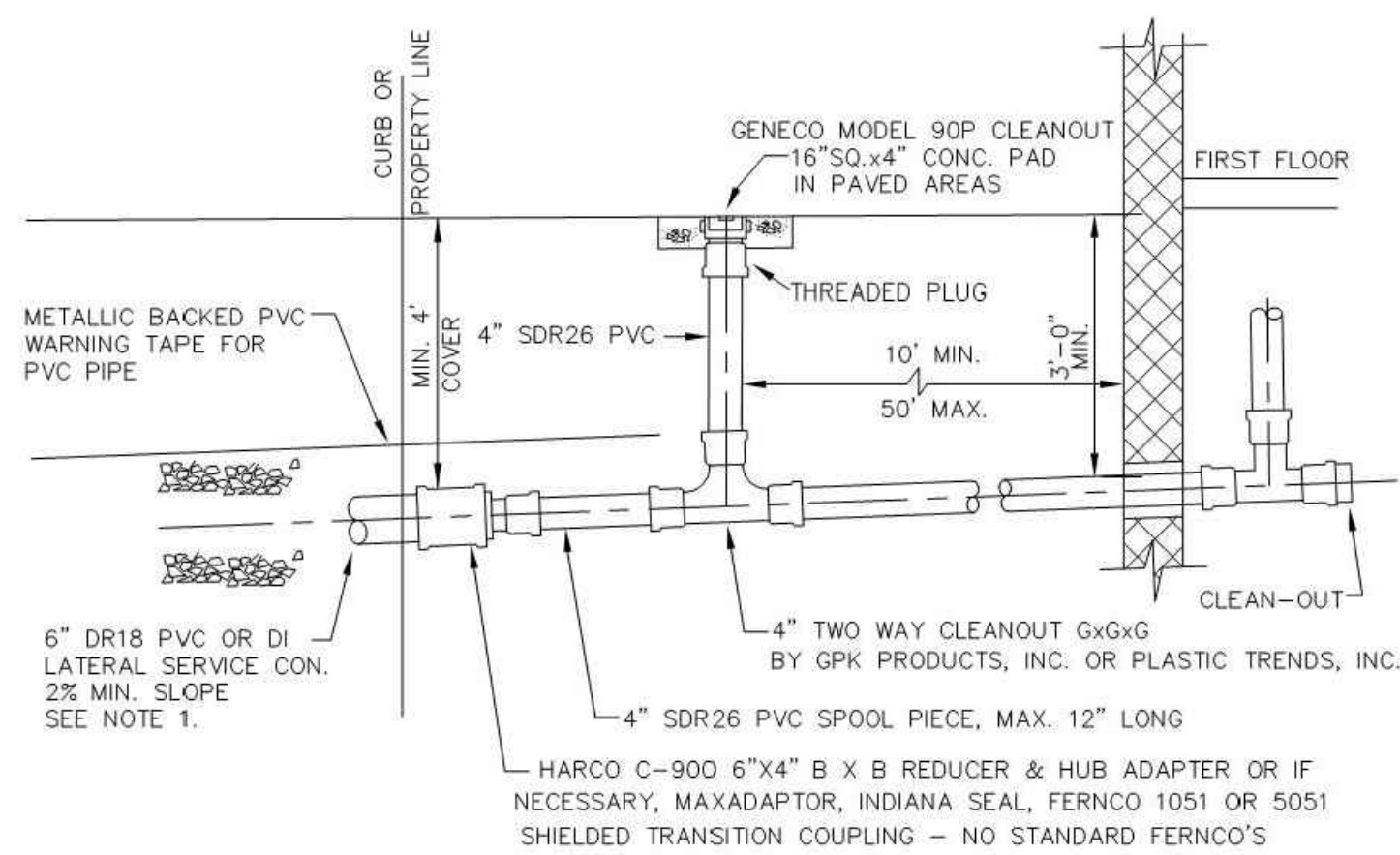
SIZES

See catalog.

This information is based on the best data available at the date printed above. Please check with Romac for any updates or changes.



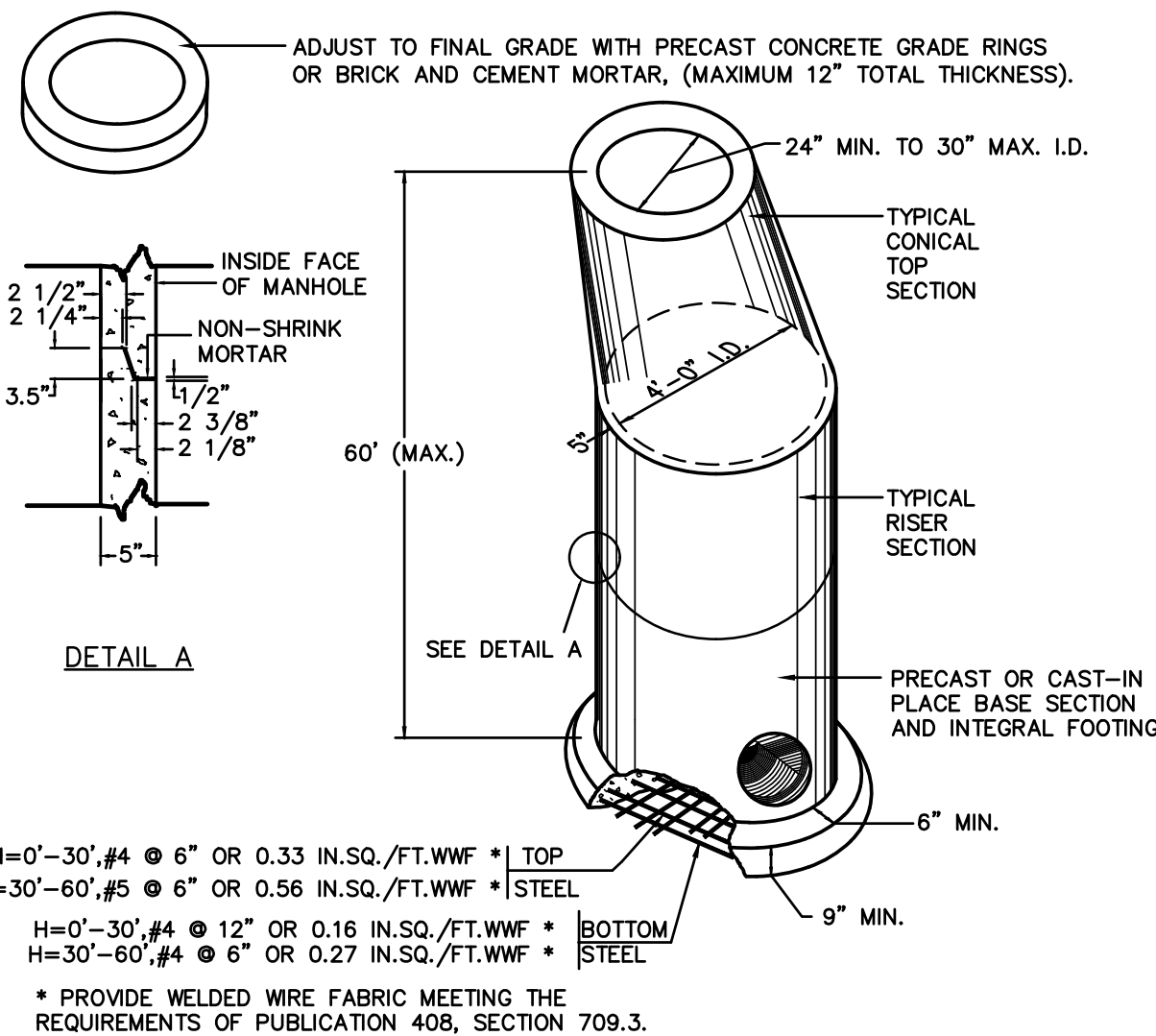
21919 20th Avenue SE • Suite 100 • Bothell, WA 98021
Phone (425) 951-6200 • 1-800-426-9341 • Fax (425) 951-6201



- NOTES:
1. ALL BUILDING SEWER TO BE TESTED PER APPLICABLE CODE
 2. CLEAN-OUT REQUIRED ONE PER 50 FEET OF PIPE AND AT EVERY BEND.
 3. CLEANOUT IN NON-PAVED AREAS SHALL BE EAST JORDAN #1574, NEENAH FOUNDRY R-1975-A2, OR APPROVED EQUAL. CLEANOUT CAP PROTECTION CASTING SHALL HAVE A MIN. OF 2-INCH OF SEPARATION BETWEEN CLEANOUT THREADED PLUG AND CASTING.

