

UPPER MORELAND TOWNSHIP

Regular Meeting

December 1, 2025 at 7:00 p.m.

AGENDA ITEMS ARE SUBJECT TO CHANGE

INSTRUCTIONS TO JOIN:

Go to Zoom.us. Click “Join a Meeting”

Webinar ID: 917 5771 7982

Password: 182130

Join by Phone: Dial 1-929-205-6099

Webinar ID: 917 5771 7982

Password: 182130

***Residents requiring special accommodations:*

*please call the Township during normal business hours at 215-659-3100 x1058 or x1057***

-
- I. **Call Meeting to Order**
 - II. **Moment of Silent Meditation/Pledge of Allegiance**
 - III. **Roll Call**
 - IV. **Presentations:**
 - Township Building Renovation Project Presentation by GKO

PUBLIC HEARING #1975

PUBLIC HEARING #1975 - To receive public comments regarding the Conditional Use Application for 601 Davisville Road submitted by Fred Beans of Doylestown, to reuse the existing building for an automotive repair and service facility with ancillary office and storage areas.

REGULAR MEETING

- V. **Public Comments – Non-Agenda Items Only**
- VI. **Treasurer’s Activity Report – November 2025**
- VII. **Approval of Meeting Minutes – November 10, 2025 (attachment)**
- VIII. **Committee Recommendations**
 - A. **Community Development Committee – November 24, 2025** – The Committee recommends the Board of Commissioners take action on the following:
 1. Code Enforcement
 2. Land Development/Subdivision Applications
 - a. **Motion to approve** Conditional Use Decision and Order for 601 Davisville Road submitted by Fred Beans of Doylestown to reuse the existing building for an automotive repair and service facility with ancillary office and storage areas.
 - b. **Motion to approve Resolution R-2025-22** – Granting Preliminary/Final Land Development Application to Upper Moreland Township to alter the existing Township Municipal Complex. (attachments)
 - c. **Motion to approve Resolution R-2025-23** – Granting the request for three (3) amusement devices at the property located at 425 W. Moreland Road (attachments)

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3. Other Items

- a. The December 15, 2025 Community Development Committee Meeting.

B. **Public Health & Safety Committee – November 24, 2025** – The Committee recommends the Board of Commissioners take action on the following:

1. The December 15, 2025 Public Health & Safety Committee meeting.

C. **Finance & Administrative Committee – November 24, 2025** – The Committee recommends the Board of Commissioners take action on the following:

1. **Annual 2026 Budget** – The Upper Moreland Township's 2026 Budget related items (click: 2026 Budget to view entire budget):

- a. **Motion to approve Ordinance No. 1768** – Authorizing the 2026 Tax Levy (attachment).
- b. **Motion to approve Resolution R-2025-24** – Establishing the Rate of 2026 Refuse Fee (attachment).
- c. **Motion to approve Ordinance No. 1769** – Adopting the 2026 Township Budget (attachment).
- d. **Motion to approve Resolution R-2025-25** – Adopting the 2026-2030 Capital Improvement Budget (attachment).

2. Appointments/Reappointments:

- a. The appointment of **Angelique Thomas** on the **Human Relations Commission** to fill a vacancy left by Sharia Wallace and serve the remaining three-year term to expire on December 31, 2027.

3. List of Bills Payable (attachment) – The Committee recommends the approval of:

General Funds Checks:

Beginning Check No.: 146015

Ending Check No.: 146280

General: \$ 1,445,468.79

Debt: \$ 1,683.07 (Check No. 146071, 146140)

Capital: \$ -----

Total: \$ 1,447,151.86

Voids: 146215, 146219

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Escrow Fund Checks:

Beginning Check No.: 9964

Ending Check No.: 9982

Total: \$ 12,177.01

Voids: 0

Liquid Fuel Fund Checks:

Beginning Check No.: 3224

Ending Check No.: 3229

Total: \$ 33,514.35

Voids: 0

4. Other Items

- a. **Motion to approve Resolution R-2025-26** – Establishing the rate of contribution to the Police Pension Fund (attachment).
- b. **Motion to approve Ordinance No. 1770** – Approving the 2026 Schedule of the Board of Commissioners' Meetings (attachment).
- c. **Motion to approve** the 2026 Engagement Services and Fees of the Township Solicitor, Kilkenny Law LLC (attachments).
- d. **Motion to approve** the 2026 Professional Services Fee Schedule of the Township Engineer, Gilmore and Associates, Inc. (attachments).

5. New Business

- a. **Motion to approve** Authorization to go out to bid for Township building renovations.
- b. The December 15, 2025 Finance and Administrative Committee meeting.

D. Parks & Recreation Committee – November 24, 2025 – The Committee recommends the Board of Commissioners consider the following:

1. The December 15, 2025 Parks and Recreation Committee meeting.

IX. Commissioner Comments:

A. Upcoming Township Meetings (based on Township calendar):

Date	Subject	Location	Time
12/11/2025	Zoning Hearing Board	Council Room	7 pm
12/15/2025	Community Development Public Health & Safety Committee Finance & Administrative Committee Parks and Recreation Committee	Council Room	7 pm
12/17/2025	Democratic Committee	Council Room	7 pm

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12/18/2025	Advisory Planning Agency	Council Room	5 pm
12/24/2025	Township Building Closed at Noon – Holiday – Christmas Day Observed		
12/25/2025	Township Building Closed – Holiday – Christmas Day Observed		
12/31/2025	Township Building Closed at Noon – Holiday – New Years Day Observed		

X. Adjournment

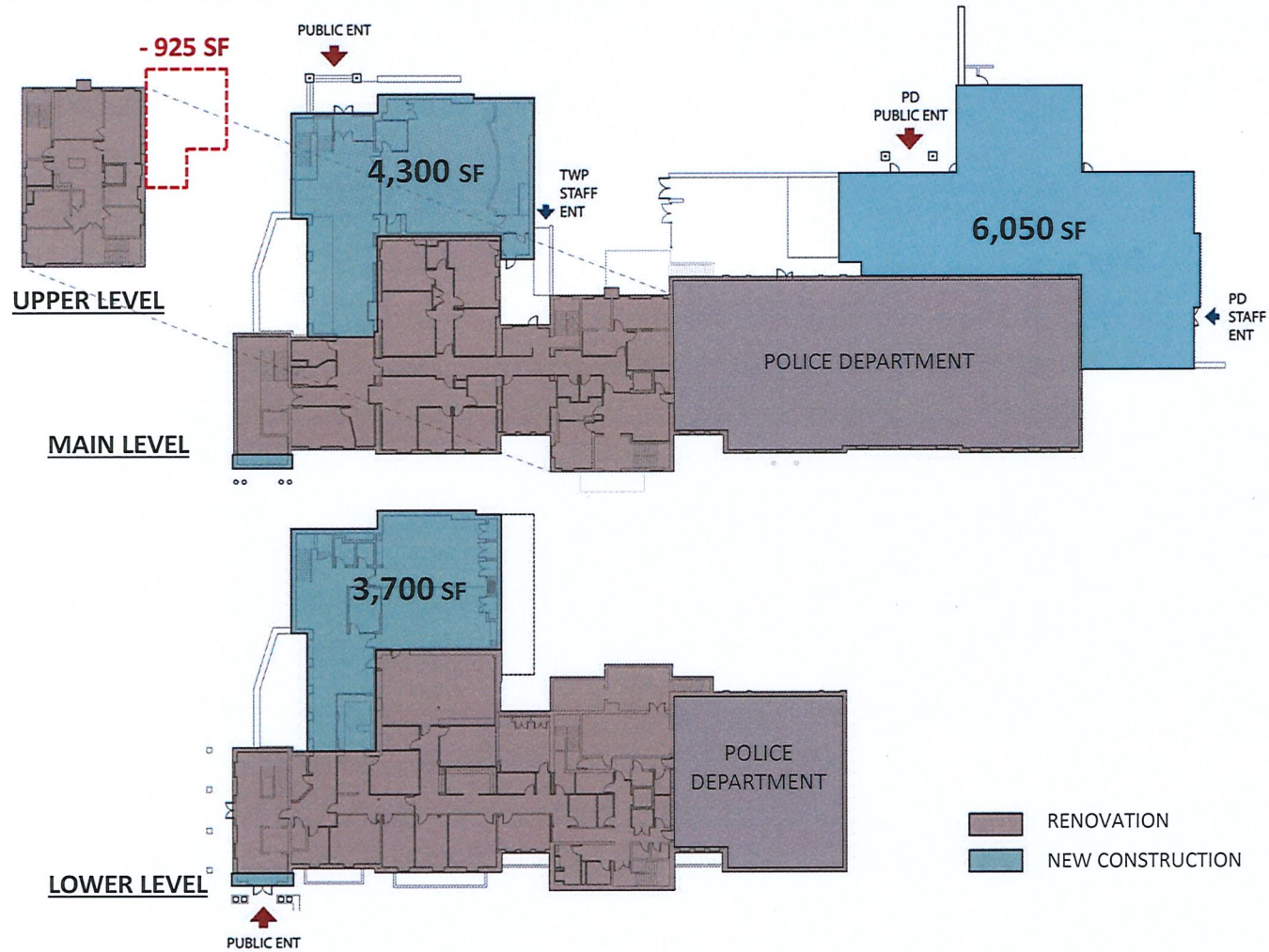
Upper Moreland Township

THE BOARD OF COMMISSIONERS

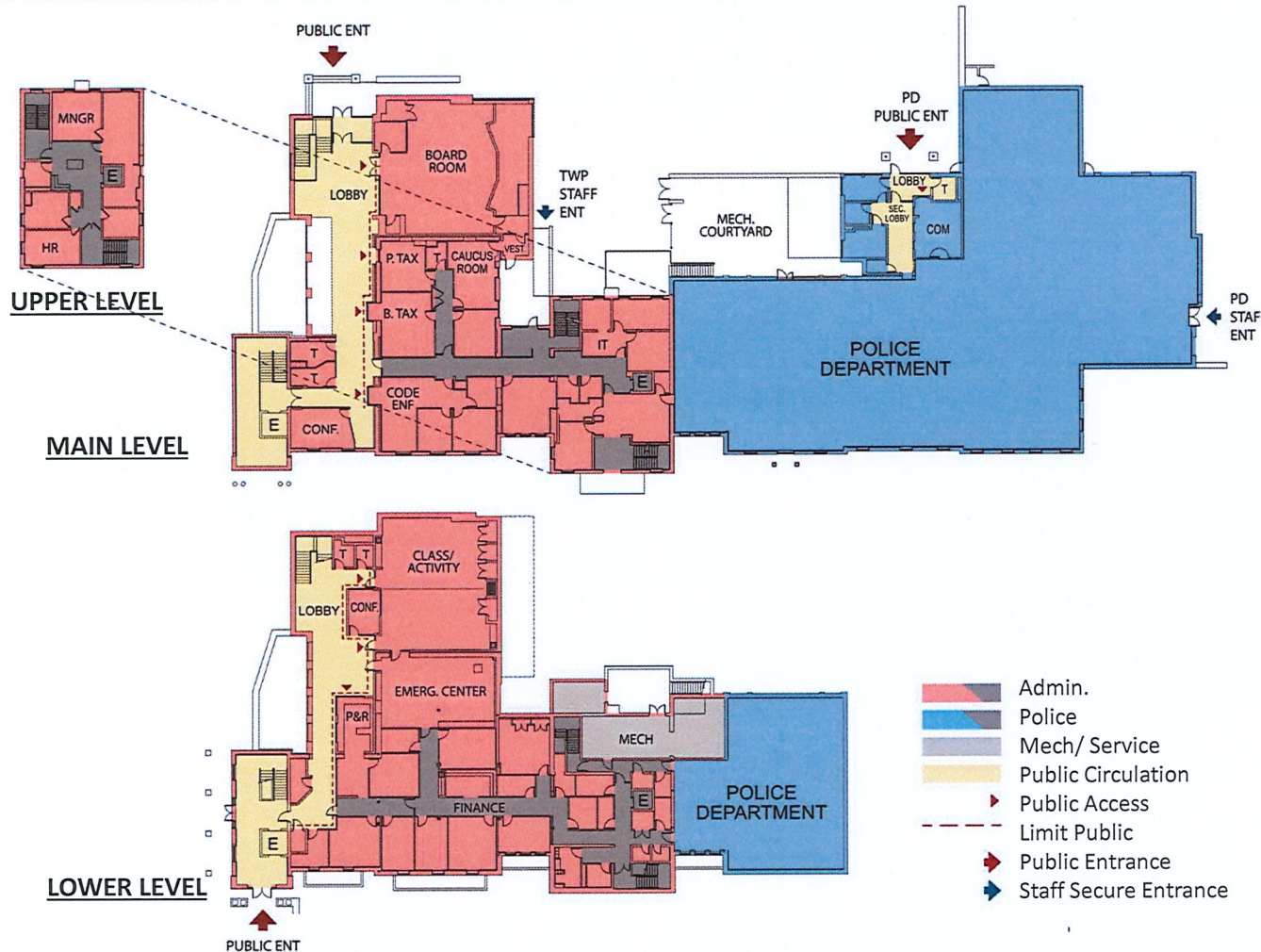
December 1st, 2025



UPPER MORELAND TOWNSHIP – PROPOSED PLAN



UPPER MORELAND TOWNSHIP – PROPOSED PLAN



Township Admin.

- Public Lobby on West side of Bldg.
 - New Entrances off Park & Center Avenues.
 - Utilize the exist. Stair Tower & Elevator.
 - 2-story Lobby w/ Natural light to lower level.

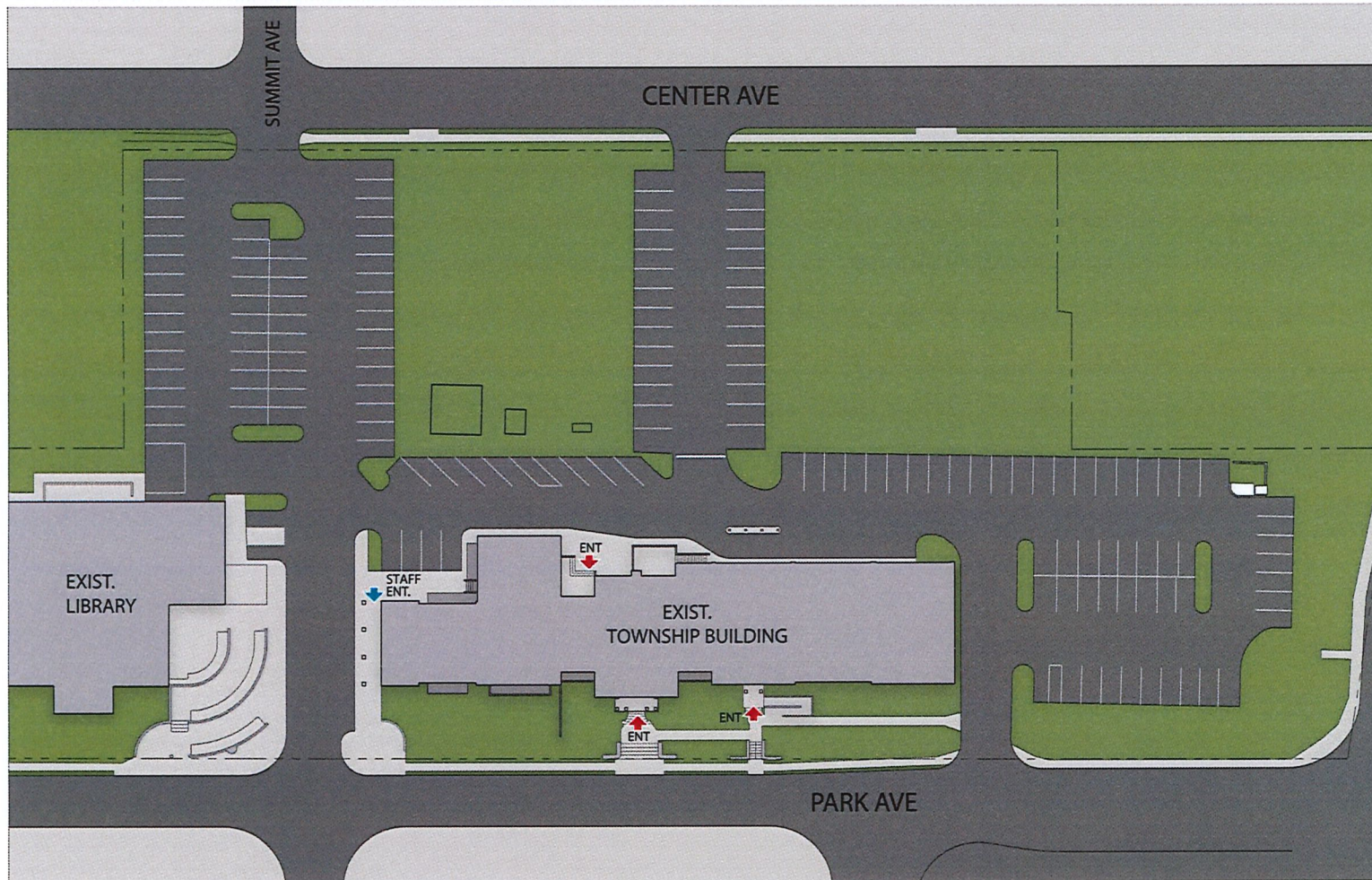
Police Department

- Entrance Moved to Center Avenue Side of the Building.
- Improved/ Expanded Spaces.

Considerations

- Maintains existing mechanical room and transformer location.
- Natural light to most Township Staff Spaces.

UPPER MORELAND TOWNSHIP – EXISTING SITE



153 Parking Spaces: (single lot with no separation)

Township:

Township Staff	22
Township Vehicles	4
Library Staff	<u>5</u>
Total	31

Police :

Command Admin.	3
Detectives	5
Patrol (@ shift change)	14
Community Police	5
Civilians:	3
Police Owned Vehicles	<u>27</u>
Total	57

Addl. Visitor Spaces: 65

UPPER MORELAND TOWNSHIP – PROPOSED SITE



- Secure Police Lot w/ direct access to Center & Park Avenues.
- Open Space in front of Library. (Future Park/ Playground)
- Eliminated second entrance off Center Ave to reduce Pass-Through Traffic.
- Parking for **143** cars
 - 81 Public
 - 8 Restricted
 - 54 Police (11 covered)

UPPER MORELAND TOWNSHIP EXTERIOR IMAGE

SKIDMORE
OWINGS
& MERRILL
ARCHITECTS



UPPER MORELAND TOWNSHIP EXTERIOR IMAGE



UPPER MORELAND TOWNSHIP EXTERIOR IMAGE

GKO
ARCHITECTS



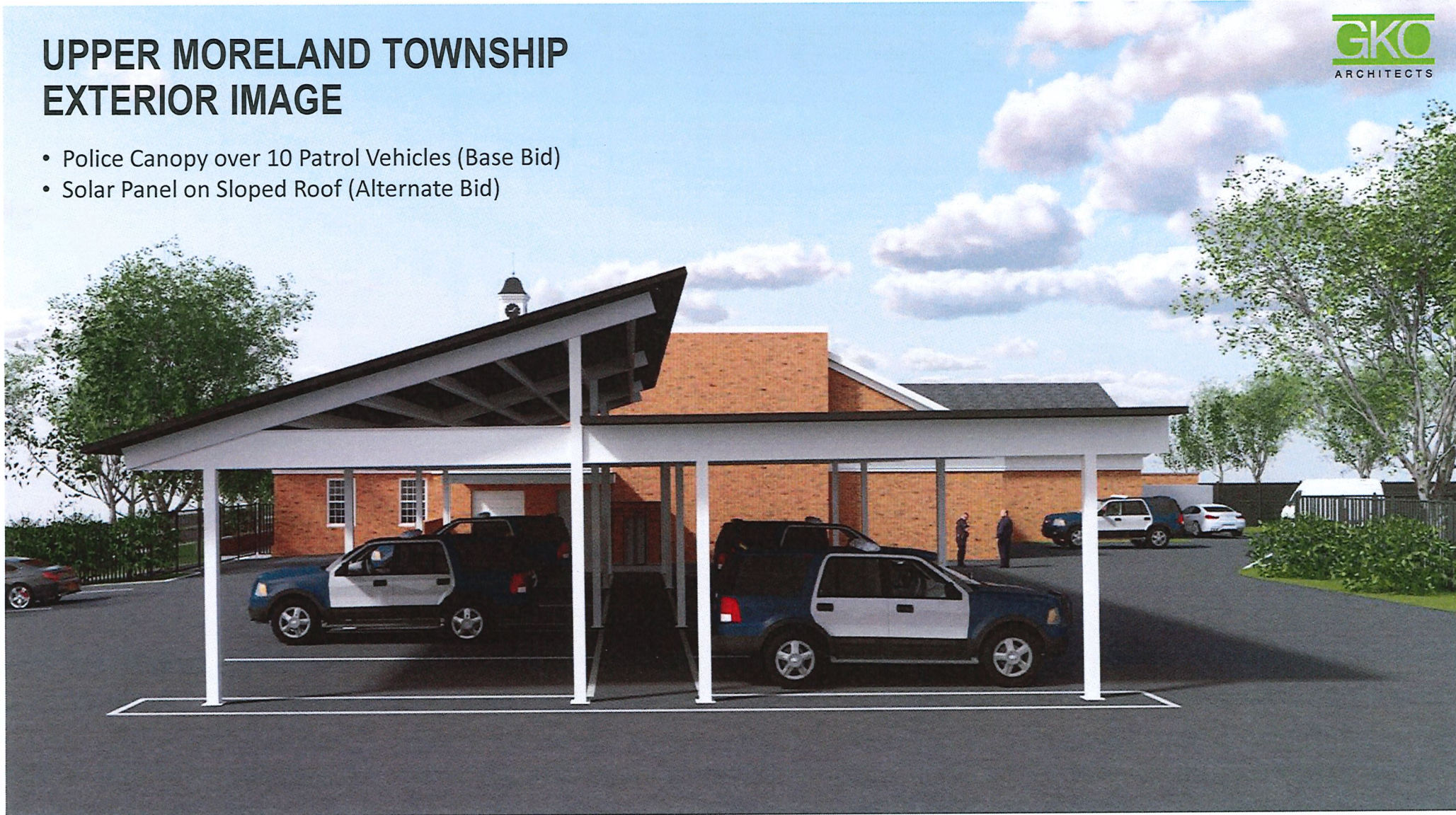
UPPER MORELAND TOWNSHIP EXTERIOR IMAGE

GKO
ARCHITECTS



UPPER MORELAND TOWNSHIP EXTERIOR IMAGE

- Police Canopy over 10 Patrol Vehicles (Base Bid)
- Solar Panel on Sloped Roof (Alternate Bid)



POSSIBLE ALTERNATES TO BE INCLUDED IN BID

- Solar Panel over Police Canopy
- New Public Entrance off the Park Avenue
- Decorative Fence Between Public Parking and Police Secure Parking.
- Bird Glass on Large Panes.
- Paving - Township can pave with their own staff - Want to see cost for GC to decide.