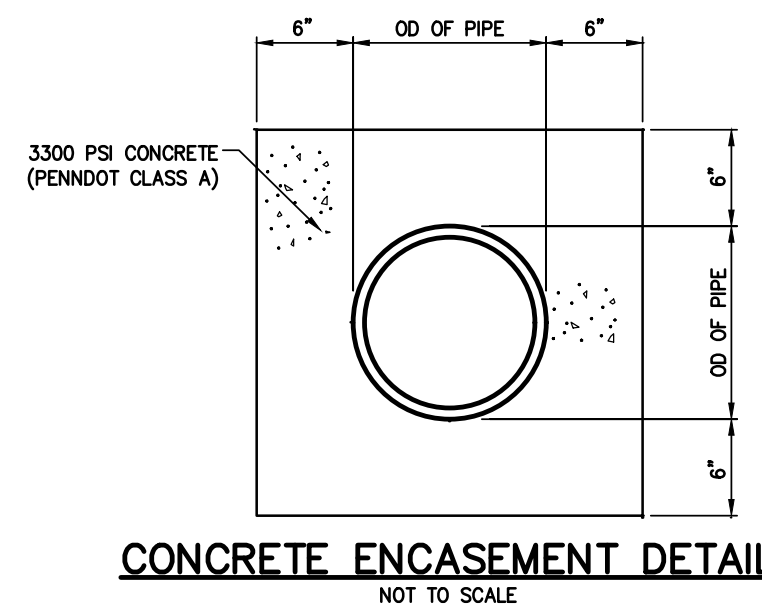
BUILDING SEWER CONNECTION (SINGLE CLEAN-OUT, NO TRAP)

DBS-01

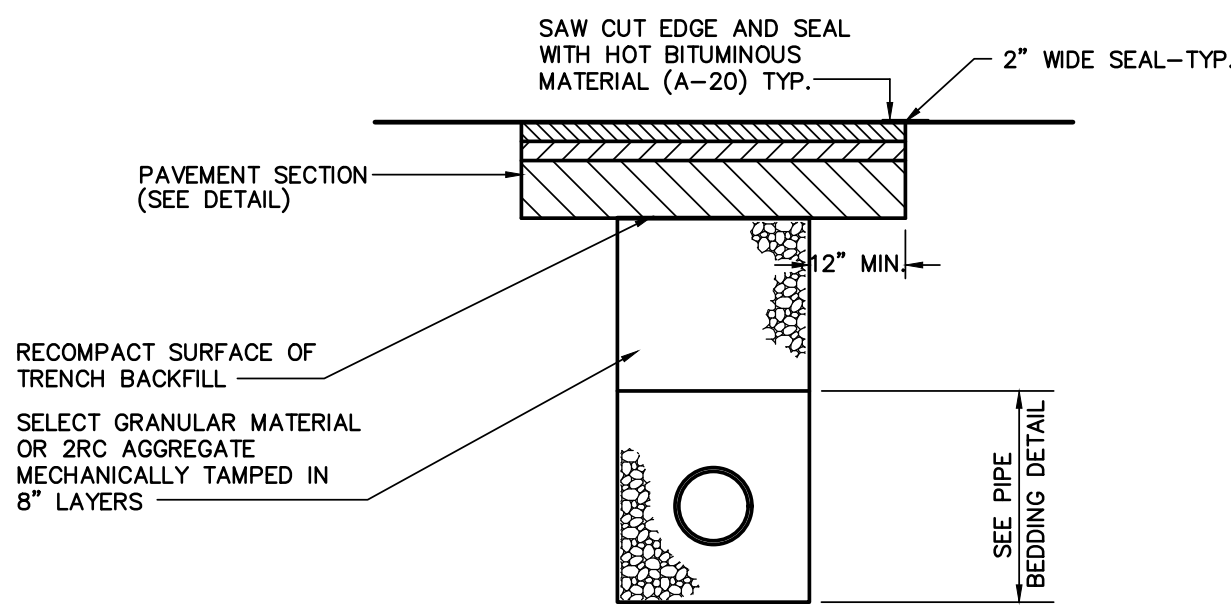


- NOTES:
1. PRECAST MANHOLES, MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 714, MAY BE SUBSTITUTED FOR STANDARD CAST-IN-PLACE MANHOLE
 2. REFER TO "COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAY DESIGN, STANDARDS FOR ROADWAY CONSTRUCTION", PAGE RC-39, SHEET 3 of 5, LATEST ISSUE, FOR NOTES AND SPECIFICATIONS REGARDING PRECAST MANHOLE CONSTRUCTION.
 3. MANHOLE STEPS SHALL BE PROVIDED IN ANY CASE WHERE THE STRUCTURE IS 5 FEET OR GREATER IN DEPTH.

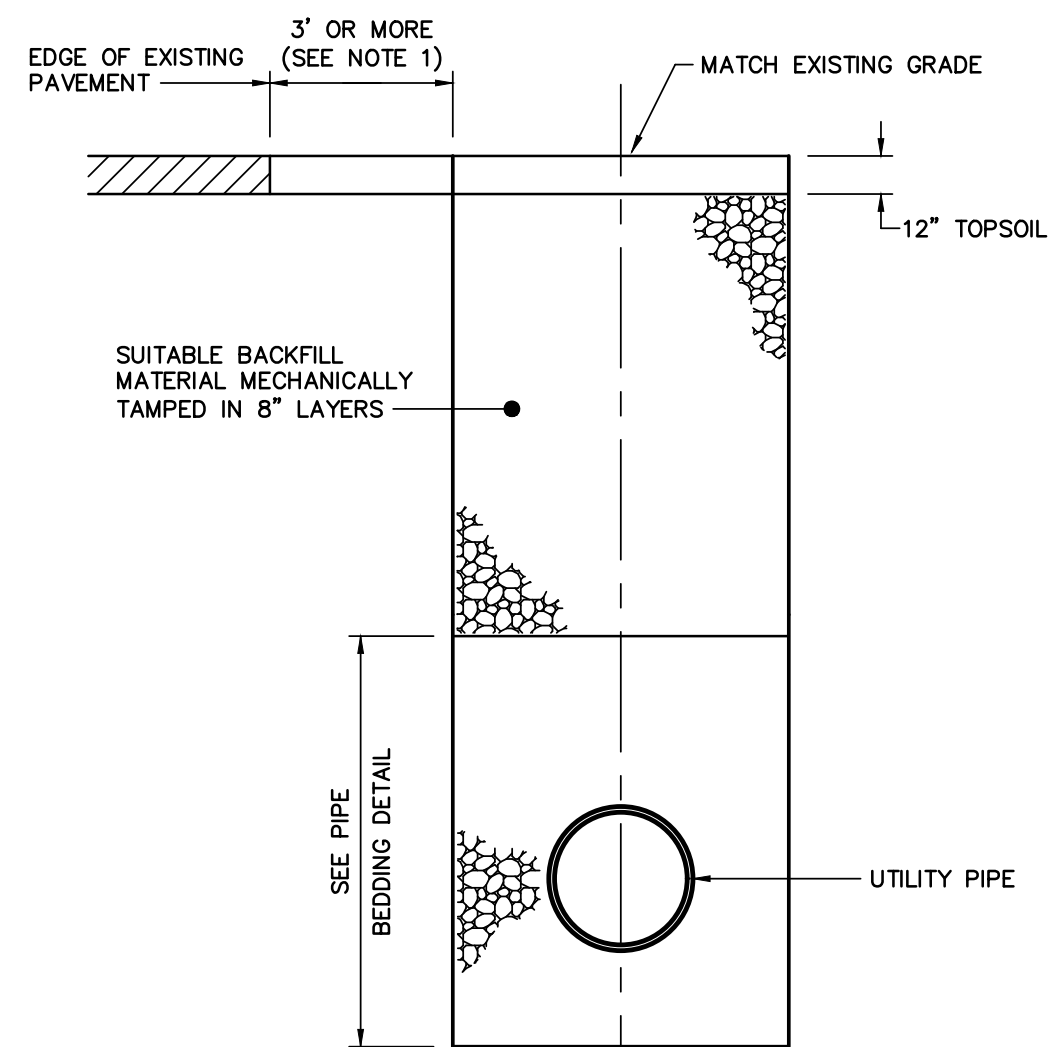
TYPICAL MANHOLE DETAIL NOT TO SCALE



CONCRETE ENCASEMENT DETAIL NOT TO SCALE

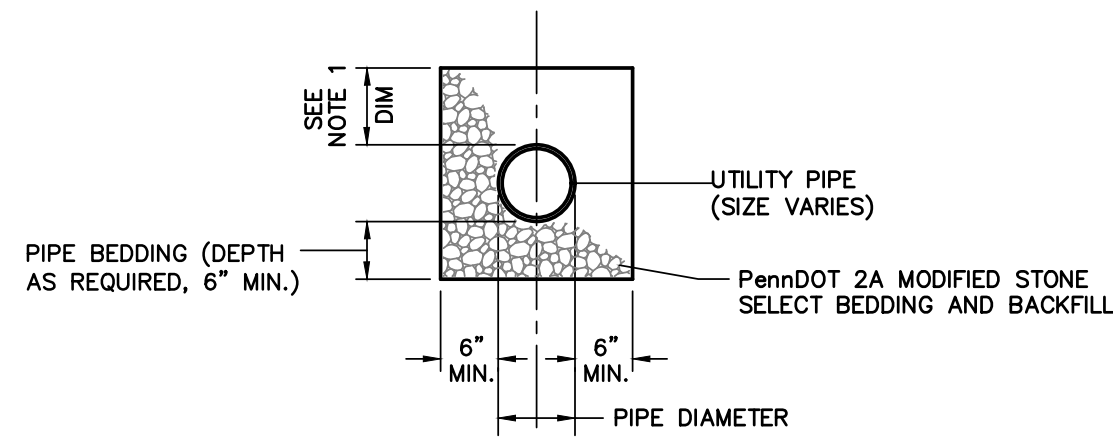


UTILITY TRENCH RESTORATION IN PAVED AREAS NOT TO SCALE



- NOTES:
1. TRENCH OPENINGS LESS THAN 3' FROM THE EDGE OF AN EXISTING PAVED SURFACE SHALL BE BACKFILLED WITH A 2A COARSE AGGREGATE MECHANICALLY TAMPED IN 8" LAYERS.