UPPER MORELAND TOWNSHIP EXTERIOR IMAGE – ALTERNATE BID

- New Public Entrance.



UPPER MORELAND TOWNSHIP EXTERIOR IMAGE – ALTERNATE BID

- Decorative Fence between Public Parking and Police Secure Parking



INTERIOR IMAGE – LOBBY



- Transaction counters to Property Tax, Business Tax, Code Enforcement and Parks & Rec (on Lower Level).
- Access Boardroom Off the Lobby

INTERIOR IMAGE – LOBBY



- Two-story public lobby with access to Township Departments, Board Room, Meeting Rooms and Activity Rooms.

INTERIOR IMAGE – BOARD ROOM



INTERIOR IMAGE – BOARD ROOM



UPPER MORELAND TOWNSHIP – 2024 vs 2025

		Existing	Previous 2024 Project	Current 2025 Project
ADMIN	UPPER	3,255	3,255	2,330 (-925)
	MAIN	7,545	15,500	11,820
	LOWER	8,610	11,180	12,060
	TOTAL	19,410sf	29,935sf	26,210sf
			10,525+	6,800+
POLICE	UPPER	0	4,505	0
	MAIN	7,615	10,307	13,660
	LOWER	2,570	5,770	2,850
	TOTAL	10,185sf	20,582sf	16,510sf
			10,397+	6,325+
TOTAL		29,595	50,517	42,720
			20,922+	13,125+

UPPER MORELAND TOWNSHIP – BUDGET



Row #	Item	Concept Budget Regrouped Option 3			DD Budget			60% CD Budget			COMMENTS
		Gross SF	Cost/SF	Total Cost	Gross SF	Cost/SF	Total Cost	Gross SF	Cost/SF	Total Cost	
1	Additions and Renovations	43,275	\$ 394.52	\$ 17,072,900	42,200	\$ 430.45	\$ 18,165,000	42,200	\$ 539.96	\$ 18,019,400	
2	New Additions Construction	14,455	\$ 540.00	\$ 7,805,700	13,600	\$ 552.21	\$ 7,510,000	13,600	\$ 539.86	\$ 7,342,500	
3	GC Additions	14,455	\$ 320.00	\$ 4,625,600	13,600	\$ 363.60	\$ 4,945,000	13,600	\$ 364.19	\$ 4,953	
4	EC Additions	14,455	\$ 110.00	\$ 1,590,050	13,600	\$ 86.76	\$ 1,180,000	13,600	\$ 73.75	\$ 1,003,000	
5	MC Additions	14,455	\$ 80.00	\$ 1,156,400	13,600	\$ 73.90	\$ 1,005,000	13,600	\$ 71.81	\$ 976,600	
6	PC Additions	14,455	\$ 30.00	\$ 433,650	13,600	\$ 27.94	\$ 380,000	13,600	\$ 30.14	\$ 409,900	
7	Existing Facility Renovations	28,820	\$ 321.55	\$ 9,267,200	28,600	\$ 372.55	\$ 10,655,000	28,600	\$ 373.32	\$ 10,676,900	\$325/SF for Heavy Reno and \$210/SF for Light Reno in Concept Budget DD Budget based on Hard Takeoffs and Unit Costs
8	GC Renovations	28,820	\$ 103.89	\$ 2,994,200	28,600	\$ 151.57	\$ 4,335,000	28,600	\$ 151.96	\$ 4,346,100	Includes New Elevator in Reno Space
9	EC Renovations	28,820	\$ 107.89	\$ 3,109,400	28,600	\$ 93.18	\$ 2,665,000	28,600	\$ 89.91	\$ 2,571,500	
10	MC Renovations	28,820	\$ 79.85	\$ 2,301,200	28,600	\$ 92.31	\$ 2,640,000	28,600	\$ 94.69	\$ 2,708,000	
11	PC Renovations	28,820	\$ 29.92	\$ 862,400	28,600	\$ 30.24	\$ 865,000	28,600	\$ 31.51	\$ 901,300	
12	Phasing Allowance for Temporary MV Transformer			N/A			N/A			N/A	
13	Elevator Install			Included Above			Included Above			Included Above	
14	Environmental Abatement of Existing Building			No Cost Included			\$ 150,000			\$ 150,000	Added Allowance for Environmental Abatement to DD Budget
15	Site Improvements			\$ 3,220,000			\$ 4,055,000			\$ 3,792,200	
16	GC Site Improvements			\$ 3,000,000			\$ 2,965,000			\$ 2,787,200	
17	EC Site Improvements			\$ 220,000			\$ 615,000			\$ 570,000	DD Budget includes 12 Parking Lot Light Poles and 28 Architectural Light Poles
18	Canopy in Police Secure Parking			No Cost Included			\$ 475,000			\$ 435,000	SOLAR PANEL (\$90000) INCLUDED
19	Subtotal			\$ 20,292,900			\$ 22,220,000			\$ 21,811,600	
20	Design/Estimating Contingency		~5.0%	\$ 1,015,000		~2.0%	\$ 444,000		~2.0%	\$ 436,000	Reduced based on Greater Level of Design Information
21	Escalation Factor Assume 5% Annual Inflation		9-Months = 3.73%	\$ 756,300		6-Months = 2.47%	\$ 548,700		6-Months = 2.47%	\$ 538,600	Assume 1st Quarter 2026 Bid
22	TOTAL ESTIMATED CONSTRUCTION COSTS			\$ 22,064,200			\$ 23,212,700			\$ 22,786,200	
23	Soft Costs & Contingency										
24	A/E Fee			\$ 1,289,800			\$ 1,352,900			\$ 1,329,400	Sliding Scale Percentage of Construction plus \$30k allowance for reimbursables
25	Civil Engineering and Land Development Approvals			\$ 200,000			\$ 150,000			\$ 150,000	Allowance for Gilmore's Fee and LD Requirements
26	Abatement Consultant			\$ 10,000			\$ 10,000			\$ 10,000	Allowance
27	Construction Management Fees			\$ 481,275			\$ 481,275			\$ 481,275	Lump Sum Fee Plus \$20k allowance for reimbursables
28	Geotechnical Investigation			\$ 30,000			\$ 30,000			\$ 30,000	Allowance
29	Site Survey and Utility GPR Investigations			\$ 25,000			\$ 25,000			\$ 25,000	Allowance
30	Construction Testing			\$ 40,000			\$ 40,000			\$ 40,000	Allowance
31	Testing, Adjusting, and Balancing			\$ 40,000			\$ 40,000			\$ 40,000	Allowance
32	Approvals, Permits, and Inspections - 1.0% Allowance			\$ 221,000			\$ 232,000			\$ 228,000	Allowance
33	Utility Fees - Water, Sewer, Gas, Power, Comms			\$ 100,000			\$ 100,000			\$ 100,000	Allowance
34	Furniture			\$ 350,000			\$ 350,000			\$ 350,000	Allowance for All New Furniture Throughout Verify Scope with Owner
35	Fitness Room Equipment			\$ 80,000			\$ 80,000			\$ 80,000	Allowance
36	Owner Furnished Appliances, TV's, WAP's, Cameras, and Technology			\$ 250,000			\$ 250,000			\$ 356,600	Allowance
37	Owner Furnished A/V systems (including A/V engineering Fee)									\$ 370,400	
38	Builder's Risk Insurance - 0.5%			\$ 110,000			\$ 116,000			\$ 114,000	Allowance
39	Legal Fees			\$ 25,000			\$ 25,000			\$ 25,000	Allowance
40	Emergency Responder Amplifier System			\$ 40,000			\$ 40,000			\$ 40,000	TBD if Required pending Survey at End of Construction
41	Office Space Rental			\$ 540,000			\$ 540,000			\$ 540,000	18 months at \$30k per month
42	Staff Relocation Costs			\$ 30,000			\$ 30,000			\$ 30,000	Allowance
43	Total Project Soft Costs			\$ 3,862,075			\$ 3,892,175			\$ 4,339,675	includes 18 mo. rental @ \$30k/mo.
44	Construction Contingency - 5%			\$ 1,103,000			\$ 1,161,000			\$ 1,140,000	
45	NO COST INCLUDED for Financing			\$ -			\$ -			\$ -	Not Included per UMT direction
46	TOTAL SOFT COSTS & CONTINGENCY			\$ 4,965,075			\$ 5,053,175			\$ 5,479,675	
47	TOTAL ESTIMATED PROJECT COSTS			\$ 27,029,275			\$ 28,265,875			\$ 28,265,875	

EST.CONSTRUCTION COST:

\$22,786,200

SOFT COST & 5% CONTINGENCY

\$5,479,675

EST. PROJECT COSTS:

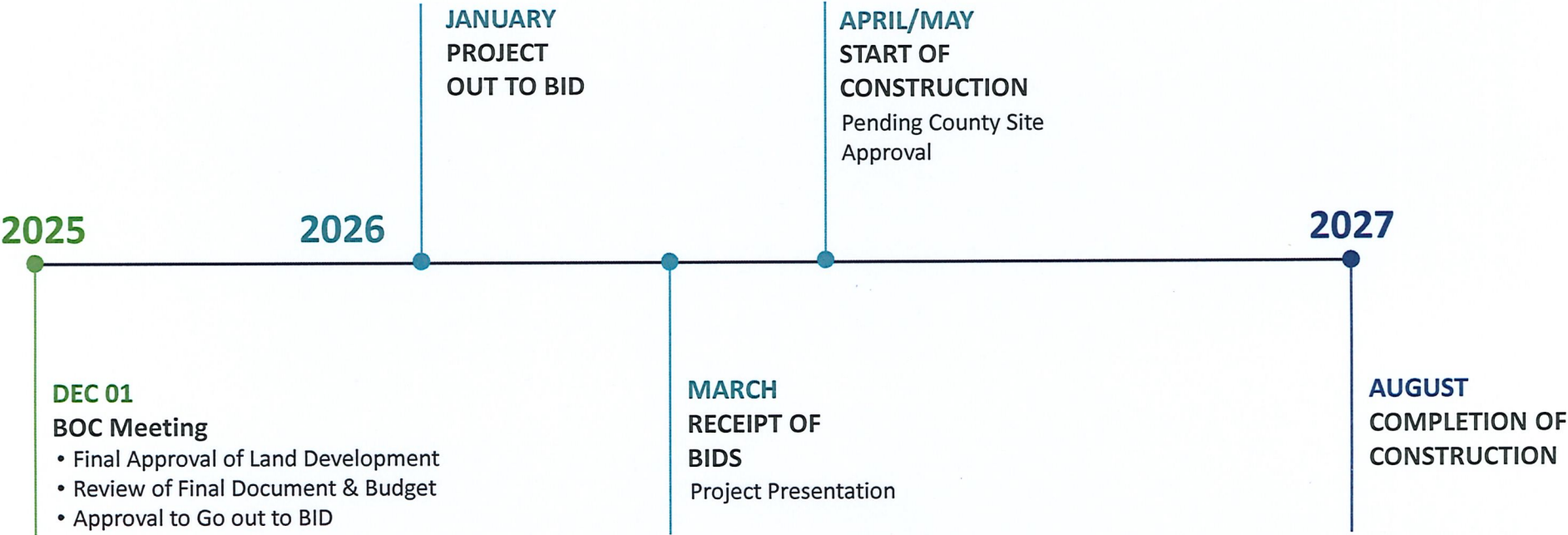
\$28,265,875

*All Alternate Items are
Included in the Budget

LAND DEVELOPMENT APPROVAL STATUS

- **Upper Moreland Advisory Planning Agency**
 - Presented on **Nov 20, 2025**
 - Favorable feedback received
- **Community Development Committee**
 - Presented on **Nov 24, 2025**
 - Favorable feedback received
- **Board of Commissioners (BOC)**
 - Approval anticipated on **Dec 1, 2025**
- **Montgomery County Conservation District (MCCD)**
 - Initial review comments received
 - **Review meeting scheduled for Dec 11, 2025**
 - Possible minor basin adjustments; **no major design changes expected**
- **Remaining Approvals**
 - **BOC approval** (Dec 1)
 - **MCCD approval** (following Dec 11 meeting)

UPPER MORELAND TOWNSHIP – NEXT STEPS



QUESTIONS & DISCUSSION



TOWNSHIP of UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215

Telephone (215) 659-3100 / Fax (215) 659-7363



TREASURER'S ACTIVITY REPORT

November, 2025

GENERAL FUND:	EXPENDITURES	RECEIPTS	BALANCE
General Fund	\$ 2,607,669.25	\$ 2,185,331.24	\$698,564.21
Treasurer's Fund			\$100.00
Highway Fund			\$75.00
Secretary Fund			\$150.00
Finance Department			\$500.00
			<hr/> \$699,389.21
OTHER FUNDS:			
Escrow Fund	\$ 12,177.01	\$ 14,603.00	\$512,506.72
Debt Fund	\$ 1,683.07	\$ 5,164.39	\$1,844,988.34
P.L.G.I.T. ACCOUNTS:			
U.M. Twp. General Fund	\$ 1,816,230.81	\$ 1,457,087.81	\$5,868,102.01
Capital Reserve For Equip.	\$ -	\$ 791.34	\$253,955.59
Fire Truck Fund	\$ -	\$ 1.28	\$412.30
Liquid Fuels Fund	\$ 33,514.35	\$ 2,213.93	\$401,398.94
American Rescue Plan Act	\$ -	\$ 5,012.44	\$1,608,574.54
2021 Bond	\$ -	\$ 4.34	\$1,311.62
2022 Bond	\$ -	\$ 1,792.30	\$539,390.75
2025 Bond	\$ 483,651.40	\$ 14,689.51	\$4,170,105.50

NOTE: This monthly Treasurer's Report is a summary of receipts and expenditures only.

A complete Financial Statement is available for public review in the Township's Finance Office.



ALEX LEVY
TREASURER, TAX COLLECTOR

November 2025 -- Treasurer's Report

**Upper Moreland Township
Board of Commissioners - Regular Meeting
November 10, 2025 Meeting Minutes**

Board of Commissioners Members: Commissioner and President, Clifton "Kip" McFatridge; Commissioner and Vice President Cheryl Lockard; Commissioners Jared Jacobs, Demond Mullen, Benjamin Olszewski, Nicholas O. Scull, Charles M. Whiting.

- I. **Call to Order:** The Regular Meeting of the Board of Commissioners of Upper Moreland Township was called to order by Commissioner and Board President Clifton "Kip" McFatridge.
- II. **Moment of Silent Meditation/Pledge of Allegiance**
- III. **Roll Call:** Commissioner and Board President McFatridge, Commissioner and Board Vice President Lockard, Commissioners Scull, Mullen, Olszewski, Jacobs and Whiting. Also present were: Patrick T. Stasio, Township Manager and Alex Baumler, Township Solicitor.
- IV. **Announcements:**
 - a. The Board of Commissioners met in an Executive Session prior to the start of tonight's meeting to discuss a labor issue.
- V. **Presentations:**
 - a. District Justice Thomas P. Murt to conduct Oath of Office and Swearing-in of Police Officer Michael Daly
 - District Justice Murt read the Oath of Office and swore in Officer Daly.
 - The Board of Commissioners congratulated and welcomed Officer Daly.
 - b. **Motion to grant** Lieutenant James Kelly an honorable discharge from the Upper Moreland Township Police Department effective September 26, 2025
 - Commissioner and Board President McFatridge congratulated and thanked Lieutenant Kelly personally and on behalf of the Board of Commissioners for his all his work and service to the Township.

PUBLIC HEARING

PUBLIC HEARING #1975 - To receive public comments regarding the Conditional Use Application for 601 Davisville Road submitted by Fred Beans of Doylestown, to reuse the existing building for an automotive repair and service facility with ancillary office and storage areas.

- Commissioner Lockard motioned, seconded by Commissioner Olszewski and the Board of Commissioners approved by a vote of 7-0 to open Public Hearing #1975.
- Public Hearing #1975 was heard and recorded.
- A copy of the applicants exhibits (A1-A7) will be included in the transcript.
- Commissioner Lockard motioned, seconded by Commissioner Olszewski and the Board of Commissioners voted 7-0 to continue Public Hearing #1975 on December 1, 2025.
- A copy of tonight's transcript will be emailed to the Board of Commissioners.

REGULAR MEETING

- VI. **Public Comments – Non-Agenda Items Only:**
 - Cindy Rosenberg, resident of Huntingdon Valley, thanked the board for the welcoming policy personally and on behalf of Indivisible Greater Jenkintown. Mrs. Rosenberg also thanked Chief Bendig. She believes the statement was presented in an inclusive way and is proud to be part of our Township.

**Upper Moreland Township
Board of Commissioners - Regular Meeting
November 10, 2025 Meeting Minutes**

- Commissioner McFatrige thanked Mrs. Rosenberg for all of her work.
- Caitlyn Santos, resident, echoed the thanks of Cindy Rosenberg and to Chief Bendig for the work on the welcoming policy.
- Jeremy Rosenberg also thanked the Board and Chief Bendig for their work on the welcoming policy.

VII. Treasurer's Activity Report – October 2025:

- Commissioner Lockard motioned, seconded by Commissioner Olszewski and the Board of Commissioners approved by a vote of 7-0.

VIII. Approval of Meeting Minutes – October 6, 2025 Regular Meeting:

- Commissioner Lockard motioned, seconded by Commissioner Mullen and the Board of Commissioners approved by a vote of 7-0.

IX. Committee Recommendations

A. Community Development Committee – October 20, 2025 – Commissioner Mullen reviewed the following:

1. Code Enforcement – Nothing to report.
2. Land Development/Subdivision Applications
 - a. **Motion to approve Resolution R-2025-21** – Granting approval for waiver requests of a Subdivision Application for a 3-lot subdivision at 2400 Pioneer Road
 - Commissioner Mullen motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.
3. Other Items
 - a. **Motion to approve** authorization to advertise bids for the Mill Creek Dam Repairs
 - Commissioner Mullen motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.

B. Public Health & Safety Committee – October 20, 2025

1. **Motion to approve** County Request for Bicycle Lanes along Terwood Road (York Road – Davisville Road)
 - Mr. Stasio explained that PennDOT informed the County which informed the Township that Terwood Road will be repaved at some point. PennDOT offered to add bicycle lanes on Terwood Road, extending from York Road to Davisville Road. There will be a bicycle lane in each direction, and the existing two-way vehicle travel and center turning lane will be retained. PennDOT will bear the full cost of the improvements. The Township will be responsible for an estimated annual maintenance cost of \$250.
 - Commissioner Whiting motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.

C. Finance & Administrative Committee – October 20, 2025 – The Committee recommends the Board of Commissioners take action on the following:

1. Appointments/Reappointments
 - a. The reappointment of **Charles Jones** on the **Parks and Recreation Advisory Council** to serve a new two-year term to expire on October 2, 2027.
 - Commissioner Olszewski motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.

**Upper Moreland Township
Board of Commissioners - Regular Meeting
November 10, 2025 Meeting Minutes**

2. List of Bills Payable:
 - Commissioner Olszewski motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a 7-0 vote.
3. Other Items – Nothing to report.
4. New Business
 - a. **Motion to approve** \$2,500 donation to the local food bank
 - Commissioner Lockard stated during the 2026 budget meetings, the Board discussed making a donation to a food bank and agreed that it is important to make a donation in both 2025 and 2026. The donations will be made to the Willow Gove Baptist Church.
 - Commissioner Scull stated that there is no food bank located in Upper Moreland; therefore, the donation is being made to the Willow Grove Baptist Church in Abington.
 - Commissioner Olszewski motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.

D. Parks & Recreation Committee – October 20, 2025:

1. **Motion to approve** and authorize the Director of Parks and Recreation to submit a Tree City USA application
 - Commissioner Scull motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.
2. **Motion to approve** 2026 Arbor Day Proclamation (attachment)
 - Commissioner Scull motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.

X. Commissioner Comments:

- Commissioner McFatridge congratulated everyone that won in the election.
- Commissioner McFatridge noted that the Township lost Lieutenant Kelly, whose input greatly contributed to improving the Township. He was a significant asset, and Commissioner McFatridge wished him well.

A. Upcoming Township Meetings (based on Township calendar):

Date	Subject	Location	Time
11/18/2025	Shade Tree Commission Parks and Recreation Advisory Council	Council Room	6 pm
11/19/2025	Democratic Committee	Council Room	7 pm
11/20/2025	Advisory Planning Agency	Council Room	5 pm
11/24/2025	Community Development Committee Public Health & Safety Committee Finance & Administrative Committee Parks and Recreation Committee	Council Room	7 pm
11/27/2025	Township Building Closed – Holiday – Thanksgiving Observance		
11/28/2025	Township Building Closed – Holiday – Thanksgiving Observance		
12/1/2025	Regular Meeting of the Board of Commissioners – Including the Adoption of the 2026 Budget	Council Room	7 pm
12/2/2025	Historical Commission	Council Room	7 pm

**Upper Moreland Township
Board of Commissioners - Regular Meeting
November 10, 2025 Meeting Minutes**

12/3/2025	Environmental Advisory Council	Caucus Room	7 pm
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XI. **Visitor Comments** – Nothing to report.

XII. **Adjournment:** There being no further business to discuss, the meeting was adjourned at 8:23 p.m.

Respectfully submitted by Tina Simone.

TOWNSHIP of UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215

Telephone (215) 659-3100 / Fax (215) 659-7363

COMMISSIONERS

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President

CHERYL LOCKARD

Vice President

JARED JACOBS

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CHARLES M. WHITING



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PATRICK T. STASIO

Township Manager

JOHN D. BATES

Assistant Township Manager/

Director of Finance

ALEX H. LEVY

Township Treasurer

SEAN P. KILKENNY, ESQ.