UTILITY TRENCH RESTORATION IN UNPAVED AREAS NOT TO SCALE



NOTE 1: STONE ABOVE PIPE SHOULD BE 6" IN DEPTH FOR LATERALS & 12" FOR ALL OTHER UTILITY PIPES.

PIPE BEDDING DETAIL NOT TO SCALE



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10/10/2025 PRELIM/FINAL LD SUBMISSION

LAND DEVELOPMENT PLAN RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

CONSTRUCTION DETAILS AND NOTES 1



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT No.: 23-02039

OWNERS INFO:
UPPER MORELAND TOWNSHIP
117 PARK AVENUE
MILLOW GROVE, PA 19090
(215) 659-3100

MUNICIPAL FILE No.: N/A

TAX MAP PARCEL No.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC. TOTAL LOTS: 1

DATE: 8/29/2025 SCALE: AS NOTED

DRAWN BY: BMS CHECKED BY: JHJ

SHEET NO.: 13 OF 15

Exhibit B



November 13, 2025

Mr. Paul Purtell
Director of Code Enforcement
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

RE: **Traffic Review – Land Development Plans**
117 Park Avenue – Upper Moreland Township Municipal Complex
Upper Moreland Township, Montgomery County, PA
Project No. 310016-25-008

Dear Paul:

Per the request of the Township, Bowman Consulting Group (Bowman) has prepared this letter that summarizes our traffic engineering review of the proposed site modifications to be located at 117 Park Avenue in Upper Moreland Township, Montgomery County, PA. Based on our review of the plans submitted for review, the proposed site modifications include construction of an approximate 10,230 square-foot building addition to the Township Building and Police Station and parking lot modifications. Access to the site will be provided via the existing western driveway along Center Avenue, the existing eastern driveway along Center Avenue which will be relocated to the east, the existing eastern driveway along Park Avenue, and the existing western driveway along Park Avenue which will be modified to provide two-way traffic flow.

The following documents were reviewed and/or referenced in preparation of our traffic review:

1. Land Development Plans – Upper Moreland Township and Police Buildings Renovations and Additions, prepared by Gilmore & Associates, Inc., last revised October 10, 2025.
2. Waiver Request Letter – Upper Moreland Township and Police Buildings Renovations, prepared by Gilmore & Associates, Inc., dated October 10, 2025.

Based on our review of the documents listed above, Bowman offers the following comments for consideration by the Township:

1. The waiver requests include waivers from the following traffic-related ordinance requirements:
 - Section 300-15.B – requiring Park Avenue to have a minimum 30-foot cartway width (15 feet from the centerline).
 - Section 300-19.A(7) – requiring an 8-inch curb reveal throughout the site.
2. Sight distance measurements should be depicted on the plans at all driveway locations along Center Avenue and Park Avenue in accordance with **Section 295-15.C** of the **Subdivision and Land Development Ordinance**.
3. According to **Section 300-15.B(1)(b)[1]** of the **Subdivision and Land Development Ordinance**, Park Avenue should have an ultimate right-of-way width of 50 feet. The plans currently show a 40-foot right-of-way width along Park Avenue.

4. The "Authorized Use Only" sign on the eastern side of the eastern Park Avenue driveway should be replaced with an "Emergency and Authorized Use Only" sign. In addition, an "Emergency and Authorized Use Only" sign should be added to the plans on the western side of this driveway.
5. The existing "Stop" sign along the eastern site driveway approach to Park Avenue should be relocated closer to the crosswalk. A stop bar should be shown on the plans adjacent to this relocated "Stop" sign.
6. "Pedestrian Crossing" warning signs with a downward arrow plaque should be shown on the plans at the following locations:
 - On both sides of the crosswalks along the two drive aisles in the parking area to the north of administration and police buildings.
 - On both sides of the crosswalk along the western Park Avenue driveway.
7. A Cross Traffic Does Not Stop supplemental plaque should be added to the "Stop" sign on the northbound drive aisle approach of the internal intersection near the western Center Avenue driveway.
8. It is noted that in the future, the applicant for the proposed Willow Grove Shopping Center Redevelopment project will implement all-way stop control for the intersection of Park Avenue and the western driveway for the Municipal Building. If the proposed site walls shown on the plans will be constructed prior to the implementation of the all-way stop control, the height and location of the proposed site walls near the western Park Avenue driveway should be reviewed to ensure they will not restrict the sight distance line looking to the left from the western driveway.
9. Turning templates should be provided demonstrating the ability of a trash truck or the largest expected delivery truck to maneuver into and out of the driveways that will be accessible to these vehicles.
10. The two parking spaces located along the western Park Avenue driveway should be relocated to another portion of the site so that vehicles maneuvering into and out of these parking spaces do not interfere with vehicles entering the site from Park Avenue at this driveway.
11. The Township should consider whether the Township Building and Police Station project will be subject to the Township's Transportation Impact Fee in accordance with the Township's *Transportation Impact Fee Ordinance*.

If you or the Township have any questions, or require clarification, please contact me.

Sincerely,



Chad Dixon, AICP, PP
Senior Project Manager

CED/BMJ

cc: Patrick Stasio, Upper Moreland Township Manager
Sean Kilkenny, Esquire, Township Solicitor
Jim Hersh, P.E., Gilmore & Associates

V:\310016 - Upper Moreland\310016-25-008 (TRN) - Township & Police Building\Engineering\Submissions\2025-10-21 LD Plans\Review\2025-11-13 Review Letter - 117 Park Avenue (Municipal Complex).docx

Exhibit C

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

NEIL K. MAKHIJA, CHAIR
JAMILA H. WINDER, VICE CHAIR
THOMAS DIBELLO, COMMISSIONER

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**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY • PO Box 311
NORRISTOWN, PA 19404-0311

610-278-3722
PLANNING@MONTGOMERYCOUNTYPA.GOV

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

November 7, 2025

Mr. Paul Purtell, Director, Planning, Zoning & Inspections
Upper Moreland Township
117 Park Avenue
Willow Grove, Pennsylvania 19090-3215

Re: MCPC #23-0173-002
Plan Name: Municipal Complex – Police Station
(1 lot comprising approximately 2.97 acres)
Situate: Park Avenue (south)/Center Avenue (north)/
Easton Road (east)/Summit Avenue (west)
Upper Moreland Township

Dear Mr. Purtell:

We have reviewed the above-referenced subdivision and land development or in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on October 21, 2025. We forward this letter as a report of our review.

BACKGROUND

Upper Moreland Township is proposing an expansion and updates to the municipal complex that would include an approximately 8,000 square foot addition to the township administrative portion at the main and lower levels of the building and an approximately 6,000-square foot addition to the police department at the main level. The proposed changes to the municipal complex would include a reconfiguration of public entrances, with accessible entrances on both the Cedar Avenue and Park Avenue sides of the building. Additional improvements include pedestrian connections to the municipal building from Center Avenue, accessible public entrances, and open space and trees around the municipal building and along the streets.

Parking lots and open spaces around the complex would be reconfigured to create more open space behind the library where parking currently exists, and to separate the public parking lot and the secured parking lot for the police department.

We reviewed the previously submitted zoning map amendment for this site in a letter dated May 9, 2023, and we reviewed a previously submitted proposal for this site in a letter dated September 14, 2023.



COMPREHENSIVE PLAN COMPLIANCE

The proposal is generally consistent with *MONTCO 2040: A Shared Vision*, which designates the area as “Regional Mixed-Use Center” future land use category. The proposal is also consistent with *Upper Moreland 2040*, the Upper Moreland Township Comprehensive Plan. The property is located in an area that straddles the Town Center and the Town Residential future land use categories. Development in the Town Center should be pedestrian-oriented and exhibit high-quality design. Due to the abutting Town Residential areas, any future development should be considerate of the residential neighborhoods.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the township’s proposal; however, in the course of our review we have identified the following issues that the township may wish to consider prior to final plan approval. Our comments are as follows:

REVIEW COMMENTS

PUBLIC SPACES

- A. Public Library and Municipal Building Entrances. We encourage the township to consider the relationship between the municipal building and the public library. The one-way driveway that is currently located between the library and municipal building would be converted to a two-way driveway from Park Avenue that would separate the entrances to the municipal building and the public library. We suggest considering a raised crosswalk between the two buildings to slow cars entering and leaving the site and to create a safer pedestrian connection between the buildings. In addition, with the existing plaza in front of the public library as well as the expanded sidewalk around the new public entrance, this space will likely become a gathering space due to the number of people who will be walking in and around the two buildings.
- B. Public Plaza. We recommend considering the design and location of the public plaza. Based on the renderings provided, the public plaza on Park Avenue appears to consist of a widened sidewalk with benches that cuts off the old main entry. The location of the public plaza seems detached from the township building itself, as there is no connection from the sidewalk up the steps to the former main entrance. Regarding the visual relationship of the wall behind the plaza, we feel that using two materials disconnects the plaza wall from the Upper Moreland Township wall sign.