Township Solicitor

Agenda Summary

Community Development Committee Meeting – September 28, 2025

Public Hearing – November 10, 2025

Public Hearing (Continued from November 10, 2025) – December 1, 2025

Board of Commissioners Regular Meeting – December 1, 2025

Agenda Item:	Public Hearing No. 1975 - Conditional Use Application for 601 Davisville Road
Prepared By:	Paul Purtell, Director of Code Enforcement
Attachments:	Decision and Order
Background/Analysis:	The applicant, Fred Beans of Doylestown, is proposing to reuse the existing building for an automotive repair and service facility with ancillary office and storage areas.
Fiscal Impact/Source:	Permit fees, Business Privilege Tax and Earned Income Tax.
Alternatives:	N/A
Staff Recommendation:	The Committee recommends the Board of Commissioners approve the Decision and Order for the Conditional Use application for 601 Davisville Road at the Regular Meeting on December 1, 2025.

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**BEFORE THE
BOARD OF COMMISSIONERS
OF UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

IN RE: Fred Beans Auto Group

APPLICATION NO.: Conditional Use # 25-0001

PREMISES: 601 Davisville Road, Willow Grove, PA 19090

APPLICATION: Conditional Use: B-3 Automobile Service Use for auto repair facility with accessory office and part storage in the CC-Commercial Core Zoning District.

**MEMBERS PRESENT:
AT CU HEARING** Clifton McFatrige, President
Cheryl Lockard, Vice President
Jared Jacobs, Commissioner
Demond Mullen, Commissioner
Nicholas Scull, Commissioner
Benjamin Olszewski, Commissioner
Charles M. Whiting, Commissioner

DECISION AND ORDER

FINDINGS OF FACT

1. This conditional use application (the "Application") involves the tract identified as Montgomery County Tax Parcel No. 59-00-04579-00-6, located at 601 Davisville Road, Willow Grove, PA, 19090 (the "Property"), located in the CC-Commercial Core Zoning District and concerns the redevelopment of the Property.
2. The Property is a 6.18-acre parcel, which is improved with an approximately an 79,000 square foot, one story masonry industrial building, contains 144 off-street parking spaces and is accessible via Davisville Road from a single full movement driveway.
3. The record owner of the Property is Kachel Associates, LP. The Applicant is Fred Beans Auto Group, the equitable owner of the Property as evidenced by that certain agreement for sale between Kachel Associates, LP and Fred Beans Auto Group dated May 29, 2025 (the "Applicant").
4. The Property is currently occupied by two primary users; Kachel Associates operates an office furniture manufacturer and dealer known as Premier Environments, which occupies approximately 50,000 square feet and Y2K9 Dog Sports Club, Inc, a canine training facility, which occupies approximately 20,400

square feet. The other current occupants of the building are Gottscho, a package and printing company (3,000 square feet) and Spadone Machine, LLC, an equipment supplier for tire, rubber and plastic industries (1,100 square feet).

5. On September 19, 2025, the Applicant submitted an application for conditional use approval pursuant to Section 350-83 and the Table of Uses of the Upper Moreland Township Zoning Ordinance to permit a B-3 Automobile Service Use.
6. Notice of the public hearing on the instant Application before the Board of Commissioners which was held on November 10, 2025, was advertised in the local newspaper of record, the Intelligencer, on October 26, 2025, and November 2, 2025.
7. A public hearing was held on the instant application at the Upper Moreland Township Municipal Building on November 10, 2025 and December 1, 2025 (the "Hearings").
8. As detailed in the plans prepared by Woodrow Associates, Inc. and James Necker Architecture, the conditional use application proposes 17,465 square feet of the Property to be used as an automotive service center, 5,401 square feet to be used as office space, and 38,880 square feet to be used as an automobile parts warehouse. The Application also proposes expanding the existing parking lot, consisting of 144 parking spaces, to provide additional off-street parking as well as vehicle storage spaces. Finally, the application proposes exterior modifications to improve the existing loading facilities at the front of the building and the creation of vehicle entrances for the repair shop along the rear of the building. The remaining 20,225 square feet of the existing building will continue to be occupied by Y2K9 Dogs Sports Club. The Property will be served by public water and sewer.
9. Pursuant to the Zoning Map the Property is located in the CC- Commercial Core Zoning District. Section 350-83 of the Upper Moreland Township Zoning Ordinance sets forth the permitted uses in the CC-Commercial Core Zoning District, as set forth in Attachment 2 Table of Uses. The Table of uses permits a B-3 Automobile Service Use by conditional use.
10. An Automobile Service Use is defined in Section 350-19 of the Zoning Ordinance as A place of business serving minor auto-related needs, including but not limited to: motor vehicle sales, car rental, minor repairs, retail sales, such as auto parts, tire store, gas station, electrical vehicle charging station, and car wash. Such use shall include the general repair of automobiles, trucks, and the like; specialty repair of vehicles, body, and fender work; and spray painting in conjunction with repair.
 - (a) Tractor trailers and abandoned vehicles shall not be stored on the premises.
 - (b) All repair work shall be performed within a building.

- (c) All storage, including parts, tires, refuse, and similar articles, shall be stored within a building or fully enclosed area.
- (d) The sale of vehicles shall be prohibited.
- (e) Retail sales of parts and supplies shall be accessory to the principal use.
- (f) Parking spaces for repair vehicles may be reduced to eight feet by 16 feet and may be stacked up to three cars deep, without aisleways, provided no variances for parking have been granted for the use.

11. At the November 10, 2025, Hearing, the following Exhibits were introduced and admitted by the Township and the Applicant:

- T-1 Copy of the Application for Conditional Use dated September 19, 2025.
- T-2 Copy of the Proof of Publication of the Public Hearing Advertisement which ran in the Intelligencer newspaper on October 26, 2025, and November 2, 2025.
- T-3 Photographs supplying proof of posting of the Property.
- T-4 Gilmore & Associates Engineering Review Letter dated November 4, 2025.
- T-5 Bowman Consulting Group Traffic Engineering Review Letter dated November 4, 2025.
- T-6 Review Letter of the Montgomery County Planning Commission dated October 7, 2025.
- T-7 Advisory Planning Agency Minutes dated October 16, 2025.

- A-1 Deed for 601 Davisville Road.
- A-2 Agreement of Sale.
- A-3 Application & Addendum.
- A-4 Aerial Image.
- A-5 Existing Conditions/Survey Plan.
- A-6 Layout/Architectural Plan.
- A-7 Rendered Improvements Plan.

12. The Applicant was represented by Craig R. Lewis, Esq., of Kaplin Stewart.
13. Robert Jordan, P.E., Vice President-Product Manager from Woodrow & Associates, Inc, testified at the Hearing on the Applicant's behalf. (See N.T. 11/10/2025). Mr. Jordan was accepted by the Board of Commissioners as an expert in the field of civil engineering and land planning.
14. James Necker, of James Necker Architect, the Applicant's Architect, was sworn in and available to provide testimony at the Hearing on the Applicant's behalf. (See N.T. 11/10/25).
15. Anthony Geonetti, Director of Real Estate for Fred Beans Auto Group was also sworn in and available to provide testimony at the Hearing on the Applicant's behalf. (See N.T. 11/10/25).

16. There were no residents or persons holding an interest within the designated zone of interest relative to the Property that were granted party status to the application.
17. Resident Fred Rosenberg offered public comment concerning the towing of damaged automobiles to the Property and Resident Kaitlyn Santos offered public comment regarding Applicant's obligations to properly dispose of environmental contaminants commonly associated with automobile repair and service.

CONCLUSIONS OF LAW

1. Pursuant to the Zoning Map the Property is located in the CC- Commercial Core Zoning District. Section 350-83 of the Upper Moreland Township Zoning Ordinance sets forth the permitted uses in the CC-Commercial Core Zoning District, as set forth in Attachment 2 Table of Uses. The Table of uses permits a B-3 Automobile Service Use by conditional use.
2. An Automobile Service Use is defined in Section 350-19 of the Zoning Ordinance as A place of business serving minor auto-related needs, including but not limited to: motor vehicle sales, car rental, minor repairs, retail sales, such as auto parts, tire store, gas station, electrical vehicle charging station, and car wash. Such use shall include the general repair of automobiles, trucks, and the like; specialty repair of vehicles, body, and fender work; and spray painting in conjunction with repair.
 - (a) Tractor trailers and abandoned vehicles shall not be stored on the premises.
 - (b) All repair work shall be performed within a building.
 - (c) All storage, including parts, tires, refuse, and similar articles, shall be stored within a building or fully enclosed area.
 - (d) The sale of vehicles shall be prohibited.
 - (e) Retail sales of parts and supplies shall be accessory to the principal use.
 - (f) Parking spaces for repair vehicles may be reduced to eight feet by 16 feet and may be stacked up to three cars deep, without aisleways, provided no variances for parking have been granted for the use.
3. There are no additional delineated specific criteria contained in the Upper Moreland Township Zoning Ordinance for an Automobile Service Use.
4. The general criteria contained in Section 350-204 of the Zoning Ordinance require the Board of Commissioners to consider the following relative to the proposed conditional use:
 - (1) Consistency with the goals, objectives, and recommendations of the Township and County Comprehensive Plans.
 - (2) Nuisance/safety analysis. The use shall not generate excessive noise, noxious odors, air pollution or lighting, or result in pedestrian conflict or other safety hazards to people or property. Artificial light shall be directed away from adjacent property and

buildings. Artificial lighting shall be located to avoid shining into habitable room windows off-site. Outdoor uses and accessory facilities shall only be permitted where the noise generated by the use will have a minimal impact on nearby residential uses and where hazards are contained on the site to the maximum extent possible.

(3) Traffic impact. The existing road system must be able to accommodate the peak traffic generated by the proposed use in a safe and efficient manner. The Board of Commissioners may request a traffic impact study.

5. Applicant, as the equitable owner of the Property, as evidenced by that certain agreement for sale between Kachel Associates, LP and Fred Beans Auto Group dated May 29, 2025, possesses standing to apply for the conditional use. *See* 53 P.S. § 10107.

6. A conditional use applicant bears the burden of establishing that the proposed conditional use satisfies the criteria in the municipality's zoning ordinance. *Kretschman Farm, LLC v. Twp. of New Sewickly*, 131 A.3d 1044, 1053 (Pa. Commwlth. Ct. 2016).

7. "The fact that a use is permitted as a conditional use evidences a legislative decision that the particular type of use is consistent with the zoning plan and presumptively consistent with the health, safety and welfare of the community." *In re Cutler Group, Inc.*, 880 A.2d 39, 42 (Pa. Commw. Ct. 2005).

8. A township's governing body is the factfinder at conditional use proceedings, charged with the responsibility of determining credibility and the weight to assign the evidence. *Kretschmann Farm*, 131 A.3d at 1053.

9. If a conditional use applicant persuades a township's board of commissioners that the application complies with the zoning ordinance, a presumption arises that the proposed use is consistent with the general welfare of the community; the burden then shifts to objectors to rebut the presumption by proving that there is a high degree of probability the proposed use will adversely affect the welfare of the community in a way not normally expected from the type of use, and that those impacts would pose a substantial threat to the health and safety of the community. *See Kretschmann Farm*, 131 A.3d at 1053; *In re Cutler Group, Inc.*, 880 A.2d at 43; *Allegheny Tower Assocs., LLC v. City of Scranton Zoning Hearing Bd.*, 152 A.3d 1118, 1125 (Pa. Commw. Ct. 2017).

10. "Pointedly, a conditional use application must be granted unless objectors present sufficient evidence that the proposed use has a detrimental effect on the public health, safety and welfare." *Kretschmann Farm*, 131 A.3d at 1053.

11. The Applicant presented evidence, including uncontradicted expert testimony, demonstrating compliance with the requirements of Sections 350-83 and 350-204 of the Zoning Ordinance.

12. There was no objector who presented credible testimony or evidence to the Board of Commissioners that the proposed use would detrimentally affect the public health, safety and welfare of the Township.

13. Therefore, absent sufficient evidence presented by objectors that the proposed use has a detrimental effect on the public health, safety and welfare of the Township, the Board must grant the Applicant's requested conditional use.

**BEFORE THE
BOARD OF COMMISSIONERS
OF UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

IN RE: Fred Beans Auto Group

APPLICATION NO.: Conditional Use # 25-0001

PREMISES: 601 Davisville Road, Willow Grove, PA 19090

APPLICATION: Conditional Use: B-3 Automobile Service Use for auto repair facility with accessory office and part storage in the CC-Commercial Core Zoning District.

**MEMBERS PRESENT:
AT CU HEARING** Clifton McFatridge, President
Cheryl Lockard, Vice President
Jared Jacobs, Commissioner
Demond Mullen, Commissioner
Nicholas Scull, Commissioner
Benjamin Olszewski, Commissioner
Charles M. Whiting, Commissioner

ORDER

AND NOW, this 1st day of December, 2025, upon consideration of Applicant Fred Beans Auto Group's conditional use application # 24-0001 and evidence and testimony presented by the Applicant at the November 10, 2025 and December 1, 2025, Conditional Use Hearings, the Upper Moreland Township Board of Commissioners hereby grants Applicant conditional use approval to Tax Parcel No. 59-00-04579-00-6 located at 601 Davisville Road, Willow Grove, PA, 19090, the parcel comprising the Property, to use a portion of the existing building for a B-3 Automobile Service Use for auto repair facility with accessory office and part storage, as well as stormwater management and related improvements, subject to the following conditions:

1. The Use shall comply with the testimony and evidence presented by the Applicant at the November 10, 2025, and December 1, 2025, Conditional Use Hearings.
2. The Applicant shall not enter into a contractual agreement for the towing of damaged vehicles to be deposited on the Property for repair. If the Applicant desires to enter into a contract for towing services in the future, Applicant shall be obligated to first apply for and receive amended conditional use approval from the Board of Commissioners prior to entering into any such agreement.

3. All remaining consultant concerns shall be resolved to the satisfaction of the Township.

ATTEST:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Patrick Stasio, Secretary

Clifton McFatridge, President

Upper Moreland Township
APPLICATION FOR APPROVAL OF PLAN

RECEIVED
OCT 21 2025
UPPER MORELAND
CODE ENFORCEMENT

Submission date: 10/21/25 Application number _____

To the Board of Commissioners of Upper Moreland Township:

The undersigned hereby makes application for approval of a plan type as indicated below, under the provisions of the Code of Upper Moreland Township, Chapter 300, *Subdivision and Land Development*, and any supplements and amendments thereto.

Furthermore, the applicant hereby waives the requirement under Act 247, as amended, that the Subdivision and/or Land Development plan be acted upon within ninety (90) days from date of submission.

[Signature]
Signature of Applicant

[Signature]
Signature of Land Owner

Title of Plan Submitted: Upper Moreland Twp LD Plan

A. Plan Type:

☐ Minor Subdivision
☐ Preliminary Major Subdivision
☐ Final Major Subdivision
☐ Preliminary Major SD&LD

☒ Minor Land Development - Preliminary / Final
☐ Preliminary Major Land Development
☐ Final Major Land Development
☐ Final Major SD&LD

B. Plan Identification

Plan Dated: 8/29/25 Engineer: Gilmore & Assoc.

Plan Proposes: Brief narrative of the proposed activity. Commercial/Industrial/Institutional applications to include building square footage and specific uses; Residential applications to include number of lots and amount of dwelling unit types:

Renovations & additions to Upper Moreland Twp.
Municipal Complex

C. Property Identification:

Address/Location 117 Park Ave, WG, PA. 19090

(Continued on next page)

TOWNSHIP of UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215

Telephone (215) 659-3100 / Fax (215) 659-7363

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OFFICIALS

PATRICK T. STASIO

Township Manager

JOHN D. BATES

Assistant Township Manager/

Director of Finance

ALEX H. LEVY

Township Treasurer

SEAN P. KILKENNY, ESQ.

Township Solicitor

Agenda Summary

Community Development Committee Meeting – November 24, 2025

Board of Commissioners Regular Meeting – December 1, 2025

Agenda Item:	117 Park Avenue Township Land Development Application
Prepared By:	Paul Purtell, Director of Code Enforcement
Attachments:	Resolution R-2025-22
Background/Analysis:	Upper Moreland Township is proposing alterations to the existing municipal building and complex. Improvements will include interior alterations, building expansion to both the administration and police department, reconfiguration of the parking areas, new stormwater management facilities and other site improvements for safety and building access.
Fiscal Impact/Source:	N/A
Alternatives:	N/A
Staff Recommendation:	The Committee recommends the Board of Commissioners approve Resolution R-2025-22 at the December 1, 2025 Regular Meeting.

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TPN: 59-00-14053-00-9 Block # _____ Unit # _____

D. Applicant Identification:

Applicant: Pat Stasio - WMT Manager

Address: 117 Park Ave, WGS, PA. 19090

Phone: 267-607-1056 Email (required): pstasio@uppermoredel.org

Land Owner: Upper Moreland Twp

Address: —

Phone: — Email (required): —

Engineer: Jim Hersh - Gilmore & Assoc

Address: 401 Plymouth Rd, Ste 150, Plymouth Meeting, PA.

Phone: 267-337-7170 Email (required): jheresh@gilmore-^{N/19462}assoc.
com

Attorney: —

Address: —

Phone: — Email (required): —

Office Use Only

Fees received from applicant:

Application fee: —

Review Escrow: —

Total: —

Fees acknowledged and application accepted as complete:

[Signature]
Staff signature

10/21/25
Date



Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

Land Development

LD25-0037

Date Printed: 10/21/2025

Summary

Type: Land Development

Submittal Date: 10/21/2025

Description of Work:

Upper Moreland Township and Police Building Renovations

Applicant/Mail to:

Upper Moreland Township
117 Park Ave
Willow Grove, PA 19090

Property Information

Address: 117 Park Ave , (590014053018)

Tax ID: 590014053018

Owner: Upper Moreland Township

Phone:

Fee Details

Payment Information

Payment Type

Amount

AMOUNT PAID

\$0.00

BALANCE DUE

\$0.00

Additional Information

Decision Date:

Decision Description:

Hearing Date:

Hearing Time:

Public Hearing No:

Planning Commission 247 Submission Portal

[Municipal 247 Submission Portal Instructions](#)

Welcome Elda Maggeo Upper Moreland emaggeo@uppermoreland.org

Scott France, AICP
Executive Director[New Proposal](#)[Proposals In Progress](#)[Submitted Proposals](#)**Proposal Entry**[Proposal](#)[Plan](#)[Parcel](#)[Land Use](#)[Upload Documents](#)[Remarks](#)[Review / Payment](#)**Confirmation of Submission**

Montgomery County Planning Commission has received the proposal. Please record the following information for future reference.

General Information**Proposal Number:** 108001**Applicant:** Upper Moreland Township**Proposal Name:** Upper Moreland Township and Police Building Renovations[Home](#)

P.O. Box 311, Norristown, PA 19404-0311 610-278-3722

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GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

October 10, 2025

File No. 23-02039.01

Upper Moreland Township Board of Commissioners
117 Park Avenue
Willow Grove, PA 19090

Reference: Upper Moreland Township and Police Building Renovations
Land Development Waiver Requests

Dear Commissioners:

In consideration of the Upper Moreland Township and Police Building Renovations project, please see below a list of requested waivers from the Stormwater Management Ordinance (Chapter 287) and the Subdivision and Land Development Ordinance (Chapter 300):

1. 287-23.A(2)(b) – Requires that one hundred percent of existing impervious area, when present, be considered meadow in the model for existing conditions. The proposed project is designed to meet the NPDES requirement to model 20% of the existing impervious area as meadow.
2. 287-25.A – Requires peak rate reductions in accordance with Table 287-25.1. The site currently contains no conventional stormwater management best management practices (BMPs), but the proposed project is designed to meet the NPDES requirement to show no increase in peak rates from existing conditions. Peak rates will be reduced in all storm events, and by approximately 40% in the 1-year storm event. They will be reduced by a minimum of 10% through the 50-year storm event, and by approximately 7% in the 100-year storm event.
3. 300-15.B – Requires that Park Avenue have a minimum cartway width of 30 feet. The development does not propose improvements along Park Avenue and will not result in an increase in traffic to Park Avenue. Additionally, this waiver was granted for the Willow Grove Shopping Center Retail Building project, where additional widening was deemed unnecessary by the Commissioners.
4. 300-19.A(7) – Requires an 8-inch reveal on all curbing in accordance with the specifications set forth in Chapter 295 Article 1. The proposed project proposes a 6-inch reveal on curbing to aid in handicap and pedestrian accessibility throughout the site.
5. 300-43.D(1)(d) – A minimum of one shade tree shall be planted in each parking lot island. A shade tree cannot be planted in three of the islands located in the parking lot between the Township Building and Center Avenue due to the incorporation of sidewalks and accessible ramps for increased pedestrian connectivity and accessibility to the through the site. Shade trees are provided along the perimeter of the parking lot in this area to provide shade.
6. 300-45.A & 300-45.B – These sections require replacement trees be planted on-site to offset the removal of existing trees and Heritage Trees removed during construction. The landscape plan proposes 9 replacement trees where 22 are required by Ordinance for trees 8 inches to 23 inches in caliper. Available planting area on site is the primary constraint reducing the ability to comply with the Ordinance. The Township may consider planting trees in open space or park areas in other parts of the Township to make up the Ordinance deficiency on this site.
7. 300-50.B – Requires a preliminary plan for all subdivisions in the Township. We request that the application be considered by the Commissioners as joint Preliminary/Final.
8. 300-52.C(1) – Requires that all Land Development plans show detailed survey information for an area of 400 feet surrounding the project. Sufficient detail is shown on the plans for the proposed improvements and if additional off-site survey is required for utility tie ins, that information will be obtained as necessary.

As always, if you have any questions or require additional information, please do not hesitate to contact our office.

Sincerely,

James J. Hersh, P.E.
Vice President
Gilmore & Associates, Inc.

401 Plymouth Road | Suite 150 | Plymouth Meeting, PA 19462-1653 | Phone: 610-489-4949 | Fax: 610-489-8447

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION NO. R-2025-22

A RESOLUTION GRANTING PRELIMINARY/FINAL LAND DEVELOPMENT APPROVAL WITH CONDITIONS TO UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA FOR EXPANSION AND UPDATES TO THE MUNICIPAL COMPLEX ON THE PARCEL LOCATED AT 117 PARK AVENUE, WILLOW GROVE, UPPER MORELAND TOWNSHIP.