We appreciate the widened sidewalk along that portion of Park Avenue; however, we suggest considering how the public plaza could be shifted closer to and oriented towards the new entrance on Park Avenue, which would create a more active and inviting gathering space with direct connection to the township building. Creating a public plaza near the Park Avenue entrance would also reinforce the relationship between the library and municipal buildings.

- C. Open Space Programming. Based on the site plans provided, there appears to be an open space behind the municipal building. We recommend that this space be treated as an outside space where people could sit while eating lunch or waiting for a meeting.

LANDSCAPING

- A. Parking Lot Landscaping. We recommend that a tree be added to the center parking lot island. A waiver is requested from SALDO Section 300-43.D(1)(d) to not provide trees in some parking lots islands, due to the inclusion sidewalks and ramps through the parking lot. We understand that this may require the removal of one or two parking spaces to accommodate the pedestrian walkway; however, we encourage the township to consider the aesthetic and environmental benefits of adding another shade tree to the parking lot, which would shade the pedestrian walkway.
- B. Fence Foundation Landscaping. We recommend planting additional landscaping along the perimeter of the chain link fence around the police parking lot. The police parking lot would be secured with a fence and gate, and trees would be planted around the parking along the interior side of the fence. A sidewalk is proposed along the outside of the fence, along Cedar Avenue and along the west side of the public parking lot. To soften the appearance of the fence and to improve the pedestrian experience, we suggest planting additional shrubs along the foundation of the fence.

PEDESTRIAN CONNECTIVITY AND PUBLIC ENTRANCES

Based on the site plans provided, it appears that the sidewalk along Center Avenue would be widened and set further back from the street, which we commend, as it will improve the pedestrian experience.

- A. Building Entrances. We recommend considering how to treat the front of the building as well as the old entrances. It appears that the new configuration of the building and entrances does not use the old entrances along Park Avenue for the municipal administration or Police Department. The proposed plans show the existing walkway to the stairs, but the walkway does not lead to an active entrance (as is also referenced in comment B. Public Plaza).
 - 1. *Police Department Accessible Ramp*. The old Police Department entrance on Park Avenue could be accessed by a ramp from the sidewalk along Park Avenue. However, there is no sidewalk along the vehicular driveway from the sidewalk to the ramp, creating a gap in the pedestrian network. If the ramp and entrance are intended to be used by the public, the rehabilitation of the municipal complex may be an opportunity to address the accessibility of this entrance.

TRANSPORTATION

- A. Vehicular Parking. There are currently parallel parking spaces in front of the side entrance to the township building; the proposal would keep two parallel parking spaces in that location. If these are planned to be used as loading or drop-off spaces, we recommend that they be indicated as such on the plans and that signage be provided to clearly show that they are for temporary parking only.
- B. Bike Parking. We recommend that the township install bike racks adjacent to the municipal complex entrances.

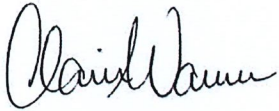
CONCLUSION

We wish to reiterate that MCPC generally supports the township's proposal but we believe that our suggested revisions will better achieve Upper Moreland's planning objectives for development in the Willow Grove.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number (23-0173-002) on any plans submitted for final recording.

Sincerely,

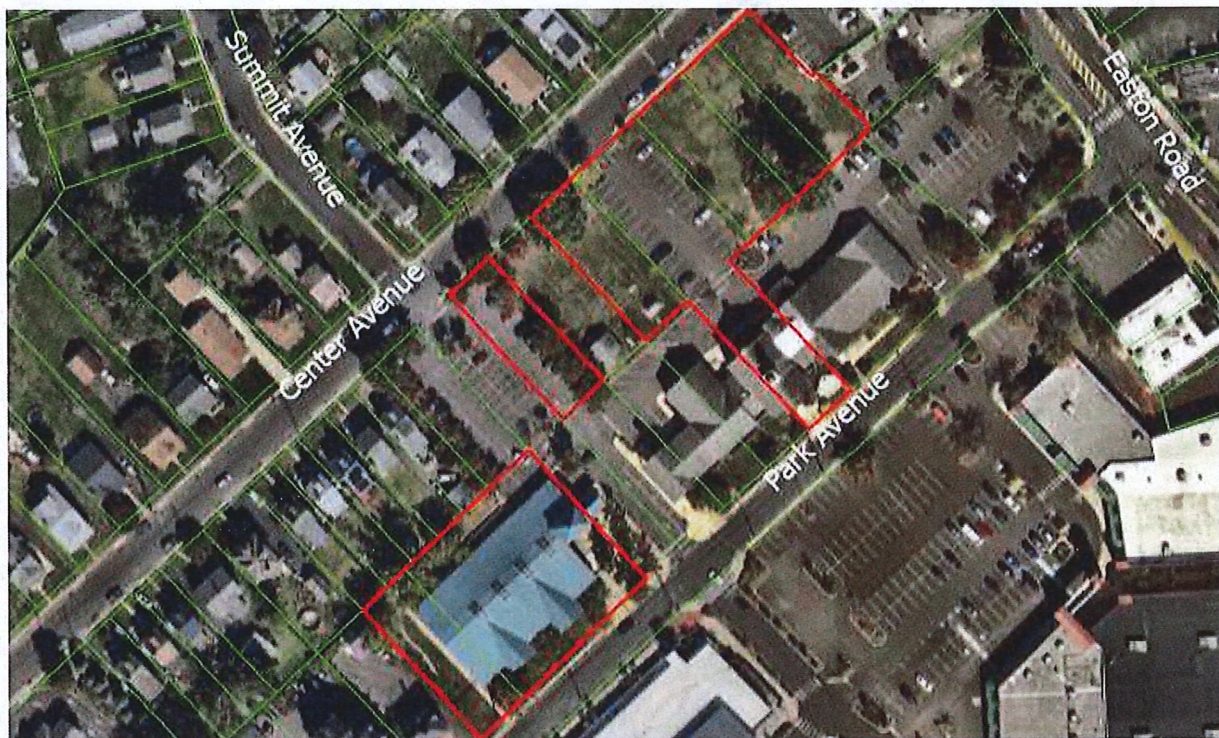
A handwritten signature in black ink, appearing to read "Claire Warner". The signature is fluid and cursive, with the first name "Claire" being more prominent than the last name "Warner".

Claire Warner, Principal Community Planner I
Claire.Warner@montgomerycountypa.gov – 610-278-3755

c: Patrick Stasio, Township Manager
Jennifer Mullen, Chair, Township Advisory Planning Agency
Alex Baumler, Township Solicitor

Attachment A: Aerial Image of Site

Attachment B: Reduced Copy of Applicant's Proposed Site Plan



Municipal Complex
MCPC#230173002

Montgomery
County
Planning
Commission

Montgomery County Geographic Information System
PO Box 311, Huntstown, PA 17056-0311
Tel: 610-278-3723 or 610-278-3341
www.montcopa.org/planning
Aerial photography provided by GeoEye

0 50 100 200 Feet



2 of 1

Exhibit D

Advisory Planning Agency
November 20, 2025

Minutes

A meeting of the APA was held on November 20, 2025 at 5:00 PM in the UMT Building. Members present included Chair Jennifer Mullen, Jay Silverman, Landon Synnestvedt, Arlene Rubin & Claire Warner from the MCPC. Absent: George Hartman, Christian Henderson & Fred Standaert.

Land Development

Upper Moreland Twp Municipal Complex Land Development Application. Brian Studer, PE, Twp Engineer from Gilmore & Associates and Matt Jones, Twp Architectural Consultant from GKO, were present to discuss the land development application for Upper Moreland Twp at 117 Park Avenue. Brian Studer gave an overview of the project which will include building additions to both the administration building and the police department along with associated site work, parking lot configuration and stormwater management. Interior alterations are also planned for the building. Mr. Studer commented that they have reviewed the Twp Traffic Engineer's comments along with the MCPC review comments and are working to address those items.

Matt Jones gave an overview of the proposed interior alterations to include new and improved entrances to the Twp and police buildings along with accessibility improvements and better interior flow for employees and visitors.

Claire Warner from the MCPC discussed her 247 review, dated 11/7/25, concerning pedestrian access from library to administration building, the public plaza, parking lot landscaping and fence screening along Easton Road & Center Avenue.