WHEREAS, Upper Moreland Township, Montgomery County, Pennsylvania (“Applicant” or “Township”) filed an application with Upper Moreland Township requesting approval with certain waivers (the “Land Development Application”) to expand and update the Township Municipal Complex property located at 117 Park Avenue, Willow Grove, PA (the “Project”); and

WHEREAS, the Applicant has submitted the following in support of the Land Development Application: “Land Development Plan for Upper Moreland Township-Renovations and Additions for Township Building and Police Building”, prepared by Gilmore & Associates, Inc., dated August 29, 2025, last revised October 10, 2025, consisting of Sheets 1 to 16 of 16 (the “Plans”). The Plans are attached hereto as **Exhibit “A”** and incorporated herein by reference; and

WHEREAS, the Applicant is the title holder of record to ten (10) parcels of land located at Center Avenue and Park Avenue in the Township which are collectively referred to as the Township Municipal Complex which consists of the Upper Moreland Township Library, Administration Building, Police Department, parking areas and open space (the “Municipal Complex” or “Property”); and

WHEREAS, the parcels of land comprising the Municipal Complex are further identified as Montgomery County, Pennsylvania Tax Parcel Numbers: 59-00-14047-00-6 (17 Park Avenue), 59-00-14050-00-3 (27 Park Avenue), 59-00-14053-00-9 (119 Park Avenue), 59-00-02773-00-3 (30 Center Avenue), 59-00-02776-00-9 (100 Center Avenue), 59-00-02779-00-6 (102 Center Avenue), 59-00-02782-00-3 (104 Center Avenue), 59-00-02785-00-9 (114 Center Avenue), 59-00-02788-00-6 (116 Center Avenue) and 59-00-02791-00-3 (118 Center Avenue); which were previously split zoned with the majority located in the R-4 Residential Zoning District and the remainder located in the INST-Institutional and TC-1 Town Center Zoning Districts; and

WHEREAS, the Upper Moreland Township Board of Commissioners on June 5, 2023, via Upper Moreland Township Ordinance No. 1742, adopted a zoning map change to re-zone all parcels of land comprising the Municipal Complex to the TC-1 Town Center Zoning District; and

WHEREAS, the Applicant proposes an expansion and updates to the Municipal Complex that would include an approximately 8,000 square foot addition to the Township administrative portion at the main and lower levels of the building and an approximately 6,000-square foot

addition to the police department at the main level. The proposed changes to the Municipal Complex would include a reconfiguration of public entrances, with accessible entrances on both the Cedar Avenue and Park Avenue sides of the building. Additional improvements include pedestrian connections to the municipal building from Center Avenue, accessible public entrances, and open space and trees around the municipal building and along the streets. The site will continue to be served by public water and sewer; and

WHEREAS, the Applicant has requested waivers from requirements set forth in Chapters 287 “Stormwater Management” and 300 “Subdivision and Land Development” of the Upper Moreland Township Code of Ordinances, more fully referenced in Paragraph 4 below; and

WHEREAS, the Township Engineer and Township Landscape Architect have submitted Applicant’s Preliminary/Final Land Development Plans and have requested certain waivers from Chapters 287 “Stormwater Management” and 300 “Subdivision and Land Development” of the Upper Moreland Township Code of Ordinances as set forth in the waiver request letter dated October 10, 2025; and

WHEREAS, The Township Traffic Engineer has reviewed Applicant’s Preliminary/Final Land Development Plans and has recommended their approval, subject to the conditions and comments set forth in the review letter dated November 13, 2025, attached hereto as **Exhibit “B”** and incorporated herein by reference; and

WHEREAS, The Montgomery County Planning Commission has reviewed Applicant’s Preliminary/Final Land Development Plans and has recommended their approval, subject to the comments set forth in the review letter dated November 7, 2025, attached hereto as **Exhibit “C”** and incorporated herein by reference; and

WHEREAS, The Township Advisory Planning Agency has reviewed Applicant’s Preliminary/Final Land Development Plans and has recommended their approval, as set forth in the minutes of the Agency dated November 20, 2025, attached hereto as **Exhibit “D”** and incorporated herein by reference; and

WHEREAS, based on Applicant’s presentation of the Project on November 24, 2025, the Upper Moreland Township Community Development Committee has recommended Conditional Preliminary/Final Approval of the Applicant’s Preliminary/Final Land Development Plans; and

WHEREAS, the Upper Moreland Township Board of Commissioners has determined that based on the testimony, and reviews of Township Consultants, Applicant has satisfactorily established that Conditional Preliminary/Final Land Development Approval will not be contrary to the public interest.

NOW, THEREFORE, BE IT RESOLVED, by the Upper Moreland Township Board of Commissioners that the Applicant’s Preliminary/Final Land Development Plans are hereby

granted Conditional Preliminary/Final Land Development Approval, subject to the satisfaction of the following conditions by the Applicant:

1. Except as modified herein, Applicant shall comply with all other applicable Township Ordinances, County, Commonwealth and Federal statutes, rules, and regulations, and obtain all applicable permits and approvals including but not limited to, obtaining the approval of the fire marshal, UMHJSA permit, Aqua of Pennsylvania permit, Montgomery County Conservation District permits, and PA DEP permits.

2. Applicant shall strictly comply with all applicable Americans with Disabilities Act accessibility standards as promulgated by the Department of Justice and the International Code Council, A117.1-2017, for the construction of accessible facilities, including, but not limited, to handicapped parking spaces on the Property.

3. Unless waived by the Board of Commissioners, the Applicant shall comply with all conditions and comments set forth in the Township's consultants review letters.

4. Further, the Board of Commissioners takes the following action as to the Applicant's request for waivers from the requirements of Chapter 287 "Stormwater Management" and Chapter 300 "Subdivision and Land Development" of the Upper Moreland Township Code of Ordinances:

A. §287-23.A(2)(b): From the requirement that one hundred percent of existing impervious area, when present, be considered meadow in the model for existing conditions. The proposed project is designed to meet the NPDES requirement to model 20% of the existing impervious area as meadow.

☐ Granted ☐ Denied

B. §287-25.A: From the requirement that peak rate reductions be calculated in accordance with Table 287-25.1. The site currently contains no conventional stormwater management best management practices, but the proposed project is designed to meet the NPDES requirement to show no increase in peak rates from existing conditions. Peak rates will be reduced in all storm events, and by approximately 40% in the 1-year storm event. The rates will also be reduced by a minimum of 10% through the 50-year storm event, and by approximately 7% in the 100-year storm event.

☐ Granted ☐ Denied

C. §300-15.B: From the requirement that Park Avenue have a minimum cartway width of 30 feet. The development does not propose improvements along Park Avenue and will not result in an increase in traffic to Park Avenue. This waiver would mirror the waiver granted to the Willow Grove Retail Building project

where additional widening of Park Avenue was deemed unnecessary by the Commissioners.

☐ Granted ☐ Denied

- D. §300-19.A(7): From the requirement for an 8-inch reveal on all curbing in accordance with the specifications set forth in Chapter 295, Article I. The proposed project proposes a 6-inch reveal on curbing to aid in handicap and pedestrian accessibility throughout the site.

☐ Granted ☐ Denied

- E. §300-43.D(1)(d): From the requirement that a minimum of one shade tree shall be planted in each parking island lot. A shade tree cannot be planted in three of the islands located in the parking lot between the Township building and Center Avenue due to the incorporation of sidewalks and accessible ramps for increased pedestrian connectivity and accessibility to the through site. Shade trees are provided along the perimeter of the parking lot in this area to provide shade.

☐ Granted ☐ Denied

- F. §300-45.A & B: From the requirements of these sections that replacement trees be planted onsite to offset the removal of existing trees and Heritage Trees removed during construction. The landscape plan proposes 9 replacement trees where 22 are required by the SALDO for trees 8 inches to 23 inches in caliper. Available planting area onsite is the primary constraint reducing the ability to comply with the SALDO. The Township may consider planting trees in open space or park areas in other parts of the Township to make the deficiency on this site.

☐ Granted ☐ Denied

- G. §300-50.B: From the requirement for a preliminary plan for all subdivisions in the Township. The Applicant requests that the application be considered by the Board of Commissioners as joint Preliminary/Final.

☐ Granted ☐ Denied

- H. §300-52.C(1): From the requirement that all land development plans show detailed survey information for an area of 400 feet surrounding the project. Sufficient detail is shown on the plans for the proposed improvements and if additional off-site survey is required for utility tie-ins that information will be obtained as necessary.

☐ Granted ☐ Denied

5. Unless construction has begun in accordance with the Plans, this Resolution will expire in two years from the date of this Resolution, unless extended in writing by the Township.

6. This Conditional Preliminary/Final Land Development Approval does not and shall not authorize the construction of improvements or buildings exceeding those shown on the Plans. Furthermore, this Conditional Preliminary/Final Land Development Approval shall be rescinded automatically upon the Applicant's or the Applicant's agent's failure to accept, in writing, all conditions herein imposed within ten (10) days of receipt of this Resolution, such acceptance to be evidenced by the Applicant's or the Applicant's agent's signature below.

7. By approving this Resolution, the Applicant is signifying acceptance of the conditions contained herein.

DULY PRESENTED AND ADOPTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, in a public meeting held this 1st day of December, 2025.

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS:**

ATTEST:

Patrick Stasio, Township Manager

By: _____
Clifton McFatridge, President

In the event that the executed Resolution is not delivered to the Township within ten (10) days of receipt, it shall be deemed that the Applicant does not accept these conditions, and approvals conditioned upon its acceptance are revoked, and the application is considered denied for the reasons set forth above.

Date: _____

ACCEPTED BY:

APPLICANT

UPPER MORELAND TOWNSHIP

Name:
Title:

EXHIBITS

EXHIBIT A

LAND DEVELOPMENT PLAN

FOR

UPPER MORELAND TOWNSHIP

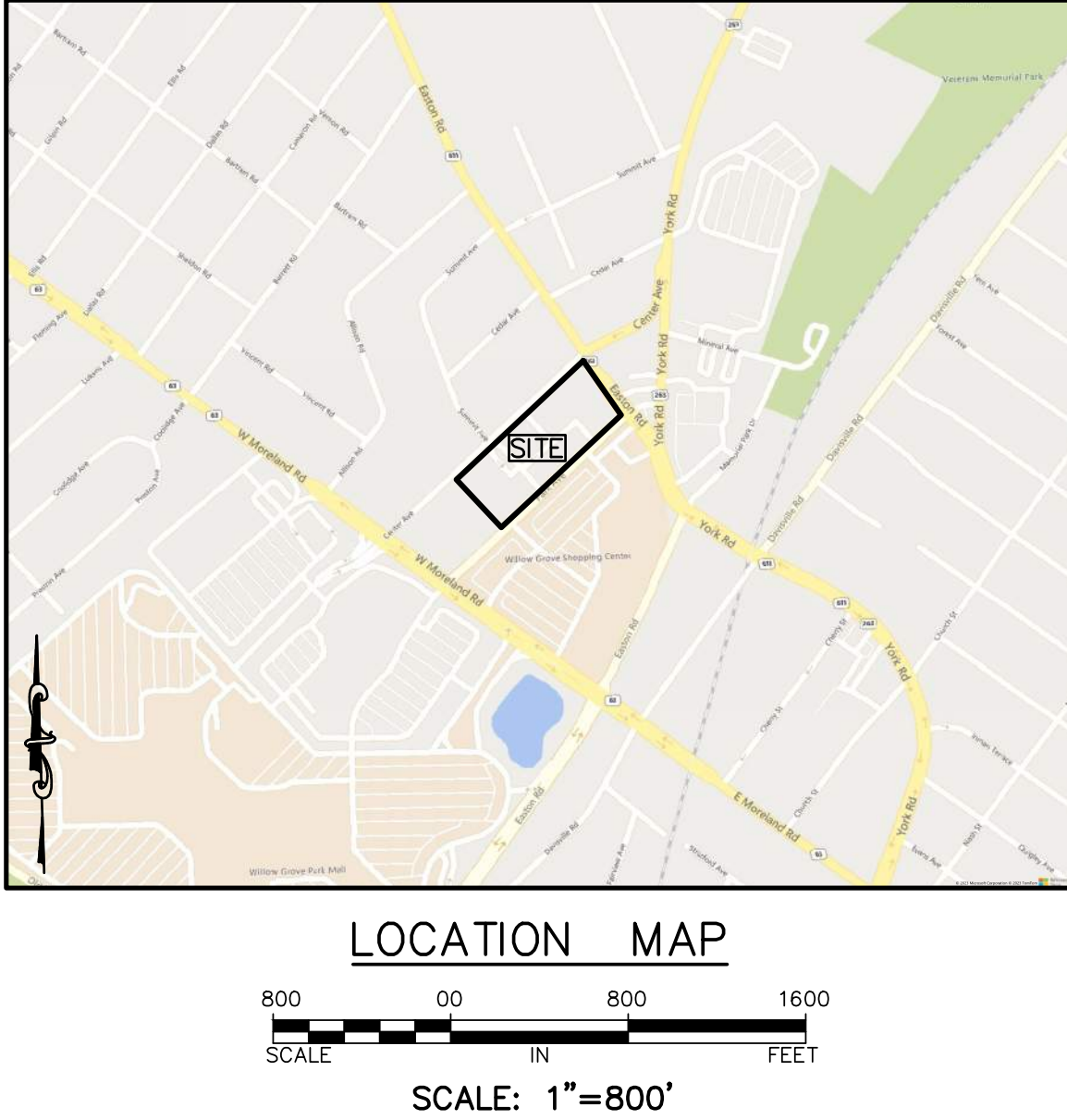
RENOVATIONS AND ADDITIONS FOR

TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

SHEET LIST TABLE

SHEET NO.	SHEET TITLE
COVER	COVER SHEET
1	EXISTING FEATURES AND DEMOLITION PLAN
2	RECORD PLAN
3	EROSION AND SEDIMENT CONTROL PLAN
4	POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN
5	GRADING PLAN
6	UTILITY PLAN
7	LANDSCAPE PLAN
8	LIGHTING PLAN
9	EROSION AND SEDIMENT CONTROL DETAILS AND NOTES 1
10	EROSION AND SEDIMENT CONTROL DETAILS AND NOTES 2
11	POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS
12	POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS AND NOTES
13	CONSTRUCTION DETAILS AND NOTES 1
14	CONSTRUCTION DETAILS AND NOTES 2
15	LIGHTING DETAILS AND NOTES



OWNER/APPLICANT:

UPPER MORELAND TOWNSHIP
117 PARK AVENUE
WILLOW GROVE, PA 19090
(215) 659-3100

PROJECT LOCATION:

117 PARK AVENUE
WILLOW GROVE, PA 19090
UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY

TAX PARCEL:

59-00-14053-00-9

G:\MUNICIPAL\2023\2302039-01-1WT New Police Station Building CAD\Production Drawings\2302039-DEMO Plotted By: batuder, on Fri Oct 10, 2025 at 3:00pm

PENNSYLVANIA ONE CALL SYSTEM, INC.

925 Inth Run Road
West Mifflin, Pennsylvania
15122 - 1076

811

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH

SERIAL NO. 20230661537

LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS. THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES, INC.

ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50.

GILMORE & ASSOCIATES, INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

GENERAL SURVEY NOTES:

- PROPERTY AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF UPPER MORELAND, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA.
- THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN MARCH, 2023, AND THE REFERENCED INFORMATION LISTED HEREON. IT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- SUBJECT TO COVENANTS, RESTRICTIONS AND/OR EASEMENTS EITHER WRITTEN OR IMPLIED.
- VERTICAL DATUM IS NAVD88 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- HORIZONTAL DATUM IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD 83) ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- A CLOCKWISE ROTATION OF 21°19'00" IS REQUIRED TO CONVERT FROM THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH (PCPS) TO THE REFERENCED DEED BEARING SYSTEM.

REFERENCES:

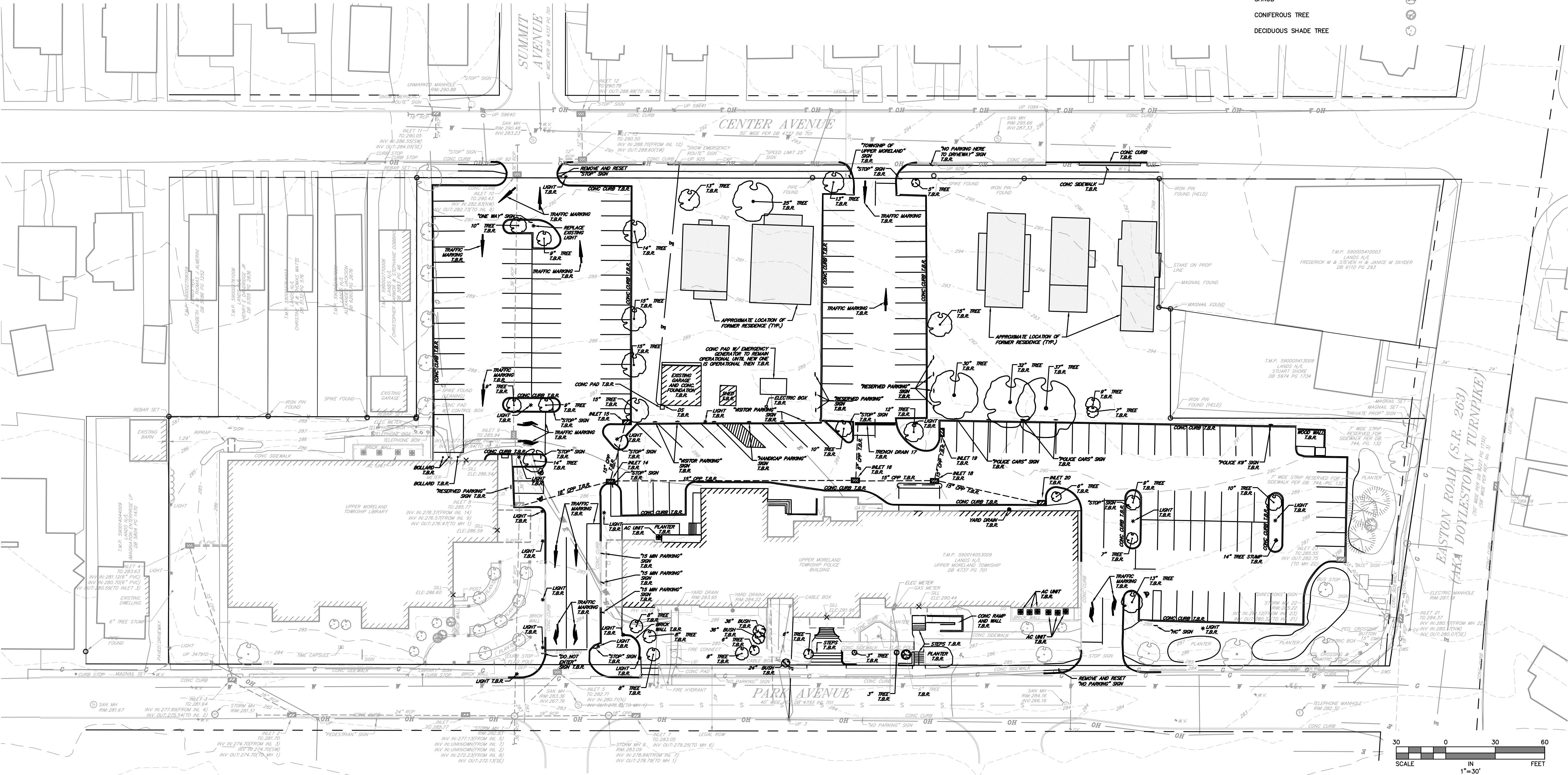
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- PLAN ENTITLED "COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF HIGHWAYS, DRAWINGS FOR CONSTRUCTION, APPROPRIATION AND CONDEMNATION OF RIGHT-OF-WAY, ROUTE NO. 151, SECTION 13 IN MONTGOMERY & BUCKS COUNTY", DATED OCTOBER 31, 1956, PREPARED BY BERGER ASSOCIATES, INC.
- DEED BOOKS AS NOTED.

ABBREVIATIONS

BC	BOTTOM OF CURB	MIN	MINIMUM
BW	BOTTOM OF WALL	MISC	MISCELLANEOUS
C.O.	CLEAN OUT	N/A	NOT APPLICABLE
CONC	CONCRETE	NO./#	NUMBER
CPP	CORRUGATED PLASTIC PIPE	PG	PAGE
DB	DEED BOOK	PVC	POLYVINYL CHLORIDE
DEP	DEPRESSED	R	RADIUS OR RISER
ø/DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DWS	DETECTABLE WARNING SURFACE	SAN	SANITARY
EA	EACH	SF	SQUARE FOOT OR SQUARE FEET
EL/ELE	ELEVATION	STMH	STORM MANHOLE
ELEC	ELECTRIC	TBD	TO BE DETERMINED
EX/EXIST	EXISTING	T.B.R.	TO BE REMOVED
FF/FFE	FINISHED FLOOR ELEVATION	TC	TOP OF CURB
FT	FOOT OR FEET	TEL	TELEPHONE
HDPE	HIGH DENSITY POLYETHYLENE	TG	TOP OF GRATE ELEVATION
INL	INLET	T.M.P.	TAX MAP PARCEL
INV	INVERT ELEVATION	TW	TOP OF WALL
LF	LINEAR FOOT OR LINEAR FEET	TYP	TYPICAL
MAX	MAXIMUM	W	WATER OR WDE

LEGEND

	EXISTING
CURB	---
EDGE OF PAVE	---
LEGAL RIGHT-OF-WAY	---
PROPERTY LINE	---
EASEMENT	---
MAJOR CONTOURS	-210-
MINOR CONTOURS	-212-
SPOT ELEVATION	x 25.0
FENCE LINE	x x x x
SANITARY SEWER LINE	S
STORM LINE	OH
OVERHEAD ELECTRIC LINE	EH
UNDERGROUND ELECTRIC LINE	E
WATER LINE	W
GAS LINE	G
STORM MANHOLE	⊙
SANITARY MANHOLE	⊙
ELECTRIC MANHOLE	⊙
WATER MANHOLE	⊙
GAS VALVE	⊙
WATER VALVE	⊙
ELECTRIC METER	⊙
GAS METER	⊙
WATER METER	⊙
SIGN	⊙
UTILITY POLE	⊙
GUY WIRE	⊙
FIRE HYDRANT	⊙
IRON PIN FOUND	⊙
CONCRETE MONUMENT FOUND	⊙
LIGHT FIXTURE	⊙
SHRUB	⊙
CONIFEROUS TREE	⊙
DECIDUOUS SHADE TREE	⊙



LAND DEVELOPMENT PLAN

RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

EXISTING FEATURES AND DEMOLITION PLAN

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT No.: 23-02039

OWNERS INFO:
UPPER MORELAND TOWNSHIP
117 PARK AVENUE
MILLOW GROVE PA 19090
(215) 659-3100

MUNICIPAL FILE No.: N/A

TAX MAP PARCEL No.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC. TOTAL LOTS: 1

DATE: 8/29/2025 SCALE: 1"=30'

DRAWN BY: BMS CHECKED BY: JHJ

SHEET NO.: 1 OF 15

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

401 FLYCATCHER ROAD, SUITE 100, FLYCATCHER, PA 19025 • (610) 465-0400 • www.gilmore-associates.com

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10/10/2025 PRELIM/FINAL LD SUBMISSION

G:\MUNICIPAL\2023\2302039.01-LWT-New Police Station Building\CAD\Production Drawings\2302039_FCD.dwg Layout: RCD Plotted By: bituder, on Fri Oct 10, 2025 at 3:01pm

OWNER CERTIFICATION OF ACKNOWLEDGEMENT:

COMMONWEALTH OF PENNSYLVANIA
SS.
COUNTY OF MONTGOMERY:

ON THE ____ DAY OF ____, 20____, BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN MONTGOMERY COUNTY, PERSONALLY APPEARED CLIFTON MCFATRIDGE, WHO ACKNOWLEDGED HIMSELF TO BE THE PRESIDENT OF THE UPPER MORELAND TOWNSHIP BOARD OF COMMISSIONERS, AND THAT AS SUCH, BEING AUTHORIZED TO DO SO, HE EXECUTED THE FOREGOING PLAN BY SIGNING THAT THE SAID ENTITY IS THE REGISTERED OWNER OF THE DESIGNATED LAND, AND ALL NECESSARY APPROVALS OF THE PLAN HAVE BEEN OBTAINED AND ARE ENDORSED THEREON; THAT SAID ENTITY DESIRES THAT THE FOREGOING PLAN BE RECORDED ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR AFORESAID.

(SIGNATURE OF OFFICER) _____ NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

(TITLE)
(CORPORATE SEAL)

RECORDED IN THE OFFICE OF RECORDER OF DEEDS OF MONTGOMERY COUNTY, NORRISTOWN, PENNSYLVANIA IN PLAN BOOK ____ PAGE ____ ON THE ____ DAY OF ____, 20____.

APPROVAL OF THE TOWNSHIP BOARD OF COMMISSIONERS:

APPROVED BY THE BOARD OF COMMISSIONERS OF UPPER MORELAND TOWNSHIP THIS ____ DAY OF ____, 20____.

PRESIDENT
ATTEST: _____

TOWNSHIP SECRETARY _____ TOWNSHIP ENGINEER _____

PROFESSIONAL ENGINEER'S CERTIFICATION:

I, BRIAN M. STUDER, P.E., A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, ENGINEER NO. PED092880, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE INFORMATION CONTAINED IN THE ACCOMPANYING PLANS, SPECIFICATIONS AND REPORTS, HAS BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH THE ZONING AND SUBDIVISION AND LAND DEVELOPMENT ORDINANCES, AS AMENDED; ALL SUCH SUBDIVISION AND LAND DEVELOPMENT WAIVERS AND ZONING VARIANCES GRANTED, AS LISTED ON THE RECORD PLAN REQUIREMENTS; AND BUILDING, WATER, SEWER, AND ALL OTHER APPLICABLE ORDINANCES AND REGULATIONS OF UPPER MORELAND TOWNSHIP, AS LAST AMENDED.

(SIGNATURE OF REGISTERED PROFESSIONAL ENGINEER) _____ (REGISTRATION NUMBER) _____

PROFESSIONAL LAND SURVEYOR'S CERTIFICATION:

I, RUSSELL CROSS, P.L.S., A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA, SURVEYOR NO. SU, DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE EXISTING FEATURES, TOPOGRAPHY, AND METES AND BOUNDS SHOWN ON THIS PLAN ARE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS IN JULY OF 1996 (OR AS SUBSEQUENTLY ADOPTED); A FIELD SURVEY WAS PERFORMED UNDER MY IMMEDIATE SUPERVISION, AND ALL MONUMENTS AND/OR LOT PINS SHOWN, EXIST AS INDICATED OR SHALL BE PLACED AS SHOWN, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

(SIGNATURE OF REGISTERED PROFESSIONAL LAND SURVEYOR) _____ (REGISTRATION NUMBER) _____

RECORDER OF DEEDS:

RECORDED THIS ____ DAY OF ____, 20____, IN THE OFFICE OF THE RECORDING OF DEEDS, ETC. IN AND FOR THE COUNTY OF MONTGOMERY IN NORRISTOWN, PENNSYLVANIA IN PLAN BOOK ____ PAGE ____

RECORDER _____

ZONING INFORMATION:

ZONING DISTRICT: TOWN CENTER (TC-1)

PROPOSED USE: GOVERNMENT ADMINISTRATION USES (ALLOWED BY RIGHT)

TC-1 ZONING INFORMATION

STANDARD	REQUIRED	EXISTING	PROPOSED
MIN LOT SIZE	2,500 SF	178,366 SF	178,366 SF
MIN LOT WIDTH	25 FT	450 FT	450 FT
SIDEWALK ⁽¹⁾	N/A ⁽²⁾	21.6 FT	21.6 FT
MIN SIDE YARD	35.8 FT	30.8 FT	30.8 FT
MAX IMPERVIOUS COVERAGE	90%	60.20%	70.16%
		(107,374 SF)	(125,134 SF)
MAX BUILDING HEIGHT	45 FT ⁽³⁾	<45 FT	<45 FT
BUILDING STEPBACK	6 FT ⁽⁴⁾	N/A	N/A
MAX BUILDING FOOTPRINT	15,000 SF	15,345 SF ⁽⁵⁾	25,496 SF ⁽⁵⁾

- (1) BUILDINGS SHALL BE BUILT TO THE SIDEWALK OR SET BACK A MAXIMUM OF 15 FEET FROM THE SIDEWALK FOR PURPOSES OF A PLAZA, SQUARE, COURTYARD, OR OUTDOOR DINING. NO PARKING SHALL BE LOCATED IN THIS AREA.
- (2) THERE SHALL BE NO SIDE YARD SETBACK REQUIRED FOR BUILDINGS THAT SHARE A PARTY WALL. THE SETBACK BETWEEN BUILDINGS SHALL BE A MINIMUM OF 10 FEET (5 FEET PER EACH BUILDING) WHEN NOT SHARING A PARTY WALL.
- (3) BUILDINGS SHALL BE A MINIMUM OF 2 OCCUPIED STORIES OVER 90% OF THE BUILDING AREA. MAXIMUM HEIGHT DOES NOT INCLUDE ADDITIONAL HEIGHT OF UNOCCUPIED PITCHED ROOF AREA OR SCREENING OF ROOFTOP MECHANICAL SYSTEMS.
- (4) BUILDINGS HIGHER THAN 2 STORIES SHALL HAVE A 6 FOOT STEPBACK BETWEEN 10 FEET AND 40 FEET ABOVE GROUND LEVEL.
- (5) EXISTING NON-CONFORMING

PARKING INFORMATION:

POLICE ARE CURRENTLY SITUATED IN EXISTING TOWNSHIP BUILDING AND ARE BEING RELOCATED TO SEPARATE PROPOSED POLICE STATION ON PROPERTY. THERE IS NO SHORTAGE OF PARKING CURRENTLY EXPERIENCED ON-SITE AND NO INCREASE IN PARKING DEMAND EXPECTED.

EXISTING SPACES: 149 SPACES

PROPOSED SPACES: 147 SPACES

GENERAL SURVEY NOTES:

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- DEED BOOKS AS NOTED.

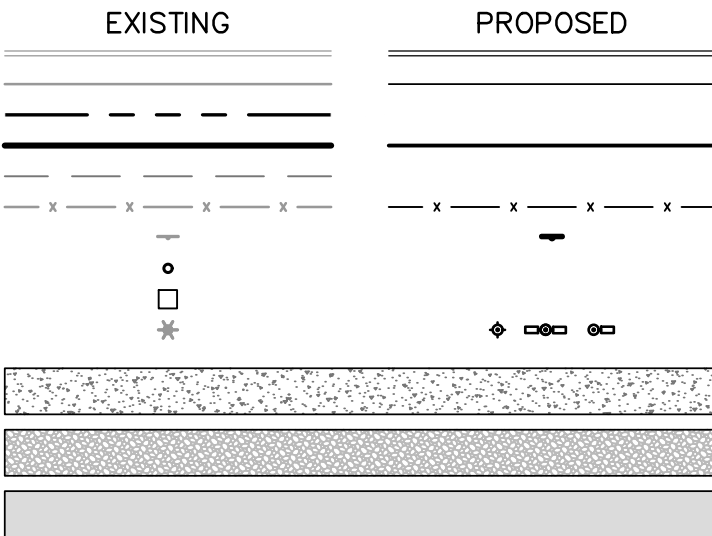
LEGEND

CURB
EDGE OF PAVE
LEGAL RIGHT-OF-WAY
PROPERTY LINE
EASEMENT
FENCE LINE
SIGN
IRON PIN FOUND
CONCRETE MONUMENT FOUND
LIGHT FIXTURE

CONCRETE AREA

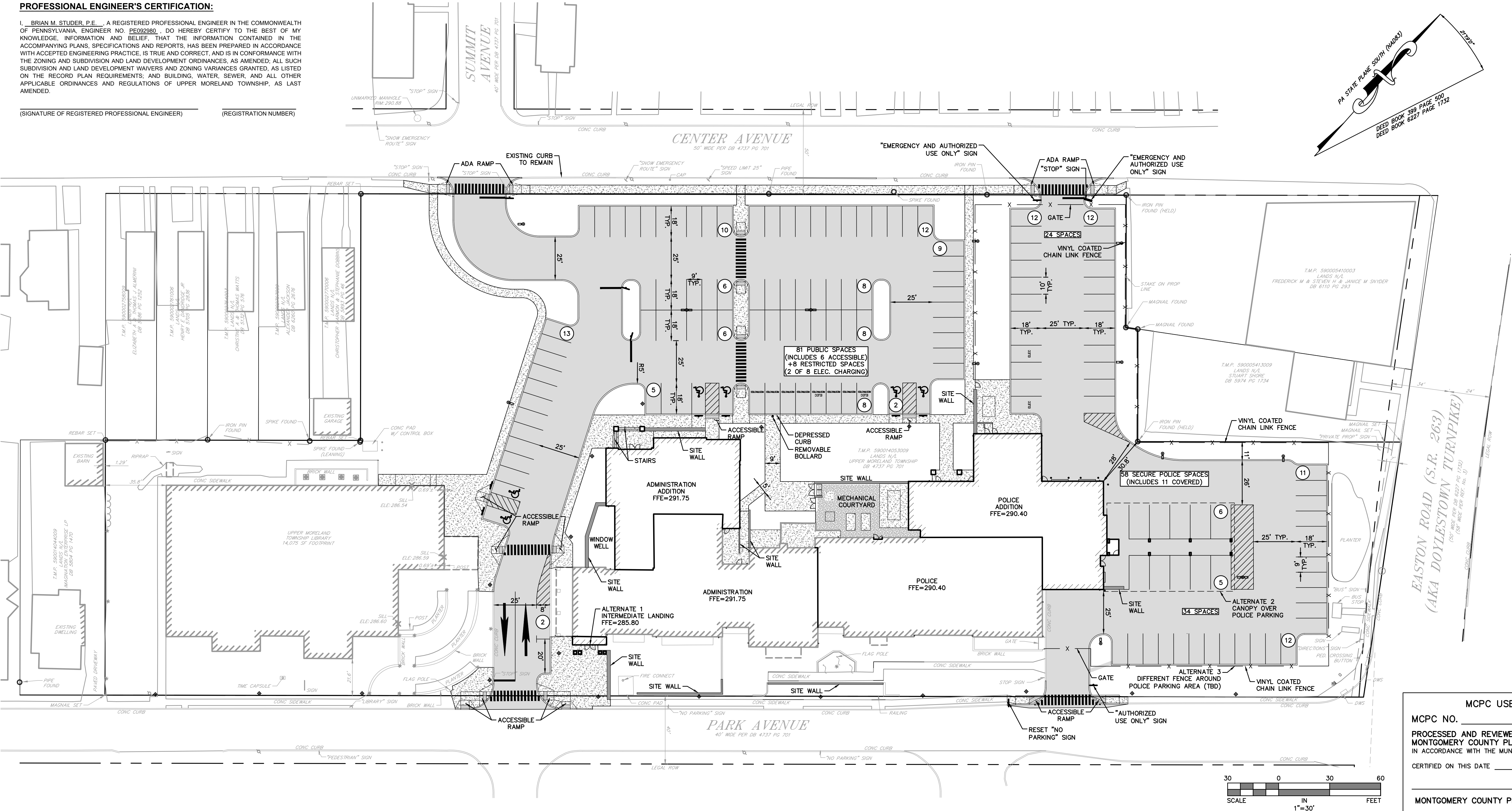
STONE/GRAVEL AREA

ASPHALT PAVEMENT AREA



ABBREVIATIONS

CONC	CONCRETE	MISC	MISCELLANEOUS
DB	DEED BOOK	N/A	NOT APPLICABLE
DEP	DEPRESSED	NO./#	NUMBER
DWS	DETECTABLE WARNING SURFACE	NTS	NOT TO SCALE
EA	EACH	PG	PAGE
EX/EXIST	EXISTING	PR	PROPOSED
FT	FOOT OR FEET	R	RADIUS OR RISER
LF	LINEAR FOOT OR LINEAR FEET	SF	SQUARE FOOT OR SQUARE FEET
MAX	MAXIMUM	T.M.P.	TAX MAP PARCEL
MIN	MINIMUM	TYP	TYPICAL



GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL
SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

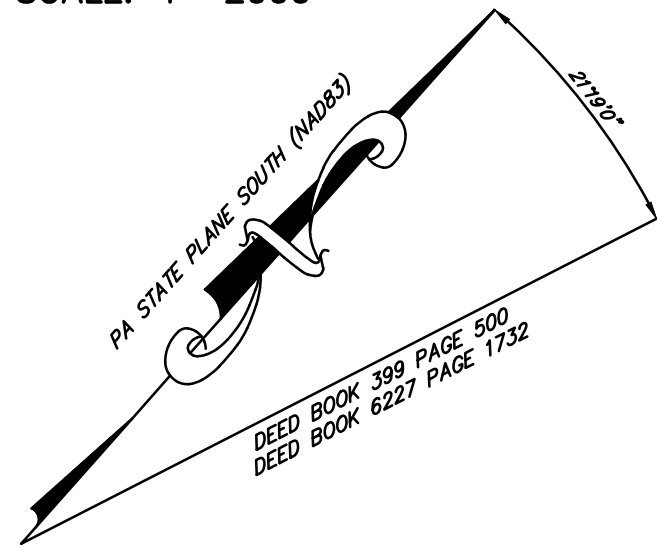
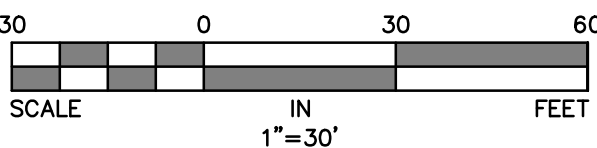
BMP	BEST MANAGEMENT PRACTICE	MIN	MINIMUM
CFS	COMPOST FILTER SOCK	N/A	NOT APPLICABLE
CONC	CONCRETE	NIC	NOT IN CONTRACT
CPP	CORRUGATED PLASTIC PIPE	NO, #	NUMBER
CSST	COMPOST SOCK SEDIMENT TRAP	OCS	OUTLET CONTROL STRUCTURE
DEP	DEPRESSED	OPMH	OBSERVATION PORT MANHOLE
ø/DIA	DIAMETER	PERF	PERFORATED
E&S	EROSION AND SEDIMENT	PVC	POLYVINYL CHLORIDE
EA	EACH	R	RADIUS OR RISER
ESC	EROSION AND SEDIMENT CONTROL	S	SLOPE
EL/ELEV	ELEVATION	SAN	SANITARY
ELEC	ELECTRIC	SOM	STORMWATER CONTROL MEASURE
EX/EXIST	EXISTING	SF	SQUARE FOOT OR SQUARE FEET
FT	FOOT OR FEET	SSB	SUBSURFACE BASIN
H	HIGH	STMH	STORM MANHOLE
HDPE	HIGH DENSITY POLYETHYLENE	TBA	TO BE ABANDONED
IN/HR	INCHES PER HOUR	TBD	TO BE DETERMINED
INF	INFILTRATION	T.B.R.	TO BE REMOVED
INL	INLET	TEL	TELEPHONE
INV	INVERT ELEVATION	TP	TOP OF GRATE ELEVATION
LF	LINEAR FOOT OR LINEAR FEET	TYP	TYPICAL
LOD	LIMIT OF DISTURBANCE	UD	UNDER DRAIN
MAX	MAXIMUM	W	WATER OR WIDE

[illegible]

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4. DEED BOOKS AS NOTED.

1. EXISTING AND PROPOSED INLETS SHALL BE PROTECTED FROM EROSION AND SEDIMENT WITH INLET FILTER BAGS UNTIL THEY ARE REMOVED AND/OR THEIR ENTIRE TRIBUTARY DRAINAGE AREA IS STABILIZED.

NE = NOT ENCOUNTERED

MUNICIPAL FILE No.:	
N/A	
TAX MAP PARCEL No.:	
59-00-14053-00-9	
TOTAL AREA:	TOTAL LOTS:
4.095 AC.	1
DATE:	SCALE:
8/29/2025	1"=30'
DRAWN BY:	CHECKED BY:
BMS	JJH
SHEET NO.:	

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10/10/2025 PRELIM/FINAL LD SUBMISSION

SERIAL NO. 20230661537

GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL
SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

BC	BOTTOM OF CURB	N/A	NOT APPLICABLE
BMP	BEST MANAGEMENT PRACTICE	NO./#	NUMBER
BW	BOTTOM OF WALL	OC	ON CENTER
C.O.	CLEAN OUT	CCS	OUTLET CONTROL STRUCTURE
CONC	CONCRETE	OPMH	OBSERVATION PORT MANHOLE
CPP	CORRUGATED PLASTIC PIPE	PERF	PERFORATED
DEP	DEPRESSED	PR	PROPOSED
ø/DIA	DIAMETER	PVC	POLYVINYL CHLORIDE
EA	EACH	RCP	REINFORCED CONCRETE PIPE
EL/ELEV	ELEVATION	S	SLOPE
ELEC	ELECTRIC	SAN	SANITARY
EX/EXIST	EXISTING	SCM	SCHEDULE
FF/FFE	FINISHED FLOOR ELEVATION	SCH	STORMWATER CONTROL MEASURE
FT	FOOT OR FEET	SF	SQUARE FOOT OR SQUARE FEET
H	HIGH	SSB	SUBSURFACE BASIN
HDPE	HIGH DENSITY POLYETHYLENE	STMH	STORM MANHOLE
IN/HR	INCHES PER HOUR	TBD	TO BE DETERMINED
INF	INFILTRATION	TC	TOP OF CURB
INL	INLET	TEL	TELEPHONE
INV	INVERT ELEVATION	TG	TOP OF GRADE ELEVATION
LF	LINEAR FOOT OR LINEAR FEET	TW	TOP OF WALL
LOD	LIMIT OF DISTURBANCE	TYD	TYPICAL
MAX	MAXIMUM	UD	UNDER DRAIN
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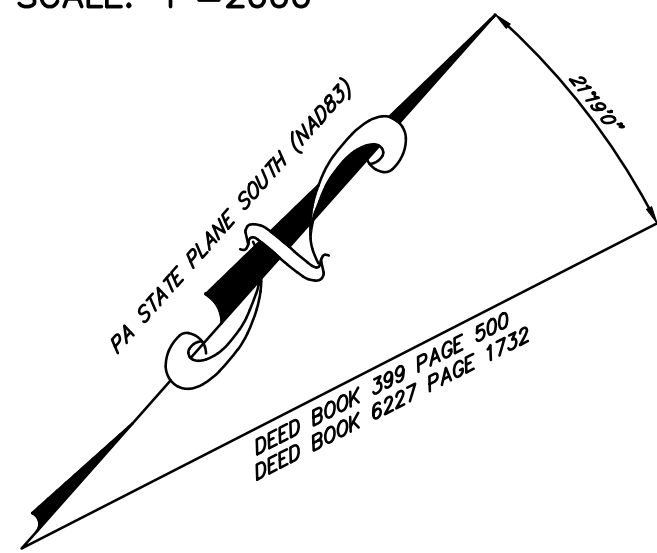
The figure is a schematic diagram comparing existing and proposed traffic signalization for an intersection. It is divided into two main parts: 'EXISTING' on the left and 'PROPOSED' on the right.

EXISTING: This section shows a four-way intersection. The north-south approach has a traffic light with phases for 'S' (straight), 'OH' (overhead), 'E' (east), 'W' (west), and 'G' (green). The east-west approach has a traffic light with phases for 'E' (east), 'W' (west), and 'G' (green). Pedestrian crossings are indicated by circles with 'S' (straight) and 'E' (east) symbols. A 'Urmia Blvd' label is at the bottom, and a 'U.S. 101' label is at the top.