Brian Studer commented that they can take a look at a raised pedestrian crossing but do not want to block the flow of stormwater at base of raised area. The APA made comments about the landscaping at base of fences along Easton Road & Center Avenue. Mr. Studer said they can certainly move the fence back a bit from Center Avenue in order to provide some base landscaping at that location along with Easton Road frontage. They will also remove the parallel parking space along the drive off Park Avenue to avoid a potential stacking issue per both the Twp Traffic Engineer comments and MCPC.

Paul Purtell commented that while benches are not proposed in the open space areas at this time, the Twp can certainly take a look at it down the road to see if there is a need. The open space area alongside the library may also get some sort of play equipment or other amenities in the future.

Jay Silverman commented on the proposed parking lot configuration and distance from parking areas to library entrance is not ideal.

November 20, 2025

APA minutes

Page 2 of 2

Paul Purtell commented that Twp staff and the BOC had wanted more green area/open space on the site from previous versions. Visitor parking, including accessible parking spaces, were added adjacent to the library while also keeping open space alongside the library and elsewhere on the site.

Jennifer Mullen made a motion to recommend approval of the land development application subject to the Twp complying with the recommendations made by the MCPC in their 247 review, dated 11/7/25; seconded by Arlene Rubin.

Jennifer Mullen: Yay

Landon Synnestvedt: Yay

Arlene Rubin: Yay

Jay Silverman: Nay

Old Business

Paul Purtell commented that Claire Warner will be presenting an update on the Walkability Audit to the Community Development Committee at the November 24th meeting.

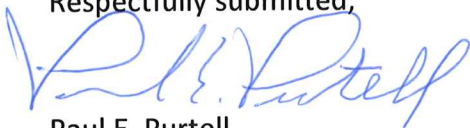
New Business

The APA cancelled the December 18, 2025 meeting.

No further business.

Meeting adjourned at 5:50 PM.

Respectfully submitted,



Paul E. Purtell

Director, Code Enforcement

TOWNSHIP of UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215

Telephone (215) 659-3100 / Fax (215) 659-7363

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Director of Finance

ALEX H. LEVY

Township Treasurer

SEAN P. KILKENNY, ESQ.

Township Solicitor

Agenda Summary

Community Development Committee Meeting – November 24, 2025

Agenda Item:	2021 International Property Maintenance Code
Prepared By:	Paul E. Purtell, Director of Code Enforcement
Attachments:	Proposed ordinance with existing amendments
Background/Analysis:	Upper Moreland currently enforces the 2015 International Property Maintenance Code (IPMC). The Pennsylvania Uniform Construction Code (UCC), under the Pennsylvania Department of Labor & Industry, is set to move to the 2021 International Code Council (ICC) series, effective January 1, 2026. While the IPMC is not required under the UCC, Upper Moreland Township has adopted this code on their own in order to create a standard for property owners and the Township, to follow on existing buildings and properties. The adoption of the 2021 IPMC will align with the 2021 ICC Code series.
Fiscal Impact/Source:	N/A
Alternatives:	N/A
Staff Recommendation:	Authorize Township Solicitor to advertise an Ordinance for adoption at the Board of Commissioners Regular Meeting in January.

Equal Opportunity Employer

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TOWNSHIP of UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215

Telephone (215) 659-3100 / Fax (215) 659-7363

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JARED JACOBS

DEMOND MULLEN

BENJAMIN W. OLSZEWSKI

NICHOLAS O. SCULL

CHARLES M. WHITING



OFFICIALS

PATRICK T. STASIO

Township Manager

JOHN D. BATES

Assistant Township Manager/

Director of Finance

ALEX H. LEVY

Township Treasurer

SEAN P. KILKENNY, ESQ.

Township Solicitor

Agenda Summary

Community Development Committee Meeting – November 24, 2025

Agenda Item:	Amusement Device Appeal for 425 W. Moreland Road
Prepared By:	Paul E. Purtell, Director of Code Enforcement
Attachments:	Appeal request, Notice of Violation, permit application and denial letter
Background/Analysis:	The business owner of Lucky 7 Deli has appealed the denial of the permit application to operate three (3) amusement devices within 300' of a residential district and/or use. Chapter 65 of the Upper Moreland Twp Code prohibits such devices within this area.
Fiscal Impact/Source:	Permit fees and business tax on amusement devices
Alternatives:	Deny request
Staff Recommendation:	The Committee recommends the Board of Commissioners consider request and move to the Regular Meeting on December 1, 2025.

Equal Opportunity Employer

VISIT US ON THE WEB @ www.uppermoreland.org

RECEIVED

OCT 15 2025

UPPER MORELAND
CODE ENFORCEMENT

Almas Ahmad
Lucky 7 Deli
2638 W. Moreland Road Willow Grove, PA 19090
Phone: (609) 516-8981

October 7, 2025

Upper Moreland Township Board of Commissioners Attn: Community Development Committee
117 Park Avenue Willow Grove, PA 19090
Subject: Appeal of Denial – Amusement Device License Application Location: 425 W. Moreland Road

Dear Members of the Board,

I am writing to formally appeal the recent denial of my application to place and maintain three (3) amusement devices at my business located at 425 W. Moreland Road, Willow Grove, PA 19090.

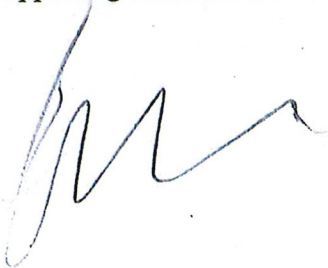
I fully understand the zoning regulations outlined under Upper Moreland Township Code Chapter 65, Section 65-10, which restrict amusement devices within 300 feet of a residential district. However, I respectfully request that the Board of Commissioners review my case and consider granting an exception or variance due to the following reasons:

1. Community Benefit: The amusement devices are intended solely for customer entertainment in a safe, family-friendly, and well-monitored environment. They will not create noise disturbances or negatively affect nearby residential areas.
2. Business Sustainability: As a small business owner, these devices provide modest additional income that helps keep operations running smoothly and supports local jobs.
3. Willingness to Comply: I am committed to meeting all township requirements regarding spacing, safety, and layout. A detailed floor plan showing the proposed device locations, including 30 square feet of usable store area per device, is attached.

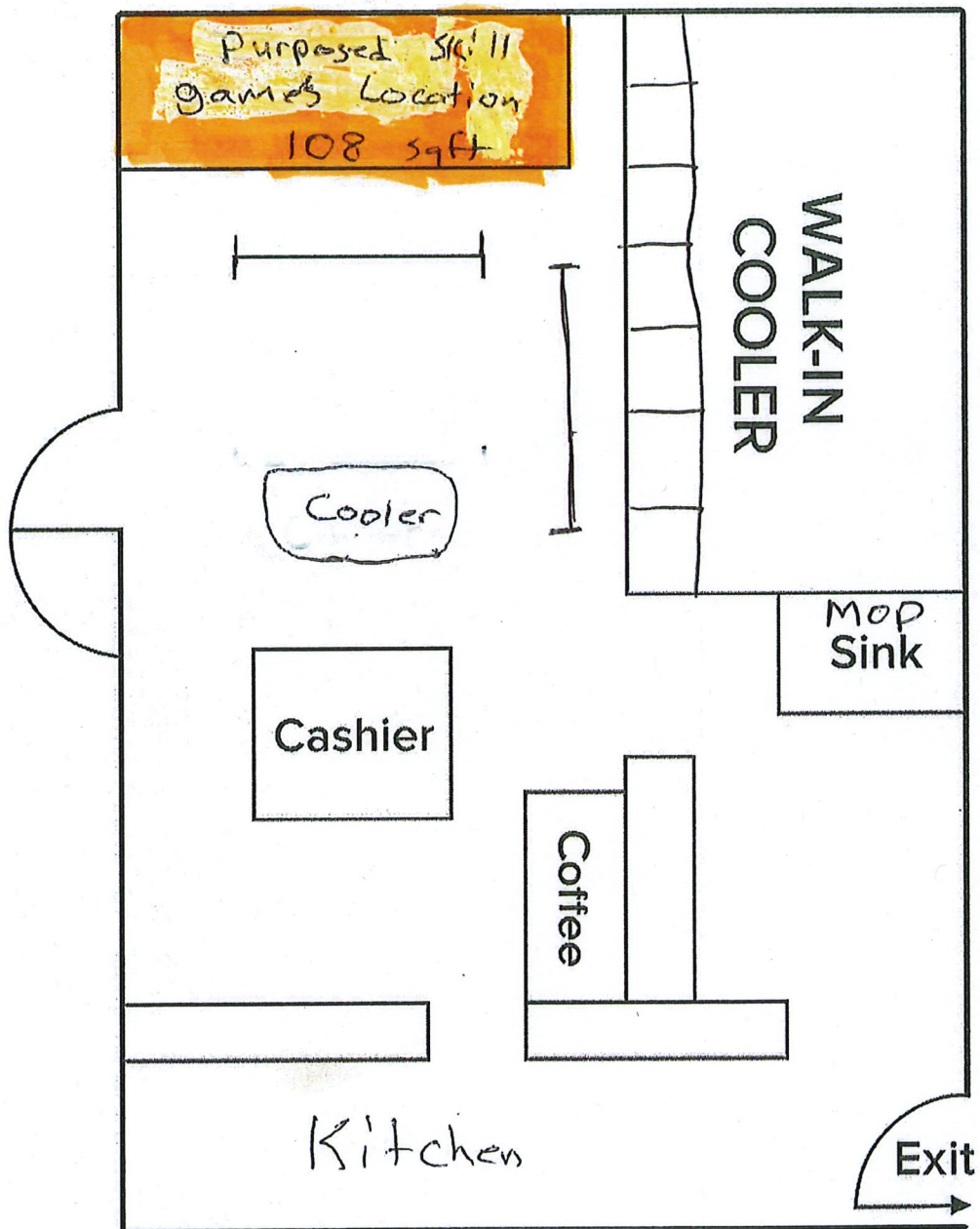
I respectfully request that this appeal be placed on the agenda for the next available Community Development Committee meeting so I can present my request in person.

Thank you for your time and consideration. I greatly appreciate the Township's commitment to maintaining community standards while supporting small businesses like mine.

Sincerely,
Almas Ahmad
Lucky 7 Deli; 609-516-8981



10/17/25 - GC: T.S., K.H., P.S. 11/24/25 GDC Agenda



Hold File

Township of Upper Moreland

117 Park Avenue
WILLOW GROVE, MONTGOMERY COUNTY, PENNSYLVANIA 19090
Telephone (215) 659-3100 Ext. 1032/1033 / Fax (215) 659-8899



Paul E. Purtell
Director of Code Enforcement

October 1, 2025

Almas Ahmad
2638 W. Moreland Road
Willow Grove, Pa. 19090

Re: 425 W. Moreland Road Amusement Device License Application

Dear Mr. Ahmad,

I have reviewed your license application to place and maintain three (3) amusement devices at the referenced property and your application has been deemed **Not Approved**.

Upper Moreland Twp. Code Chapter 65, Section 65-10 prohibits placement of any amusement devices within three hundred (300') of a residential zoning district. The entrance to your store is less than 300' from the adjacent residential district. Additionally, as the property is now zoned CMU-commercial mixed-use, amusement devices are not permitted in this district.

Please remove the three (3) amusement devices within 10 days from the date of this letter but not later than October 11, 2025. Failure to remove the machines within the specified time could result in fines of up to \$600 + costs for each day that the machines remain.

If you wish to appeal this denial you may do so by filing such appeal to the Upper Moreland Twp Board of Commissioners. In order to be considered for an appeal the following documentation will be required:

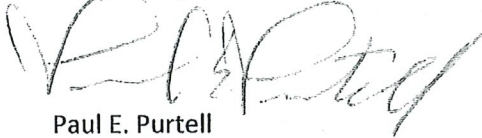
- A letter requesting an appeal to the amusement device license application denial.
- A floor plan of the store indicating location of proposed devices. Such plan to include dimension and compliance of 30 square feet of useable store area per device.

Once the appeal is received you will be placed on the agenda of a future Community Development Committee meeting at which time you will present your request. The date and time will be confirmed once the application is received.

October 1, 2025
425 W. Moreland Road
Page 2 of 2

If you have any questions please feel free to contact me at 267-607-1034.

Truly Yours,

A handwritten signature in dark ink, appearing to read 'P. E. Purtell', written over a horizontal line.

Paul E. Purtell
Director, Code Enforcement

Cc: Pat Stasio
Bob Rosser
George Kyriakodis



Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090
215-659-3100
215-659-8899 (fax)
www.uppermoreland.org

Upper Moreland Township Amusement Device License

RECEIVED
SEP 25 2025
UPPER MORELAND
CODE ENFORCEMENT

I. OWNER OF GAMES

Name: <u>ALMAS AHMAD</u>	Address: <u>2638 West Moreland Rd</u>
Phone #: <u>609-516-8981</u>	City, State, Zip: <u>Willow Grove PA 19090</u>

II. LOCATION OF GAMES

Name of business: <u>Lucky 7 Deli</u>	Phone: <u>215-784-0000</u>
Address: <u>425 West Moreland Rd Willow Grove</u>	
City, State, Zip: <u>PA 19090</u>	

III. DESCRIPTION OF GAMES

1. <u>Skill Lottery Machine</u>	
2. <u>Skill Lottery</u>	
3. <u>Buffalo Machine</u>	
Application for more than three games requires approval from the Upper Moreland Township Zoning Hearing Board	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

Applicant Signature: [Signature]

Date: 09/29/25

IV. FEE

\$150 for the first device, \$50 for each additional device, annually

Total # of Games:

Permit Fee: 250.00

V. TOWNSHIP REVIEW

Reviewed By:

Approved By:

116663
in magnet

Purtell, Paul

From: Almas Ahmad <almasahmad201@gmail.com>
Sent: Tuesday, September 30, 2025 2:51 PM
To: Purtell, Paul
Subject: Please with draw the application on the name Perry please

Sent from my iPhone

Township of Upper Moreland

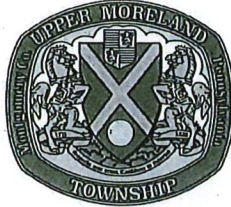
117 Park Avenue

WILLOW GROVE, MONTGOMERY COUNTY, PENNSYLVANIA 19090

Telephone (215) 659-3100 Ext. 1032/1033 / Fax (215) 659-8899

f/u
9/19/25

Paul E. Purtell
Director of Code Enforcement



FIRST NOTICE OF VIOLATION

September 9, 2025

Arnold & Doris Glaberson
1777 Melmar Rd.
Huntingdon Valley, Pa., 19006

RE: 425 W. Moreland Rd.

You are hereby given notice that the above-mentioned property is in violation of one or more of the Codes that have been formally adopted by the Upper Moreland Township Board of Commissioners.

The following condition(s) exists:

- **Amusement devices without permits.**

Please take whatever actions may be necessary to rectify the violation within 10 (ten) days from the date of this letter.

Thank you for your anticipated cooperation.

Sincerely,


Paul E. Purtell
Director of Code Enforcement

PEP/mdoc

Clerk
Janice Scanlon
MJA
All

Township of Upper Moreland

117 Park Avenue
WILLOW GROVE, MONTGOMERY COUNTY, PENNSYLVANIA 19090
Telephone (215) 659-3100 Ext. 1032/1033 / Fax (215) 659-8899

9/30/25

Paul E. Purtell
Director of Code Enforcement



2ND NOTICE

September 23, 2025

Arnold & Doris Glaberson
1777 Melmar Rd.
Huntingdon Valley, Pa., 19006

RE: 425 W. Moreland Road

Dear Sir or Madam:

You are hereby provided with a second notice that your property remains in violation of one or more of the Codes that have been formally adopted by the Upper Moreland Township Board of Commissioners.

The following condition(s) have not been addressed:

- **Amusement devices without permits.**

Please take whatever actions may be necessary *to rectify* the violations within **five (5) days** from the date of this letter. **Failure to respond to this second notice may result in a citation being filed against you in District Court. Fines of up to \$1000 per day per violation may be levied against you.**

Thank you for your anticipated cooperation.

Sincerely,

Paul E. Purtell
Director of Code Enforcement

PEP/mdoc

725 W. Moreland Rd.
9/19/25 #1



425 W. Moreland Rd
7/19/25 #2





Commissioners Report

For the period of: 2025-10-01 to 2025-10-31 23:59:59

Date Printed: 11/04/2025

PERMITS

Type	# of Apps. Created	# of Permits Issued	Estm. Cost of Issued	Revenue Collected
Holding Tank	0	0	\$0.00	\$0.00
Commercial Zoning Use	4	2	\$0.00	\$150.00
Plumbing	26	20	\$307,402.00	\$5,880.00
Trailer	4	4	\$0.00	\$1,440.00
Building	65	50	\$3,696,188.83	\$57,867.00
Well	0	0	\$0.00	\$0.00
Electrical	29	21	\$310,479.01	\$8,219.50
Mechanical	19	15	\$364,717.98	\$5,847.50
Public Works	13	12	\$59,786.00	\$501.00
Fire	11	22	\$46,630.00	\$4,104.00
Garage Sale	0	0	\$0.00	\$0.00
Bulk Pick Up	44	44	\$0.00	\$869.00
Grading	2	2	\$313,880.00	\$139.00
Sign	5	2	\$16,698.00	\$225.00
Miscellaneous	0	0	\$0.00	\$0.00
Totals:	222	194	\$5,115,781.82	\$85,242.00

CONTRACTORS

Commercial

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	0	0	\$0.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	7	2	\$675.00
Mechanical Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Electrical Contractor	2	1	\$225.00
General Contractor	8	6	\$1,050.00
Totals:	17	9	\$1,950.00

Residential

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	0	0	\$0.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Totals:	0	0	\$0.00

Home Improvement

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	0	0	\$0.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
Mechanical Contractor	1	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00



Upper Merion
Township
117 Park Avenue
Willow Grove, PA
19090

Commissioners Report

For the period of: 2025-10-01 to 2025-10-31 23:59:59

Date Printed: 11/04/2025

Electrical Contractor	5	0	\$0.00
General Contractor	11	0	\$75.00
Totals:	17	0	\$75.00