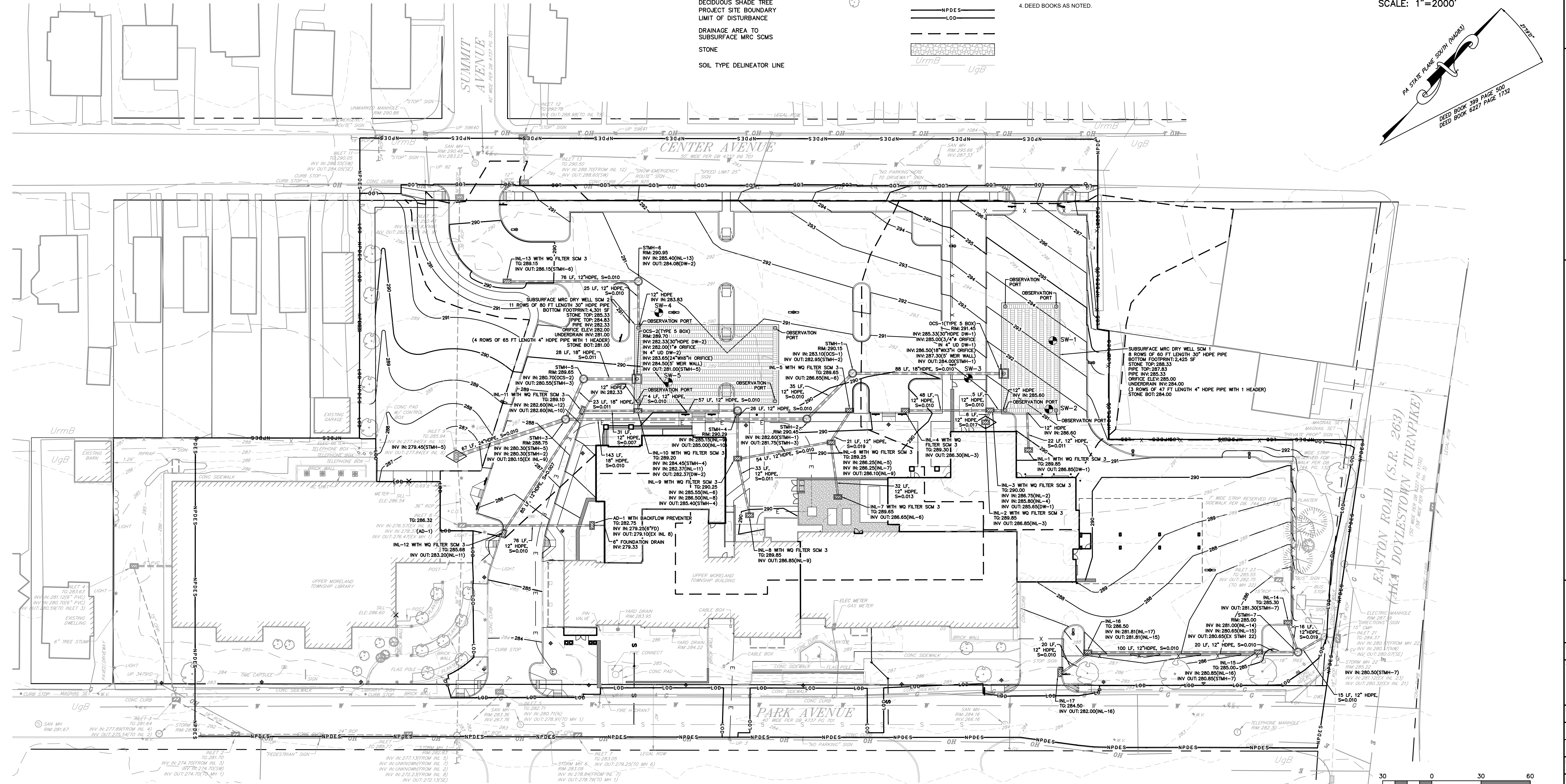
PROPOSED: This section shows a similar intersection but with a different signalization scheme. The north-south approach has a traffic light with phases for 'S' (straight), 'OH' (overhead), 'E' (east), 'W' (west), and 'G' (green). The east-west approach has a traffic light with phases for 'E' (east), 'W' (west), and 'G' (green). A 'SW-1' signal is shown at the intersection. A 'NPDES' signal is shown at the intersection. A 'Urmia Blvd' label is at the bottom, and a 'U.S. 101' label is at the top.

1. PROPERTY AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF UPPER MORELAND COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA.
2. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN MARCH, 2023, AND THE REFERENCED INFORMATION LISTED HEREON. IT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
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10/10/2025 PRELIM/FINAL LD SUBMISSION

NE = NOT ENCOUNTERED

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN



DRAWN BY: BMS

4 OF 15

PENNSYLVANIA ONE CALL SYSTEM, INC.

925 Irwin Road
West Mifflin, Pennsylvania
15122 - 1076

811

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776

NON-MEMBERS MUST BE CONTACTED DIRECTLY

PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH

SERIAL NO. 20230661537

LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS; THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.

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MAX	MAXIMUM	UD	UNDER DRAIN
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LEGEND	
EXISTING	PROPOSED
CURB	CURB
EDGE OF PAVE	EDGE OF PAVE
LEGAL RIGHT-OF-WAY	LEGAL RIGHT-OF-WAY
PROPERTY LINE	PROPERTY LINE
EASEMENT	EASEMENT
MAJOR CONTOURS	MAJOR CONTOURS
MINOR CONTOURS	MINOR CONTOURS
SPOT ELEVATION	SPOT ELEVATION
FENCE LINE	FENCE LINE
SANITARY SEWER LINE	SANITARY SEWER LINE
STORM LINE	STORM LINE
OVERHEAD ELECTRIC LINE	OVERHEAD ELECTRIC LINE
UNDERGROUND ELECTRIC LINE	UNDERGROUND ELECTRIC LINE
WATER LINE	WATER LINE
GAS LINE	GAS LINE
STORM MANHOLE	STORM MANHOLE
SANITARY MANHOLE	SANITARY MANHOLE
ELECTRIC MANHOLE	ELECTRIC MANHOLE
WATER MANHOLE	WATER MANHOLE
GAS VALVE	GAS VALVE
WATER VALVE	WATER VALVE
SIGN	SIGN
UTILITY POLE	UTILITY POLE
GUY WIRE	GUY WIRE
FIRE HYDRANT	FIRE HYDRANT
LIGHT FIXTURE	LIGHT FIXTURE
CONIFEROUS TREE	CONIFEROUS TREE
DECIDUOUS SHADE TREE	DECIDUOUS SHADE TREE
STONE	STONE

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LAND DEVELOPMENT PLAN

RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

GRADING PLAN

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT NO.: 23-02039

OWNERS INFO:
UPPER MORELAND TOWNSHIP
117 PARK AVENUE
WILLOW GROVE, PA 19090
(215) 659-3100

MUNICIPAL FILE NO.: N/A

TAX MAP PARCEL NO.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC. TOTAL LOTS: 1

DATE: 8/29/2025 SCALE: 1"=30'

DRAWN BY: BMS CHECKED BY: JH

SHEET NO.: 5 OF 15

C:\MUNICIPAL\2023\2302039-01-LWT-New Police Station Building CAD\Production Drawings\2302039_GPD.dwg Layout: on Fri Oct 10, 2025 at 3:03pm

G:\MUNICIPAL\2023\2302039-01-LWT-New Police Station Building CAD\Production Drawings\2302039-UTILITY.dwg Layout: UTIL Plotted By: batuder, on Fri Oct 10, 2025 at 3:04pm

PENNSYLVANIA ONE CALL SYSTEM, INC.

925 Inland Road
West Mifflin, Pennsylvania
15122 - 1076

811

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LEGEND	
EXISTING	PROPOSED

GENERAL SURVEY NOTES:

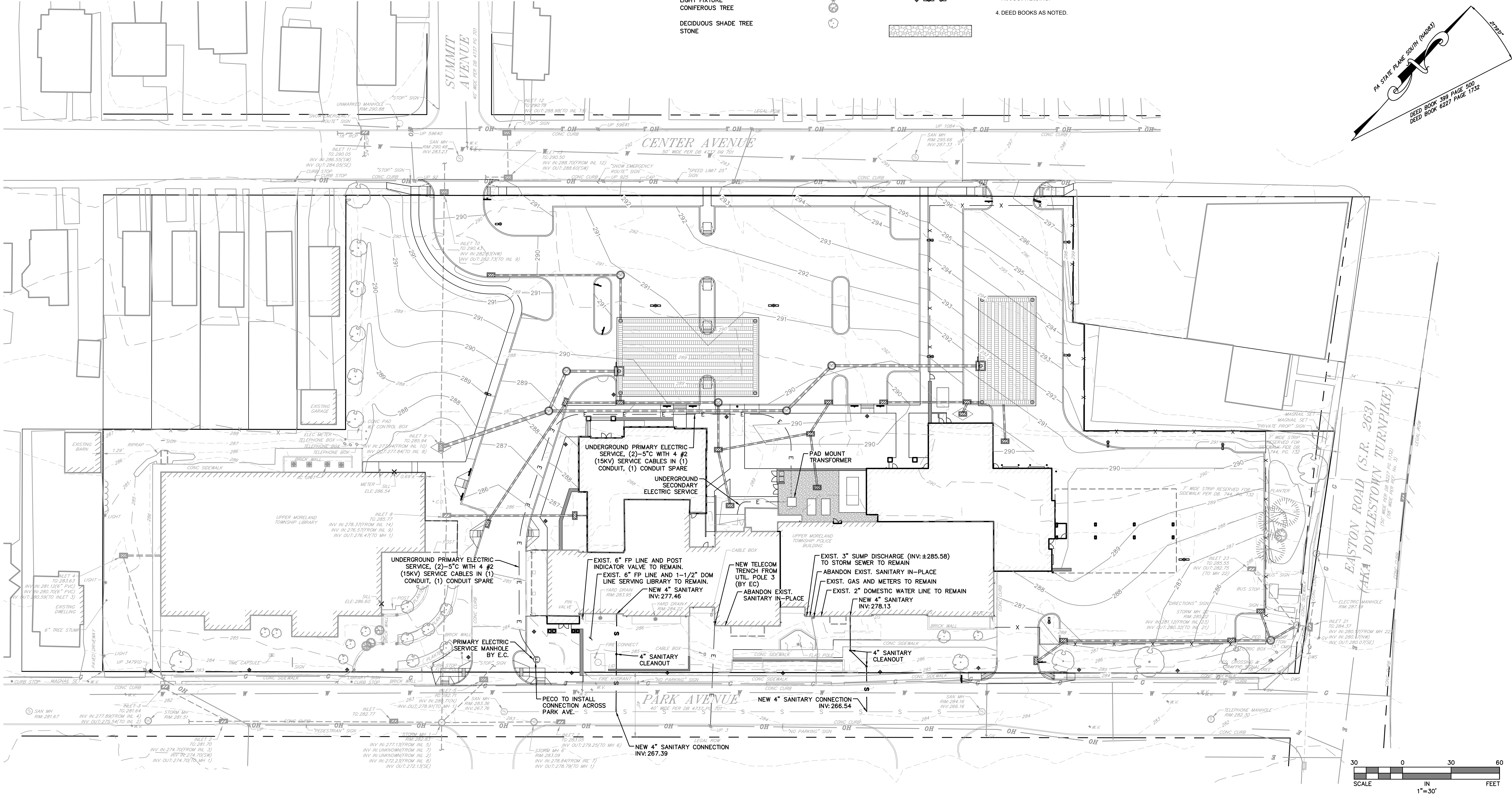
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- DEED BOOKS AS NOTED.

UTILITY NOTES:

- PLUMBING CONTRACTOR (PC) TO INSTALL PROPOSED NEW 3-INCH DOMESTIC WATER LINE SHOWN ON THE CIVIL SITE PLANS FROM THE EXISTING PIT TO THE BUILDING CONNECTION.
- PLUMBING CONTRACTOR (PC) IS RESPONSIBLE FOR ALL PROPOSED SANITARY SEWER IMPROVEMENTS FROM THE BUILDING UP TO 4 FEET OUTSIDE THE BUILDING.
- GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR ALL PROPOSED SANITARY SEWER IMPROVEMENTS ON THE SITE UP TO 4 FEET OUTSIDE THE BUILDING, AS WELL AS CONNECTIONS AT THAT POINT. GC TO CONTACT UPPER MORELAND-HATBORO JOINT SEWER AUTHORITY PRIOR TO PERFORMING WORK IN STREET(S) FOR INSPECTION. EXISTING SANITARY SEWER PIPE THAT WILL NO LONGER BE OPERATIONAL MAY BE ABANDONED IN-PLACE.
- GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR ALL PROPOSED STORM SEWER IMPROVEMENTS ON THE SITE UP TO 4 FEET OUTSIDE THE BUILDING, AS WELL AS DOWNSPOUTS AND DOWNSPOUT BOOT CONNECTIONS.
- ELECTRICAL CONTRACTOR (EC) IS RESPONSIBLE FOR SITE LIGHTING AND TRENCHING OF THE ELECTRICAL LINES AND COMMUNICATION LINES. THIS INCLUDES COORDINATION WITH MECHANICAL CONTRACTOR, PLUMBING CONTRACTOR, GENERAL CONTRACTOR, STORM DRAINAGE, AND POLICE FUNCTIONS.
- ALL OTHER EXCAVATION AND/OR TRENCHING FOR THE WORK OF EACH CONTRACT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR FOR THEIR OWN WORK.
- EXISTING STORM SEWER PIPE AND OTHER DEMOLISHED/ABANDONED UTILITIES THAT ARE NO LONGER FUNCTIONAL/OPERATIONAL SHALL BE REMOVED AND DISPOSED OF. EXISTING SANITARY SEWER PIPE THAT WILL NO LONGER BE OPERATIONAL MAY BE ABANDONED IN-PLACE.



LAND DEVELOPMENT PLAN RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT NO.: 23-02039

OWNERS INFO:
UPPER MORELAND TOWNSHIP
117 PARK AVENUE
MILLOW GROVE PA 19090
(215) 659-3100

MUNICIPAL FILE NO.: N/A

TAX MAP PARCEL NO.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC. TOTAL LOTS: 1

DATE: 8/29/2025 SCALE: 1"=30'

DRAWN BY: BMS CHECKED BY: JH

SHEET NO.: 6 OF 15

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

401 FLYCATCHER ROAD, SUITE 106, FLYCATCHER, PA 19025 • (610) 465-0044 • www.gilmore-associates.com

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10/10/2025 PRELIM/FINAL LD SUBMISSION

COMPLIANCE CHART				
THE FOLLOWING CHART REPRESENT THE MINIMUM QUANTITIES OF REQUIRED PLANT MATERIAL ACCORDING TO THE UPPER MORELAND TOWNSHIP ZONING AND SUBDIVISION AND LAND DEVELOPMENT ORDINANCES, AND TO DEMONSTRATE COMPLIANCE WITH THE SAME.				
§ 350-79.D(1) - STREET TREES	REQUIRED	EXISTING	PROPOSED	TOTAL
REQUIREMENT: 1 SHADE TREE PER 40 L.F. CENTER AVE. 394.14 L.F. PARK AVE. 479.11 L.F. EASTON ROAD 151.61 L.F.	10 11 4	1 4 4	9 7 0	10 11 4
NOTE: STREET LENGTH DOES NOT INCLUDE WIDTH OF ENTRANCE DRIVE AT R.O.W.				
§ 350-74.A - PARKING AREA TREES				
REQUIREMENT: 1 TREES FOR EVERY 12 SPACES (136 SPACES)	11	0	11	11
§ 350-79.G - STREETSCAPE AND GREEN AREA STANDARDS				
BUILDING ADDITIONS AND ALTERATIONS REQUIREMENT: 4 POINTS FROM CATEGORY A PROVIDED: ADDITIONAL PLANTING AREA 2X(2 PTS)	4	0	4	4
§ 300-45.A - REPLACEMENT TREES				
REQUIREMENT: 1 TREE PER EACH 8" - 23" CAL. TREE REMOVED (22 TREES) 2 TREES PER EACH 23" -36" CAL. TREE REMOVED (3 TREES)	22 6	9 6	9 6	9 6
*NOTE: PARTIAL WAIVER REQUESTED.				
§ 300-45.B - HERITAGE TREES				
REQUIREMENT: EVERY HERITAGE TREE REMOVED SHALL BE REPLACED WITH NEW TREES (4" CAL. EACH) TOTALING THE CALIPER INCHES OF EXISTING HERITAGE TREES REMOVED.	37"	0	40"	40"

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
STREET TREES						
CC ^S	2	CERCIS CANADENSIS	EASTERN REDBUD	3" CAL	B&B	SINGLE STEM
CV ^S	2	CRATAEGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	3" CAL	B&B	
LS ^S	7	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	3" CAL	B&B	FRUITLESS, COLUMNAR
PS ^S	3	PRUNUS SERRULATA 'KWANZAN'	KWANZAN CHERRY	3" CAL	B&B	
TC ^S	2	TILIA CORDATA	LITTLELEAF LINDEN	3" CAL	B&B	
PARKING AREA PLANTINGS						
CANOPY TREES						
GT ^P	4	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	HONEY LOCUST	2 1/2" CAL	B&B	THORNLESS
UA ^P	7	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	2 1/2" CAL	B&B	
SHRUBS						
CA ^P	4	CLETHRA ALNIFOLIA	SUMMERSWEET	36" MIN	CONT	
IV ^P	9	ITEA VIRGINICA	VIRGINIA SWEETSPICE	36" MIN	CONT	
RA ^P	59	RHUS AROMATICA 'GRO-LOW'	GROW/LOW SUMAC	18" MIN	CONT	
VP ^P	59	VIBURNUM X PRAGENSE	PRAGUE VIBURNUM	4' HT MIN	CONT	
ADDITIONAL PLANTING AREA PLANTINGS						
DECIDUOUS TREES						
AC ^A	3	AMELANCHIER CANADENSIS	SERVICEBERRY	8' HT MIN	B&B	
SHRUBS						
HP ^A	10	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	30" MIN	CONT	
POP ^A	11	PHYSCOCARPUS OPULIFOLIUS 'GINGER WINE'	NINEBARK	30" MIN	CONT	
REPLACEMENT TREE PLANTINGS						
ARA ^R	6	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	2 1/2" CAL	B&B	
CCA ^R	6	CARPINUS CAROLINIANA	IRONWOOD	2 1/2" CAL	B&B	
NS ^R	3	NYSSA SYLVATICA	BLACK TUPELO	2 1/2" CAL	B&B	
HERITAGE TREE REPLACEMENT PLANTINGS						
ARO ^H	5	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	4" CAL	B&B	
PO ^H	3	PLATANUS OCCIDENTALIS	SYCAMORE	4" CAL	B&B	
QA ^H	2	QUERCUS ALBA	WHITE OAK	4" CAL	B&B	

PENNSYLVANIA ONE CALL SYSTEM, INC.



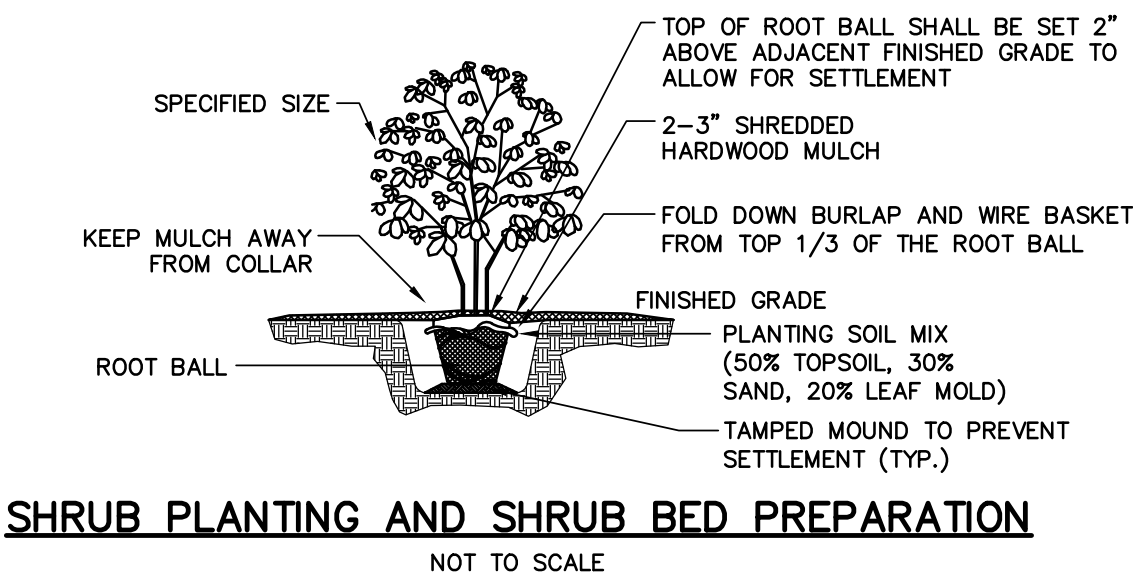
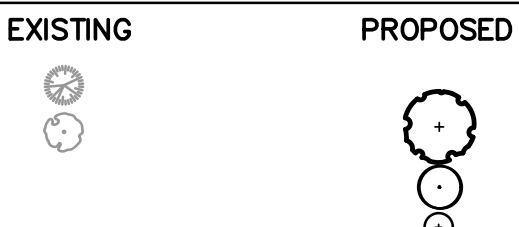
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH
SERIAL NO. 20230661537

LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS. THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.

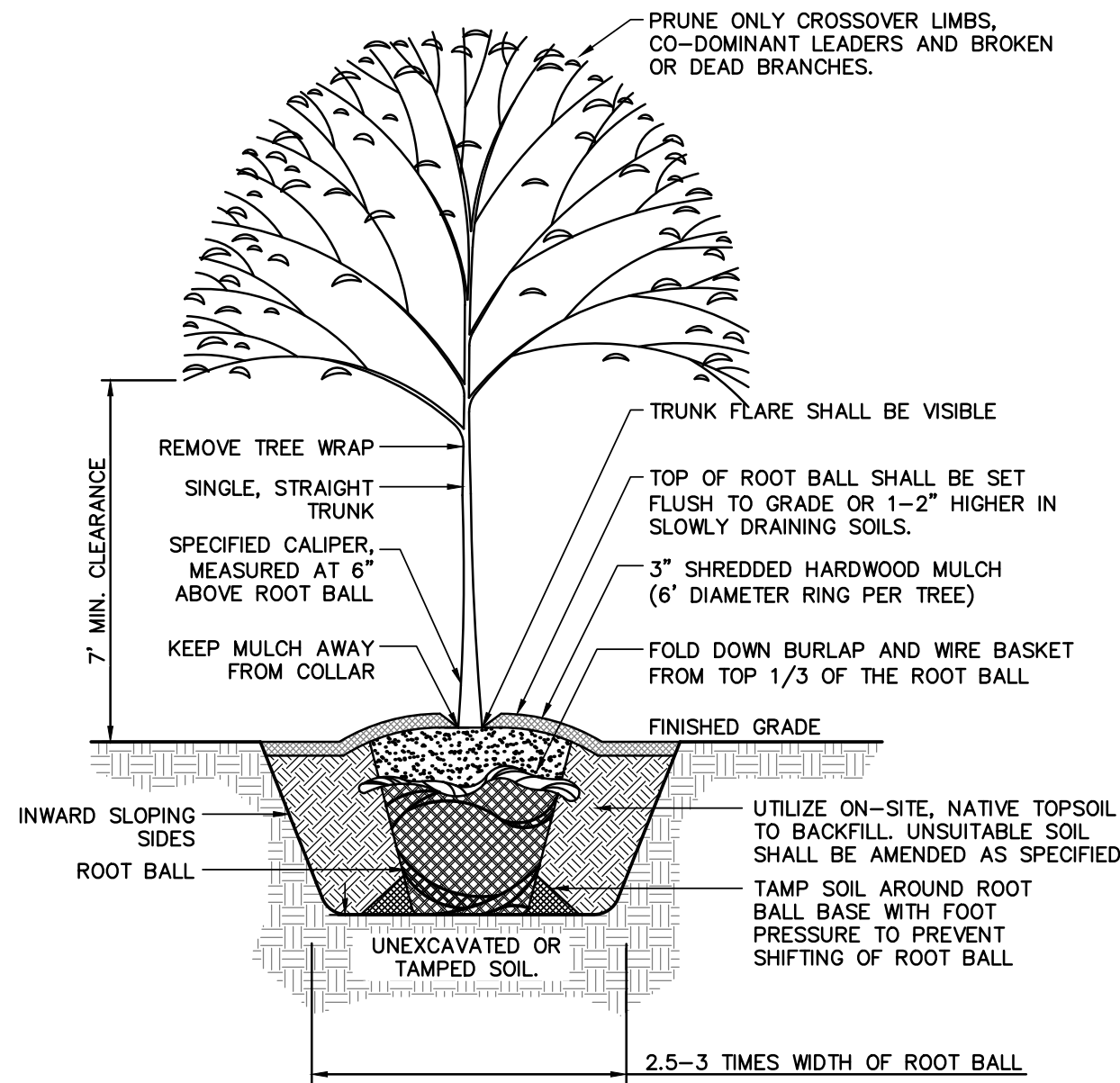
ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON APRIL 28, 2016 PENNSYLVANIA ACT 50. GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

LEGEND

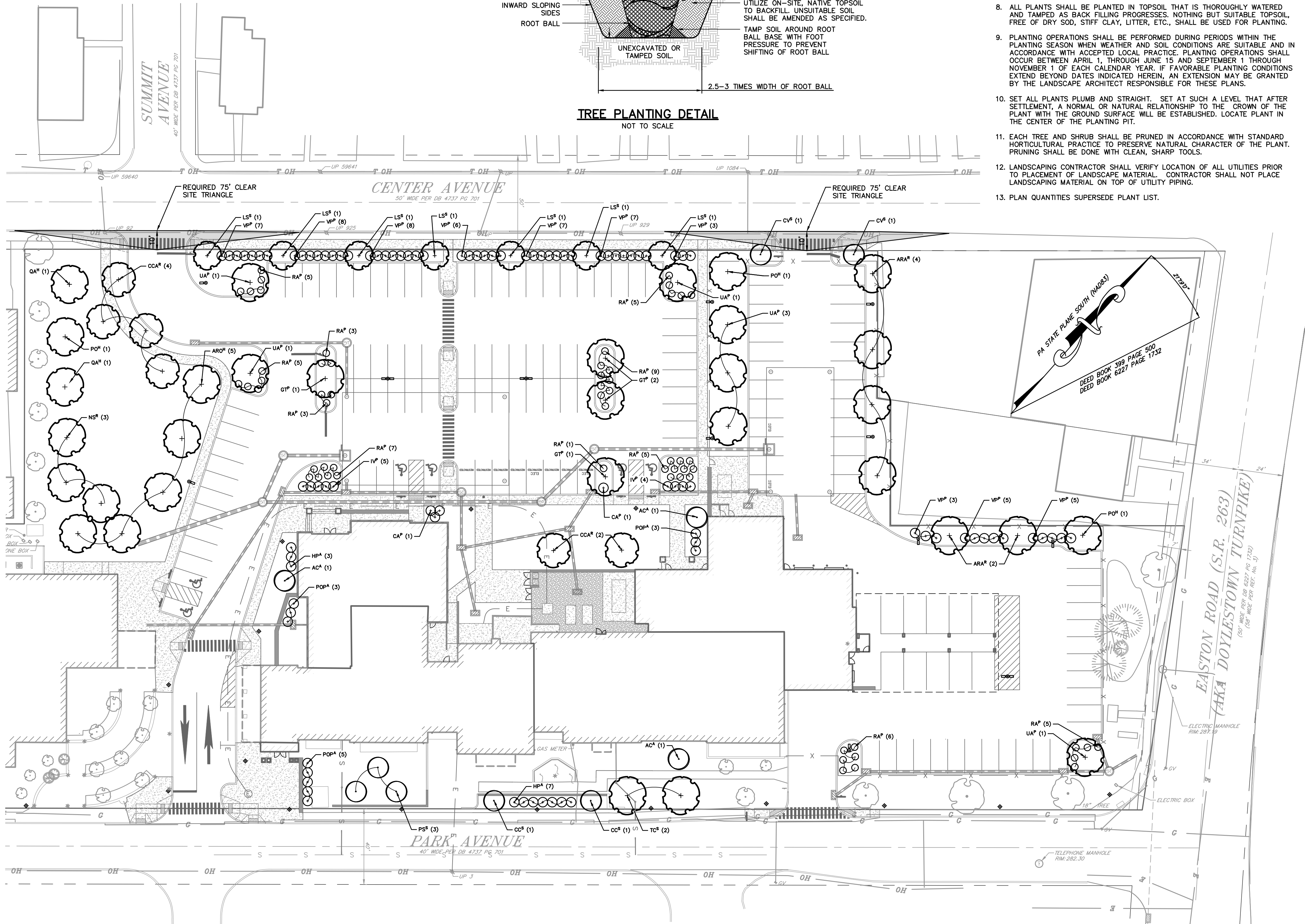
CONIFEROUS TREE
DECIDUOUS SHADE TREE
DECIDUOUS ORNAMENTAL TREE
SHRUBS



SHRUB PLANTING AND SHRUB BED PREPARATION



TREE PLANTING DETAIL



GENERAL LANDSCAPE NOTES

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS EQUIPMENT, INCIDENTALS AND CLEAN UP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, BE DENSELY FOLIATED, HAVE VIGOROUS ROOT SYSTEMS AND BE FREE OF DEFECTS AND INJURIES.
4. ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE WELFARE OF THE PLANT MATERIAL SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIAL.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISIONS SHALL BE MADE FOR A GUARANTEE OF AT LEAST 18 MONTHS FOR TREES AND SHRUBS. REPLACEMENT SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
6. INsofar AS IT IS PRACTICABLE, PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY.
7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE 2014 "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN INC., OR LATEST EDITION.
8. ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER, ETC., SHALL BE USED FOR PLANTING.
9. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTING OPERATIONS SHALL OCCUR BETWEEN APRIL 1, THROUGH JUNE 15 AND SEPTEMBER 1 THROUGH NOVEMBER 1 OF EACH CALENDAR YEAR. IF FAVORABLE PLANTING CONDITIONS EXTEND BEYOND DATES INDICATED HEREIN, AN EXTENSION MAY BE GRANTED BY THE LANDSCAPE ARCHITECT RESPONSIBLE FOR THESE PLANS.
10. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH A LEVEL THAT AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE GROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PLANTING PIT.
11. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
12. LANDSCAPING CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO PLACEMENT OF LANDSCAPE MATERIAL. CONTRACTOR SHALL NOT PLACE LANDSCAPING MATERIAL ON TOP OF UTILITY PIPING.
13. PLAN QUANTITIES SUPERSEDE PLANT LIST.

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

LAND DEVELOPMENT PLAN
RENOVATIONS AND ADDITIONS FOR
TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, PENNSYLVANIA

LANDSCAPE PLAN

PROJECT No.: 23-02039

OWNERS INFO:
UPPER MORELAND TOWNSHIP
117 PARK AVENUE
MILLOW GROVE, PA 19090
(215) 659-3100

MUNICIPAL FILE No.: N/A

TAX MAP PARCEL No.: 59-00-14053-00-9

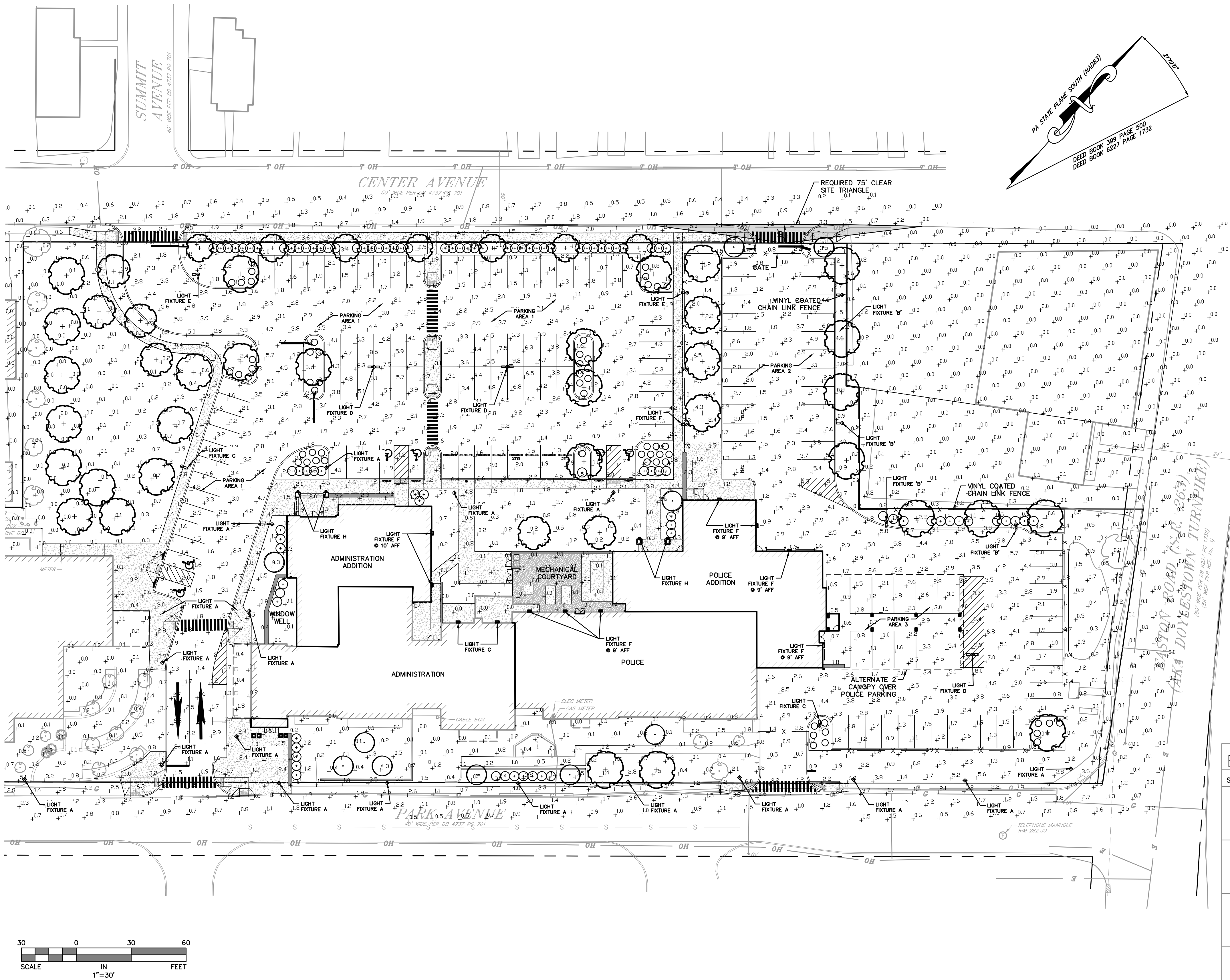
TOTAL AREA: 4.095 AC. TOTAL LOTS: 1

DATE: 8/29/2025 SCALE: 1"=30'

DRAWN BY: OMC CHECKED BY: JSG

SHEET NO.: 7 OF 15

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GENERAL LIGHTING NOTES

1. THIS PLAN IS TO BE UTILIZED FOR SITE LIGHTING PURPOSES ONLY. ELECTRICAL ENGINEERING, INCLUDING, BUT NOT LIMITED TO CIRCUITRY, CONDUIT, WIRING, AND ASSOCIATED SPECIFICATIONS, IS NOT WITHIN THE SCOPE OF THIS DOCUMENT.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL.
3. SUBSTITUTION REQUESTS MUST BE APPROVED BY THE TOWNSHIP.
4. THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
5. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLAN AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
6. LIGHTING VALUES DEPICTED ON THIS PLAN WERE GENERATED USING VISUAL 2020R2 SOFTWARE.
7. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPES OF FIXTURES ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR ELECTRICAL LIGHTING CONTRACTOR. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, LAWS AND STATUTES.
8. CONTRACTOR SHALL BRING TO THE DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES OR OTHER STRUCTURES.
9. ALL PROPOSED LIGHT FIXTURES ARE TO BE NEW AND SHOULD BE INCLUDED WITH THE BASE BID.
10. CONTRACTOR SHALL PROVIDE TEMPORARY SITE LIGHTING AS NEEDED WHEN EXISTING SITE LIGHTING IS NO LONGER OPERATIONAL.
11. SITE LIGHTING TO BE BY ELECTRICAL CONTRACTOR.

Exterior Site Lighting Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING_1	✱	2.4 fc	9.8 fc	0.6 fc	16.3:1	4.0:1
PARKING_2	✱	2.7 fc	5.7 fc	1.6 fc	3.6:1	1.7:1
PARKING_3	✱	3.2 fc	9.9 fc	0.7 fc	14.1:1	4.6:1

NOTE: 'H' FIXTURE ILLUMINATION IS NOT INCLUDED IN CALCULATED VALUES SHOWN ON LIGHTING PLAN

Exterior Site Lighting Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
A	A	19	PHILIPS LUMEC	ATx0,0Tx0,XLx0-35W32LED3K-63-LE3F	AT Ancestra Post Top LED - 0T/XL Optima Post Top LED, 32 LED's, 3000K CCT, TYPE LE3F OPTIC, FLAT LENS	1	4048	0.9	37	12'
B	B	4	GARDCO BY SIGNIFY	P26-A02-730-BLC	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE BLC OPTIC	1	10956	0.9	85.4	18'
C	C	2	GARDCO BY SIGNIFY	P26-A02-730-T3M	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE T3M OPTIC	1	12865	0.9	85.4	18'
D	D	3	GARDCO BY SIGNIFY	P26-A02-730-T3M	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE T3M OPTIC	1	14559	0.9	170.8	18'
E	E	3	GARDCO BY SIGNIFY	P26-A02-730-T3M	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE T3M OPTIC	1	15310	0.9	85.4	18'
F	F	9	GARDCO BY SIGNIFY	PWS-P-A03-840-4	PureForm LED wall sconce PWS, 20 LED's, 4000K CCT, 80 CRI, TYPE 4 OPTIC	1	5448	0.9	34.4	9' & 10' ABOVE FINISHED FLOOR
G	G	2	GARDCO BY SIGNIFY	PWS-P-A08-840-4	PureForm LED wall sconce PWS, 20 LED's, 4000K CCT, 80 CRI, TYPE 4 OPTIC	1	14732	0.9	91.5	20' ABOVE FINISHED FLOOR
H	H	4	PROGRESS LIGHTING	SEE SPEC. SHEET	ROUND SCONCE					7' ABOVE FINISHED FLOOR

PENNSYLVANIA ONE CALL SYSTEM, INC.

925 Irwin Run Road
West Mifflin, Pennsylvania
15122 - 1076

811

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NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BLAST OR BOMBUSH

SERIAL NO. 20230661537

LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS; THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.

ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50.

GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

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LAND DEVELOPMENT PLAN

RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

LIGHTING PLAN

PROJECT No.: 23-02039

OWNERS INFO:
UPPER MORELAND TOWNSHIP
117 PARK AVENUE
MILLOW GROVE, PA 19090
(215) 659-3100

MUNICIPAL FILE No.: N/A

TAX MAP PARCEL No.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC. TOTAL LOTS: 1

DATE: 8/29/2025 SCALE: 1"=30'

DRAWN BY: TPL CHECKED BY: JSG

SHEET NO.: 8 OF 15

10/10/2025 PRELIM/FINAL LD SUBMISSION

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GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2:1 OR FLATTER.
2. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
3. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE PERMITTEE AND COPERMITEE SHALL ASSURE THAT E&S ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES AND SHALL INCLUDE COMPLETE, WRITTEN LOGS OF THOSE INSPECTIONS WHICH SHALL BE MADE AVAILABLE TO THE COUNTY CONSERVATION DISTRICT. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGARDING, RESEEDING, AND RESTABILIZATION SHALL BE PERFORMED IMMEDIATELY.
4. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
5. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE COUNTY CONSERVATION DISTRICT.
6. THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE APPROPRIATE CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
7. ALL PUMPING OF SEDIMENT LOADED WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
8. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 4 EROSION CONTROL RULES AND REGULATIONS, TITLE 25, CHAPTER 102, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
9. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
10. ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO THE PROJECT SITE FOR GRADING AND ACQUIRING BORROW TO CONSTRUCT THOSE BMPs, EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED, AND MAINTAINED BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
11. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROL MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
12. THE PERMITTEE OR CO-PERMITTEE SHALL CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT AT LEAST SEVEN DAYS BEFORE CONSTRUCTION IS TO BEGIN TO DETERMINE IF A CONSTRUCTION STABILIZATION PLAN IS REQUIRED. THE PERMITTEE OR CO-PERMITTEE, AND OTHERS UNDERTAKING THE EARTH DISTURBANCE ACTIVITY MUST ATTEND A PRECONSTRUCTION CONFERENCE WHEN REQUESTED BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE CONFERENCE MUST BRING A COPY OF THEIR NPDES PERMIT, A COPY OF THE STAMPED PLAN FROM THE CONSERVATION DISTRICT, AND ALL ASSOCIATED DEPARTMENT APPROVALS/PERMITS WHICH MUST BE AVAILABLE. AT THE CONFERENCE UPON REQUEST, ALSO, AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.
13. UPON THE INSTALLATION OF STABILIZATION OR PERIMETER SEDIMENT CONTROL BMPs AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.
14. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED TO THOSE ARE DESCRIBED IN EACH STAGE.
15. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE OR SHOULD A TEMPORARY CESSATION OF ACTIVITY OCCUR WHICH WILL LAST LONGER THAN 4 DAYS, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
16. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
17. PERMITTEES AND CO-PERMITTEES ARE RESPONSIBLE FOR ENSURING THAT A LICENSED PROFESSIONAL HAS OVERSIGHT RESPONSIBILITIES FOR THE DESIGN AND PROPER INSTALLATION OF BMPs IDENTIFIED IN THE PCSM PLAN PRIOR TO THE SUBMISSION OF THE NOTICE OF TERMINATION FOR THIS PERMIT. THE LICENSED PROFESSIONAL SHALL CERTIFY THAT THE BMPs IDENTIFIED IN THE PLAN HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLAN. THE INSTALLATION SCHEDULE OF PCSM BMPs AND MAINTENANCE REQUIREMENTS CONTAINED WITHIN THE PLAN MUST BE FOLLOWED. ANY VIOLATION AND FAILURE TO COMPLY WITH THE INSTALLATION SCHEDULE IS A VIOLATION OF THIS PERMIT, THE CLEAN STREAMS LAW, AND THE CLEAN WATER ACT.
18. THE CONTRACTOR SHALL ASSURE THAT AN APPROVED EROSION & SEDIMENT CONTROL PLAN IS BEING IMPLEMENTED AND MAINTAINED FOR ALL OFFSITE BORROW OR SPOIL SITES.
18.1. ALL FILL MATERIALS TO BE USED ON THIS SITE SHALL BE CLEAN FILL UNLESS OTHERWISE APPROVED BY THE MUNICIPALITY AND THE CONSERVATION DISTRICT. THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM DUE DILIGENCE IN DETERMINING THAT FILL IS CLEAN.
18.2. INVESTIGATIVE TECHNIQUES SHALL INCLUDE, BUT ARE NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.
19. FOR PROJECTS THAT REQUIRE A NPDES PERMIT, THE LANDOWNER OR HIS DESIGNATED REPRESENTATIVE SHALL MAINTAIN, AND MAKE AVAILABLE TO THE COUNTY CONSERVATION DISTRICT, COMPLETE, WRITTEN INSPECTION LOGS OF THE INSPECTION AND MAINTENANCE OF ALL EROSION-SEDIMENT CONTROL MEASURES.
20. SEEDING, MULCHING AND FERTILIZING SHALL BE IN ACCORDANCE WITH THE SEEDING AND MULCHING SCHEDULE.
21. ANY SEDIMENT OR MUD THAT IS TRACKED ONTO THE PUBLIC ROADWAYS MUST BE CLEANED OFF IMMEDIATELY BY BROOMING OR SHOVELING TO THE SATISFACTION OF THE TOWNSHIP AT THE EXPENSE OF THE DEVELOPER AND/OR RESPONSIBLE CONTRACTOR. USE OF A BACKHOE BUCKET TO SCRAPE ROADWAY SURFACE IS PROHIBITED. WHERE SAND AND/OR SEDIMENT IS CAUSING SLICK OR HAZARDOUS CONDITIONS, ROADWAY SURFACE SHALL BE PRESSURE WASHED TO REMOVE THE CONDITION. ALL SEDIMENT LAIDEN WATER MUST BE FILTERED IN A MANNER SATISFACTORY TO THE COUNTY CONSERVATION DISTRICT BEFORE ENTERING STORM SEWERS AND/OR DRAINAGE CHANNELS.
22. NO SEDIMENT OR SEDIMENT LOADED WATER MUST BE ALLOWED TO LEAVE THE SITE WITHOUT FIRST BEING FILTERED TO THE SATISFACTION OF THE COUNTY CONSERVATION DISTRICT. ANY PUMPED WATER MUST BE DIRECTED TO A FILTER BAG DEVICE DISCHARGING OVER NON-DISTURBED AREAS.
23. THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN ON THIS PLAN HAVE BEEN PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE COUNTY CONSERVATION DISTRICT. GILMORE AND ASSOCIATES DOES NOT TAKE ANY RESPONSIBILITY IN OBSERVING AND CERTIFYING THE CONSTRUCTION OF THESE FACILITIES UNLESS REQUESTED SPECIFICALLY BY THE OWNER AND/OR CONTRACTOR. THEREFORE, GILMORE AND ASSOCIATES DOES NOT ACCEPT ANY RESPONSIBILITY FOR DAMAGES AS A RESULT OF IMPROPER CONSTRUCTION AND/OR MAINTENANCE OF FACILITIES DURING CONSTRUCTION.
23.1. THE APPLICANT AND HIS DESIGNATED REPRESENTATIVE ARE RESPONSIBLE FOR INSURING THAT A LICENSED PROFESSIONAL HAS OVERSIGHT RESPONSIBILITIES FOR THE DESIGN AND PROPER INSTALLATION OF STORMWATER BMPs IDENTIFIED IN THESE PLANS (IF ANY) PRIOR TO SUBMISSION OF A 'NOTICE OF TERMINATION' FOR THE PROJECT. THE LICENSED PROFESSIONAL SHALL CERTIFY THAT THE STORMWATER BMPs IDENTIFIED IN THE PLAN HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLAN.
23.2. THE INSTALLATION SCHEDULE AND MAINTENANCE REQUIREMENTS FOR ANY AND ALL IDENTIFIED STORMWATER MANAGEMENT BMPs INCLUDED IN THESE PLANS MUST BE FOLLOWED. FAILURE TO COMPLY WITH PLAN SPECIFICATIONS IS A VIOLATION OF THE CLEAN STREAM LAW AND CLEAN WATER ACT.
24. ACCUMULATED SEDIMENTS REMOVED FROM ANY AND ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES. REPLACED SOILS SHALL BE SEEDED AND MULCHED IMMEDIATELY.
25. UPON COMPLETION OF ANY TEMPORARY CESSATION LONGER THAN 4 DAYS OF THE EARTH DISTURBANCE ACTIVITY, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (E&S MANUAL), COMMONWEALTH OF PENNSYLVANIA, DEPARTMENT OF ENVIRONMENTAL PROTECTION, 35-2134-309, MARCH 2012, AS AMENDED AND UPDATED. EROSION AND SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED AND PCSM BMPs ARE OPERATIONAL.
26. CONTRACTOR SHALL FOLLOW THE PROCEDURES OUTLINED BY THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND THE SEQUENCE OF CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE TOWNSHIP ENGINEER AND THE COUNTY CONSERVATION DISTRICT.
27. SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION AFTER EACH RUNOFF EVENT.