Uncategorized Subtype

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	0	0	\$0.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Totals:	0	0	\$0.00

PERMIT INSPECTIONS

Total Inspections: 111

LICENSING

Type	# of New Licenses	# of Renewals	Revenue Collected
Massage	0	0	\$0.00
Billboard	0	0	\$0.00
Sandwich Sign	0	0	\$0.00
Recreational Trailer	0	0	\$0.00
Home Occupancy Zoning Use	2	3	\$250.00
Amusement License	0	0	\$0.00
Totals:	2	3	\$250.00

LAND DEVELOPMENT

Type	# of Apps. Created	Revenue Collected
Conditional Use	0	\$0.00
Zoning Change	0	\$0.00
Land Development	1	\$0.00
Public Hearing	3	\$1,550.00
Subdivision	0	\$0.00
Totals:	4	\$1,550.00

CODE ENFORCEMENT

Type	# of Complaints
Work Without Permit	4
Exterior Maintenance	1
Trash and Debris	2
High Grass	2
Misc	2
Totals:	11

CASHIERING

Type	# of Transactions	Revenue Collected
Total Transactions	0	\$0.00
Totals:	0	\$0.00



Upper Merion
Township
117 Park Avenue
Willow Grove, PA
19090

Commissioners Report

For the period of: 2025-10-01 to 2025-10-31 23:59:59

Date Printed: 11/04/2025

OPEN RECORDS

Type	# of Requests	Revenue Collected
Public Record Request	0	\$0.00
Totals:	0	\$0.00

Total Revenue Collected: \$89,067.00



PERMITS

Type	# of Apps. Created	# of Permits Issued	Estm. Cost of Issued	Revenue Collected
Holding Tank	0	0	\$0.00	\$0.00
Commercial Zoning Use	8	2	\$0.00	\$150.00
Plumbing	14	12	\$155,798.00	\$1,264.00
Trailer	2	2	\$0.00	\$1,120.00
Building	47	49	\$1,538,266.15	\$26,317.50
Well	0	0	\$0.00	\$0.00
Electrical	14	21	\$137,060.00	\$3,669.50
Mechanical	11	13	\$204,086.15	\$2,128.50
Public Works	8	7	\$272,022.00	\$680.00
Fire	8	20	\$13,750.00	\$3,939.00
Garage Sale	3	3	\$0.00	\$30.00
Bulk Pick Up	30	29	\$0.00	\$612.00
Grading	2	2	\$2,600.00	\$64.00
Sign	4	6	\$52,500.00	\$915.00
Miscellaneous	0	0	\$0.00	\$0.00
Totals:	151	166	\$2,376,082.30	\$40,889.50

CONTRACTORS

Commercial

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	1	2	\$225.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	8	2	\$750.00
Mechanical Contractor	2	0	\$150.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Electrical Contractor	2	0	\$150.00
General Contractor	3	3	\$450.00
Totals:	16	7	\$1,725.00

Residential

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	0	0	\$0.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	1	0	\$75.00
Mechanical Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
General Contractor	2	0	\$150.00
Totals:	3	0	\$225.00

Home Improvement

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	0	0	\$0.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
Mechanical Contractor	1	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00



Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

Commissioners Report

For the period of: 2024-10-01 to 2024-10-31 23:59:59

Date Printed: 11/04/2025

Electrical Contractor	2	0	\$0.00
General Contractor	5	0	\$75.00
Totals:	8	0	\$75.00

Uncategorized Subtype

Type	# of New Contractors	# of Renewals	Revenue Collected
Sign Contractor	0	0	\$0.00
Fire Sprinkler Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Totals:	0	0	\$0.00

PERMIT INSPECTIONS

Total Inspections: 102

LICENSING

Type	# of New Licenses	# of Renewals	Revenue Collected
Massage	0	0	\$0.00
Billboard	0	0	\$0.00
Sandwich Sign	0	0	\$0.00
Recreational Trailer	0	0	\$0.00
Home Occupancy Zoning Use	0	13	\$650.00
Amusement License	0	0	\$0.00
Totals:	0	13	\$650.00

LAND DEVELOPMENT

Type	# of Apps. Created	Revenue Collected
Conditional Use	0	\$0.00
Zoning Change	0	\$0.00
Land Development	0	\$0.00
Public Hearing	3	\$1,900.00
Subdivision	0	\$0.00
Totals:	3	\$1,900.00

CODE ENFORCEMENT

Type	# of Complaints
Work Without Permit	0
Exterior Maintenance	3
Trash and Debris	2
High Grass	1
Misc	4
Totals:	10

CASHIERING

Type	# of Transactions	Revenue Collected
Total Transactions	0	\$0.00
Totals:	0	\$0.00



Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

Commissioners Report

For the period of: 2024-10-01 to 2024-10-31 23:59:59

Date Printed: 11/04/2025

OPEN RECORDS

Type	# of Requests	Revenue Collected
Public Record Request	0	\$0.00
Totals:	0	\$0.00

Total Revenue Collected: \$45,239.50

To: Public Works Committee

From: David Elsier, Director of Public Works

Date: October 2025

Re: **UMPW DEPARTMENTAL REPORT**



PUBLIC WORKS DIRECTOR'S NOTES

- Oversaw all day-to-day operations of the Public Works Department
- Repaired potholes throughout the Township.
- Reported street lights that are not working.
- Contacted Penn Dot about pothole concerns on all state roads within the Township.
- Reported traffic and street lights that needed attention.
- Responded to e-mails and phone calls from residents with questions or problems.
- Completed various reports and schedules to help with operations of the Public Works Department.
- Began Leaf collection on October 13. Currently on second pass
- Repaired a Pipe in the Pioneer Basin
- **Vehicle Maintenance** - Township mechanics maintained all Township vehicles and equipment.
- **Storm Water Maintenance** - Township staff continues to inspect and repair all storm water inlets.

SANITATION DIVISION

October 2025

During the month of October 2025, our Sanitation Division picked up 562 tons of compacted trash. For the same period in 2024 we collected 563 tons of compacted trash

Since the last report period we had 37 bulk pick-ups. For the same period in 2024 we collected 10 bulk items

We collected 162 tons of yard waste since the last report period. For the same period in 2024, we collected 163 tons of yard waste.

We collected 19 electronic items (E-cycling) since the last report period. For the same period in 2024, we collected 14 electronic items.



Public Works Department
October 2025

Summary of materials handled by Sanitation Division
(in tons)

Single Stream	175
Curbside Yard Waste	162
Total recycling tonnage	337

Trash tonnage	562		
Tipping fee cost avoidance	\$ 24,931	\$73.98	
Cost of Single Stream	\$ 6,539	\$37.37	
Percent of waste recycled	37%		

	Single Stream	Yard Waste	Trash	
2025	175	162	562	37%
2024	180	163	563	38%

	2024	2025
Bulk metal items	10	37
E-cycling items	14	19



PROJECT	WORK PERFORMED LAST PERIOD (October 20 th to November 24 th)	WORK TO BE PERFORMED THIS PERIOD (November 24 th to December 31 st)
GENERAL TOWNSHIP PROJECTS		
1. NPDES – MS4 Reporting	<ul style="list-style-type: none">• Work on final report for latest 5-year permit term to be submitted to DEP.• Submit annual report to DEP for MS4 permit.	<ul style="list-style-type: none">• Monitor project status and perform work as needed.• Routine DEP MS4 Inspection scheduled for December 17th.
2. Misc. Consulting Services	<ul style="list-style-type: none">• Coordination, site, and grading design for Township Building addition / renovation project. NPDES permit review received November 18th.• Coordination & design for Mill Creek Dam repairs.	<ul style="list-style-type: none">• Respond to requests and perform work as necessary.• Revise and resubmit NPDES permit for building renovation / addition project.
3. Woodlawn Park Redevelopment	<ul style="list-style-type: none">• Coordination w/ Township Staff and Simone Collins re: Woodlawn Park project.• NPDES revised submission made on November 17th.	<ul style="list-style-type: none">• Work on construction plans for Woodlawn Park w/ Simone Collins for late 2025 / early 2026 bid.
PRIVATE DEVELOPMENT PROJECTS		
1. Fairhill Commons	<ul style="list-style-type: none">• No work was performed during this period.	<ul style="list-style-type: none">• Project is in 18-month maintenance period which was set to expire in May 2025. Applicant is finishing up 12-month wall monitoring program. Review data / report once submitted.
2. Federal Realty – Phase 3 Apartments / Retail	<ul style="list-style-type: none">• No work was performed this period.	<ul style="list-style-type: none">• Monitor project status and perform work as needed.
3. Cloud 10 Carwash	<ul style="list-style-type: none">• Coordination re: project close out and final landscaping.	<ul style="list-style-type: none">• Work with Applicant on project closeout and return of escrow.
4. Executive Mews	<ul style="list-style-type: none">• No work completed this period.	<ul style="list-style-type: none">• Work with Applicant on conditions of approval.
5. 1130 Easton Road (Starbucks)	<ul style="list-style-type: none">• No work completed this period.	<ul style="list-style-type: none">• Work with Applicant on conditions of approval.

PROJECT	WORK PERFORMED LAST PERIOD (October 20 th to November 24 th)	WORK TO BE PERFORMED THIS PERIOD (November 24 th to December 31 st)
6. 2005 Pioneer Road	<ul style="list-style-type: none"> No work completed this period. 	<ul style="list-style-type: none"> Work with Applicant on conditions of approval.
7. 2425 Maryland Road	<ul style="list-style-type: none"> No work completed this period. 	<ul style="list-style-type: none"> Monitor project status and perform work as needed.
8. 2400 Pioneer Road	<ul style="list-style-type: none"> Project approved by BOC in November. 	<ul style="list-style-type: none"> Work with Applicant on conditions of approval and recording of the plans.



- ☐ 3850 Sierra Circle, Suite 100 | Center Valley, PA 18034 | P: 610.366.8064 | F: 610.366.0433
- ☐ 12 Terry Drive, Suite 205 | Newtown, PA 18940 | P: 215.369.3955 | F: 610.968.1829
- ☒ 65 E. Butler Avenue, Suite 100 | New Britain, PA 18901 | P: 215.345.4330 | F: 215.948.9943
- ☐ 184 W. Main Street, Suite 300 | Trappe, PA 19426 | P: 610.489.4949 | F: 610.489.8447
- ☐ One Penn Center at Suburban Station, 1617 JFK Blvd., Suite 425 | Philadelphia, PA 19103 | P: 215.687.4246 | F: 215.564.1780

MEMORANDUM

Date: November 5, 2025

From: Adrienne Blank, R.L.A.

Reference: Monthly Project Summary - Upper Moreland Township
G&A Project No. 999100401

The following is a summary of our work during the previous month and pending work that we anticipate in the coming months.

A. Landscape Architectural Plan Reviews

1. Willow Grove Shopping Center Redevelopment – Federal Realty
 - a. Phase 3 (Multi-Family) Land Development Landscape Review 2–5/30/2024.
 - b. **PENDING:** Future plan submissions and reviews.
2. 1130 Easton Road – Starbucks
 - a. Review of waivers requested 6/27/2024.
 - b. **PENDING:** Future plan submissions and reviews.
3. 2005 Pioneer Road
 - a. Preliminary Subdivision Review 2 – Review letter issued 9/11/2024.
 - b. **PENDING:** Future plan submissions and reviews.
4. 2425 Maryland Road (Willow Pointe II)
 - a. Land Development Landscape Review – Review letter issued 5/27/2025.
 - b. **PENDING:** Future plan submissions and reviews.

B. Landscape Architectural Field Reviews

1. 2300 Easton Road Upper Moreland
 - a. Landscape inspection to determine if punchlist items from 2019 inspection have been completed for remaining escrow release.

- b. All landscaping is acceptable with the exception of the rain garden. Original punchlist indicated the rain garden was mowed lawn. Plugs and seed mix are required per approved plans. Rain garden is still mowed lawn. Plugs and seed mix must be installed in order to release the remaining escrow.
- c. **Complete:** Corrections to the rain garden were made and the project is now complete.

C. Township Projects

1. UMT Police Building

- a. Revised land development plan submitted 4/17/2024.
- b. **PENDING:** Revise land development submission as reviewed.

2. Davisville and York Landscape Enhancements

- a. Conceptual Plans for Township feedback - 5/8/2024. Opinion of Probable Cost and Site rendering 6/5/2024.
- b. **PENDING:** Design revisions as requested.



**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY
PROJECT STATUS
November 18, 2025**

MORELAND AVENUE BRIDGE RECONSTRUCTION

- Full reconstruction of bridge along Moreland Avenue at Hatboro Borough border by County.
- Full road closure is required. Approximate 6 - 8 month closure.
- Project Awarded to Haines & Kibblehouse 2/20/2025
- County anticipates NTP in June/July 2025. Project completion is September 2027

ROUTE 611 BRIDGE OVER TURNPIKE RAMP

- PennDOT is soliciting for Designer for the project.

BLAIR MILL ROAD

- Project for widening along Blair Mill Road at Easton Road to lengthen existing right turn lane to new traffic signal at Gibraltar Road and adding sidewalk along the southern side to connect to existing sidewalk.
- DCED MTF Grant - \$175,000 Grant Awarded for construction.
- 2025 DCED MTF Grant Submission for Construction and Construction Inspection – Requesting \$677,170

BLAIR MILL ROAD (HORSHAM PROJECT) – PHASE 1

- Project for widening along Blair Mill Road at Commerce Avenue\Witmer Rd and at Easton Road. Project be led by Horsham Township. Michael Baker is the designer.
- James D. Morrissey is the contractor. Roadwork Ongoing.

BLAIR MILL ROAD (HORSHAM PROJECT) – PHASE 2

- Project for widening along Blair Mill Road to provide 5-lane section from Welsh Road to Easton Road. Project led by Horsham Township. Michael Baker is the designer.

MARYLAND ROAD BRIDGE

- DCED MTF Grant awarded for \$897,375.00 for construction and construction inspection. No required match.
- Bid Awarded to Bi State Construction Company for \$680,079.25.
- Construction complete. **Final punch list items completed.**
- **Coordination with Township for reimbursement**

POWER LINE TRAIL

- Installation of Trail along PECO power line from Blair Mill Road to Maryland Road.
- Project selected for TASA grant (\$2.4 million).
- **Design Started.**

2022 TRAFFIC SIGNAL TECHNOLOGIES AWARD

- Upgrades to 23 intersections along Route 611 and 263 to replace controller timers, install new radio communication, and connect to PennDOT's Traffic Management Center (TMC).

Bowman

- Grant Award - \$557,000. Township match \$0.
- In Construction. Controller replacements completed. Awaiting cellular modems from PennDOT

2022 GREEN LIGHT GO AWARD

- Upgrades to 16 intersections along Route 611 and 263 to replace loops with radar\video detection.
- Grant Request - \$513,360. Township match \$128,340.
- Awarded to Armour Electric lower Bidder for \$395,718.00

BONNET LANE PARK – PHASE 1 UTILITY RELOCATION

- Improvements to relocate existing overhead utilities. provide new road connection from Mill Road to Bonnet Lane, with turning lane on Mill Road. Closure of Bonnet Lane between St. Dunstons and Burnbridge, and installation of parking lot per Bonnet Lane Park master plan
- Grant Award \$250,000, for utility relocations.
- Coordination Meeting held 5/2 with utilities to finalize relocation work. PECO, Verizon, and Comcast verifying\updating estimates.
- **Utility work started. New Poles installed and PECO work complete. Verizon and Comcast relocations scheduled.**

GRANT SCHEDULE

- PennDOT Multimodal Transportation Fund – Opening in November 2025
- Green Light Go – Applications Open. Scoping Forms Due Jan 2, 2026. Final Applications due March 31, 2026

EAC Report to CDC November 2025

The EAC, and Parks and Rec are planning a spring tree giveaway for Upper Moreland residents. We have chosen Octoraro as the native plant nursery to purchase the trees from.

The Outdoor Environmental Education Center at the library is doing well. There was discussion of adding an area of vegetables for the community.

We discussed removing invasive vines and plants from Veterans Park in the spring as well as fall next year.

We hope to have our 2026 Earth Day Fair on April 25th.

Upper Moreland Historical Commission
Report to the CDC
November 24, 2025

1. The Commission met on Tuesday, November 11th on ZOOM, as this was a national holiday and the Township was closed. There was a quorum present. Approval of Minutes and Treasurer's Report.
2. Farmstead Report: Winter closing taking place. Discussed grants for roof and flashing. Events are expanding: next up is the Holiday Photo Shoot. In 2026 there is discussion of a FIFA watch party, Farmstead on Tap, and a Vendors' Fair. The UMHC would like to have a Film Festival at the Farmstead in May 2026, highlighting short films, as well as our fifth annual Historical Haunts in October. Alan Sentman stated that there are considerations for buildings to be added to the Farmstead as part of their Master Plan.
3. Reviewed the expansion of the Scavenger Hunt, using the Farmstead property, and the possibility of having ground-penetrating equipment to try and discover more about the property and what might be buried there. Rebecca will look into this.
4. Budget line-items for 2026 were reviewed.
5. The 2026 Revolutionary War house tour project has completed the pictures and now we need to decide on the presentation. Jackie Cherepinsky volunteered to do a preliminary video, as we had decided to have both a virtual and a reality tour option. We will seek the fabrication of small signs to indicate the houses on the walking tour.
6. The Mural Arts Project 2026 in the downtown will be discussed with the business owner. The School District has expressed a strong interest. The acquisition of paints and brushes was also discussed. This is a project for the high school art students, while the middle school students will be asked to create a painting of "what America means to me," which will be displayed in the Community.

Next meeting: December 2, 2025 in the Caucus Room of the Administration Building at 7:00 p.m. Interested residents are always welcome to attend.

Respectfully submitted,
Susan Worth-LaManna
President