HERBICIDAL APPLICATION AND CONTROL MEASURES:

THE APPLICATION OF HERBICIDE SHALL BE CONDUCTED PER MANUFACTURERS SPECIFICATIONS. RODENTICIDE SHALL BE USED FOR APPLICATIONS WITHIN 100 FEET OF ANY WETLAND, POND, STREAM, ETC. OTHERWISE, USE OF RODENTICIDE IS NOT ACCEPTABLE. APPLICATIONS OF HERBICIDES SHALL BE CONDUCTED BY A CONTRACTOR LICENSED BY THE STATE OF PENNSYLVANIA DEPARTMENT OF AGRICULTURE. APPLICATION OF ANY HERBICIDE SHALL BE CONDUCTED AT A 1/2 INCH ABOVE GROUND HEIGHT. THE MANUFACTURER'S SAFETY PRECAUTIONS SHALL BE CONDUCTED ACCORDING TO MANUFACTURERS RECOMMENDATIONS. STORAGE AND DISPOSAL PROCEDURES SHALL BE CONDUCTED ACCORDING TO MANUFACTURERS RECOMMENDATIONS. ALL MIXING AND APPLICATION PROCEDURES SHALL BE CONDUCTED ACCORDING TO MANUFACTURERS SPECIFICATIONS. AVOID OVER-SPRAY AND SPRAYING WHEN WINDS ARE IN EXCESS OF 5 MPH PER HOUR.

CLEAN FILL REQUIREMENTS:

1. THE OPERATOR MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT ANY NECESSARY FILL IMPORT OR EXPORT MATERIAL ASSOCIATED WITH THIS PROJECT QUALIFIES AS CLEAN FILL. ALL FILL MATERIAL MUST BE USED IN ACCORDANCE WITH PADEP'S POLICY "MANAGEMENT OF FILL", DOCUMENT NUMBER 258--2182--773. A COPY OF THIS POLICY IS AVAILABLE ONLINE AT WWW.DEFWEB.STATE.PA.US.
2. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM WASTE AND IS RECOGNIZABLE AS SUCH (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE). THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
3. CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE WITHIN THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN PADEP'S POLICY "MANAGEMENT OF FILL".
4. ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE PADEP FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT WWW.DEFWEB.STATE.PA.US.
5. ENVIRONMENTAL DUE DILIGENCE: THE LANDOWNER/APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF PADEP'S POLICY "MANAGEMENT OF FILL".
6. FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE MUNICIPAL OR RESIDUAL WASTE REGULATIONS IN 25 PA CODE CHAPTER 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS CAN BE FOUND AT WWW.PACODE.COM.
7. ALL FILLS SHALL BE COMPLETED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SIPPING, EROSION OR EXCESS SATURATION.

UTILITY TRENCHING REQUIREMENTS:

1. LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
2. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION, AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM WORK CREWS FOR CLEARING-GRUBBING AND SITE RESTORATION-STABILIZATION OPERATIONS.
3. PLACE COMPOST FILTER SOCK DOWN-SLOPE OF THE PROPOSED TRENCHING ACTIVITIES. PLACE EXCAVATED MATERIALS ON THE UP-SLOPE SIDE OF THE TRENCH.
4. TOPSOIL SHALL BE REMOVED AND STOCKPILED SEPARATELY FROM BACKFILL SOILS. TOPSOIL SHALL BE REPLACED UPON FINAL GRADING FOR STABILIZATION.
5. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT. PLUG INSTALLATION SHALL BE GRABED TO FINAL CONTOURS AND STABILIZED IMMEDIATELY IN ACCORDANCE WITH THE SEEDING & MULCHING SCHEDULE.
6. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
7. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA SHALL BE GRABED TO FINAL CONTOURS AND STABILIZED IMMEDIATELY IN ACCORDANCE WITH THE SEEDING & MULCHING SCHEDULE.
8. REMOVE COMPOST FILTER SOCK AND OTHER E&S CONTROL MEASURES AFTER AREA IS STABILIZED. ANY AREAS DISTURBED DURING THE REMOVAL OF E&S CONTROL MEASURES SHALL BE RESTABILIZED IMMEDIATELY.

TOPSOIL APPLICATION:

GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN.

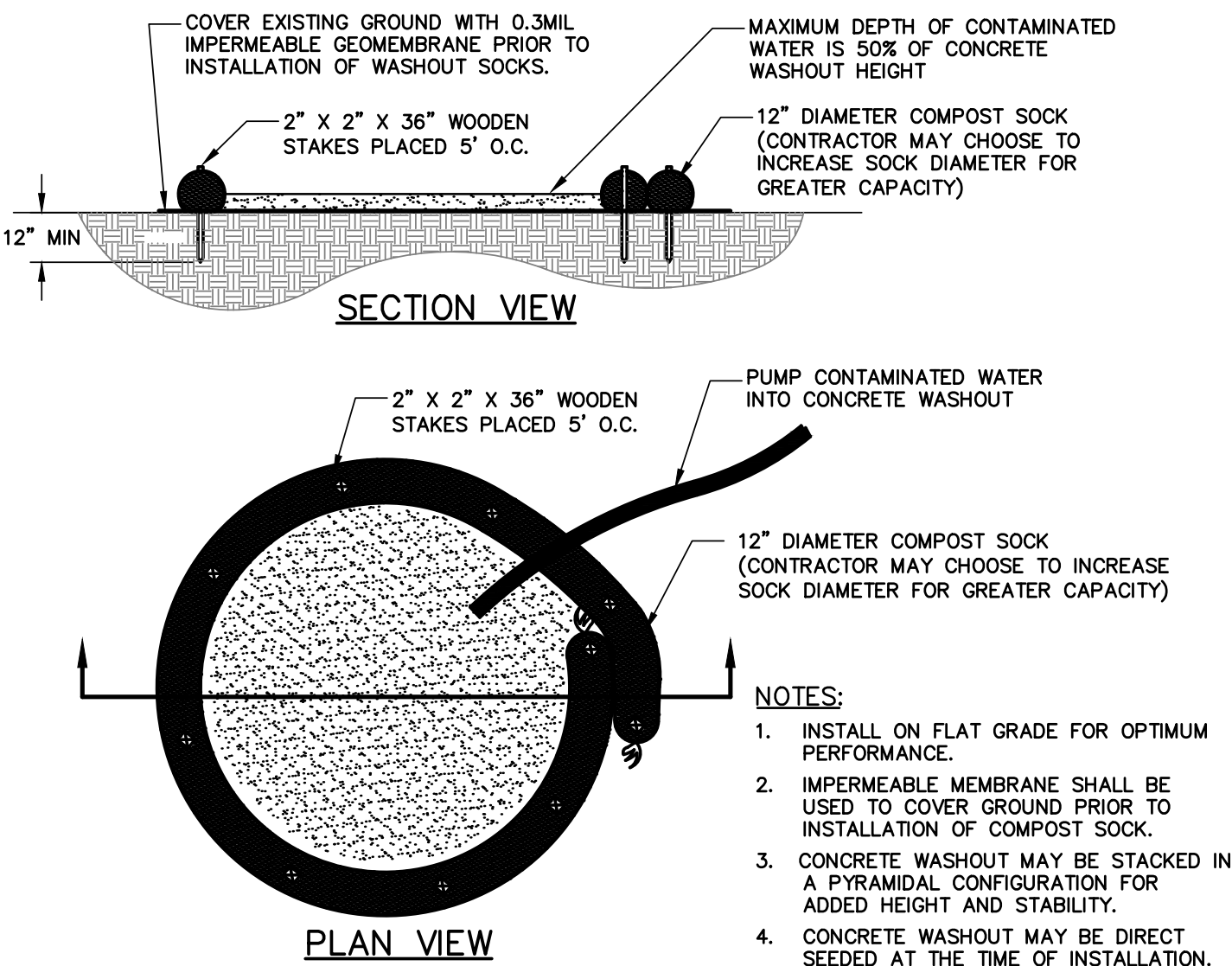
TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 TO 8 INCHES MINIMUM - 2 INCHES ON FILL OUTSLOPES. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESISTING TO SEEDING OR PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS UNLESS SUCH DEPRESSIONS ARE PART OF THE PCSM PLAN.

TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION. COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHEREVER POSSIBLE PRIOR TO SEEDING.

CUBIC YARDS OF TOPSOIL REQUIRED FOR APPLICATION TO VARIOUS DEPTHS:

DEPTH (IN)	PER 1,000 SQUARE FEET	PER ACRE
1	3.1	134
2	6.2	268
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	808
7	21.7	943
8	24.8	1,074

- * TOPSOIL SHALL BE REPLACED TO A DEPTH EQUAL TO PREDEVELOPMENT DEPTHS OR A MINIMUM OF 6 INCHES.



COMPOST SOCK CONCRETE WASHOUT DETAIL

NOT TO SCALE

SEEDING AND PLANTING SPECIFICATIONS:

SITE PREPARATION:

1. IF TOPSOIL HAS BEEN SPREAD AND WEEDS AND OTHER INVASIVE PLANT GROWTH HAS BEEN PERMITTED TO GERMINATE, THEN AREAS SHALL BE TREATED WITH A SYSTEMIC HERBICIDE (GLYPHOSATE - "TRIOIDE") ONE (1) MONTH PRIOR TO THE INSTALLATION OF THE SPECIFIED SEED MIXTURE. AFTER TWO (2) WEEKS OF HERBICIDE APPLICATION, AREAS TO BE SEEDD SHALL BE TREATED AGAIN IF PERSISTENT WEEDS RE-GERMINATE.

INSTALLATION:

ONLY AFTER THE ABOVE SITE PREPARATION AND ALL EXISTING VEGETATION TO BE REMOVED IS ERADICATED SHALL THE FOLLOWING SEED INSTALLATION STEPS TAKE PLACE:

1. ALL AREAS TO BE SEEDD SHALL BE CLEARED OF ALL REMAINING DEBRIS AND VEGETATION.
2. TILL ALL AREAS TO BE SEEDD TO A MINIMUM DEPTH OF FOUR (4) INCHES.
3. ADD ANY SPECIFIED SOIL AMENDMENTS TO THE TILLED AREAS (IF APPLICABLE).
4. SPREAD SEED AT RECOMMENDED RATE EVENLY ACROSS THE ENTIRE SITE.
5. FINE RAKE ALL AREAS PREVIOUSLY SEEDD TO ENSURE GOOD SOIL TO SEED CONTACT.
6. SPREAD A THIN COAT OF STRAW TO REDUCE EROSION.
7. INSTALL EROSION CONTROL BLANKET AS SPECIFIED AND SECURE WITH MANUFACTURERS RECOMMENDED STAPLES/FASTENERS.
8. WATER ENTIRE SEEDD AREA THOROUGHLY, AVOID OVER-WATERING.

FIRST YEAR MAINTENANCE:

SEED MIXTURE SHALL BE INSPECTED FOR INVASIVE WEED SPECIES. IF WEED SPECIES APPEAR IN THE SEEDD AREA SPOT TREAT BY PULLING. ALLOW SEED MIXTURE TO REACH A HEIGHT OF 12-18 INCHES IN HEIGHT, MOW TO A HEIGHT OF APPROXIMATELY SIX (6) INCHES WITH A WEED EATER.

SECOND YEAR MAINTENANCE:

MOW ONCE IN SPRING AS CLOSE TO GROUND AS POSSIBLE. ALLOW PLANTS TO GROW TO FULL HEIGHT.

CONSEQUENTIVE FOLLOWING YEARS:

MOW EVERY OTHER YEAR AND SPOT TREAT INVASIVE PLANT SPECIES.

SEEDING AND MULCHING SCHEDULE:

1. SITE PREPARATION, STABILIZATION AND MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH SEEDING AND PLANTING SPECIFICATIONS AND PENN STATE UNIVERSITY'S "THE AGRONOMY GUIDE" AND PENNDOT FORM 408 SPECIFICATIONS' MOST RECENT EDITION.

TEMPORARY SEEDING SPECIFICATION: PENNDOT FORMULA E MIX

SPECIES 1: ANNUAL RYEGRASS

% PURE LIVE SEED: 95%

APPLICATION RATE: 10.0 LBS/1,000 SY

FERTILIZER TYPE: N/A

FERTILIZER APPLICATION RATE: N/A

LIMING RATE: N/A

MULCH TYPE: STRAW

MULCHING RATE: 3.0 TONS/ACRE

PERMANENT SEEDING SPECIFICATION: PENNDOT FORMULA B MIX

SPECIES 1: PERENNIAL RYEGRASS MIXTURE

% BY WEIGHT 1: 20%

% PURE LIVE SEED 1: 92%

APPLICATION RATE 1: 8.5 LBS/1,000 SY

SPECIES 2: CREEPING RED FESCUE OR CHEWINGS FESCUE

% BY WEIGHT 2: 30%

% PURE LIVE SEED 2: 92%

APPLICATION RATE 2: 12.5 LBS/1,000 SY

SPECIES 3: KENTUCKY BLUEGRASS MIXTURE

% BY WEIGHT 3: 50%

% PURE LIVE SEED 3: 92%

APPLICATION RATE 3: 21.0 LBS/1,000 SY

FERTILIZER TYPE: N/A

FERTILIZER APPLICATION RATE: N/A

LIMING RATE: N/A

MULCH TYPE: STRAW

MULCHING RATE: 3.0 TONS/ACRE

ANCHOR MATERIAL: N/A

ANCHORING METHOD: N/A

RATE OF ANCHOR MATERIAL APPLICATION: N/A

TOPSOIL PLACEMENT DEPTH: 6 INCHES

SEEDING SEASON DATES: MARCH 15 - OCT. 15

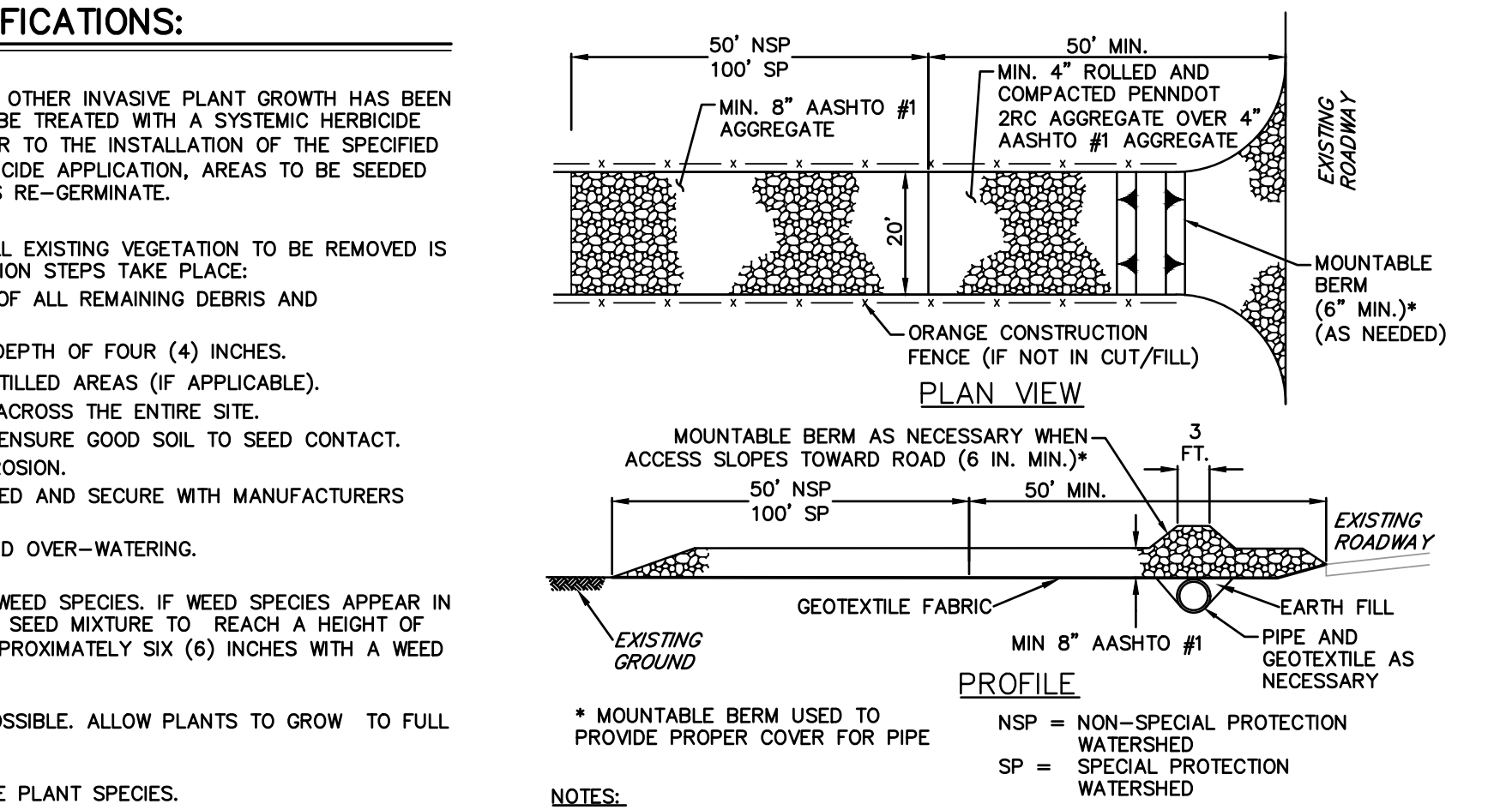
2. HAY OR STRAW MULCH SHALL BE APPLIED AT THE INDICATED RATES AND SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES 3:1 OR STEEPER.

3. PERMANENT SEEDING SHALL TAKE PLACE FROM MARCH 15 TO JUNE 1 OR FROM AUGUST 1 TO OCTOBER 15. IF COMPLETED IN OTHER SEASONS, AREAS SHALL RECEIVE TEMPORARY SEEDING AND 3.0 TONS PER ACRE MULCH.

4. STEEP SLOPE AREAS SHALL BE PROTECTED FROM EROSION BY ONE OF THE FOLLOWING METHODS. MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED FOR PARTICULAR METHOD AND SPECIFIC SITE CONDITIONS.

FLEXIBLE GROWTH MEDIUM: SHALL BE HYDRAULICALLY APPLIED COMBINATION OF SEED, MULCH, AND EROSION PROTECTION MATERIAL SIMILAR TO "FLEXITERRA" BY ACF OR EQUAL BY OTHER MANUFACTURER.

EROSION CONTROL MATTING: SHALL BE TEMPORARY MATTING SIMILAR TO SC350 BY NORTH AMERICAN GREEN OR EQUAL BY OTHER MANUFACTURER.



* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

SP = NON-SPECIAL PROTECTION

WSP = SPECIAL PROTECTION

WSP = WATER SHED

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NPDES EROSION AND SEDIMENT CONTROL NOTES:

- EROSION AND SEDIMENT CONTROL MEASURES:**
- COMPOST FILTER SOCKS – USED AS THE PRIMARY PERIMETER CONTROL AS WELL AS TO PROTECT STOCKPILES, INFILTRATION AREAS, AND TO DELINEATE THE GENERAL LIMIT OF DISTURBANCE ON THE SITE.
 - COMPOST SOCK – LOCATION(S) SHOWN APPROXIMATELY ON PLANS. CONTAINS CONCRETE WASHOUT MATERIALS FROM CHUTES AND MIXERS.
 - COMPOST SOCK – TO BE USED TO TREAT CONSTRUCTION RUNOFF THAT CANNOT BE TREATED BY ANOTHER TREATMENT DEVICE.
 - EROSION CONTROL – TO BE INSTALLED TO PROTECT EMBANKMENTS AND BERMS FROM ACCELERATED EROSION.
 - INLET PROTECTION – TO BE INSTALLED AT ALL PROPOSED INLET STRUCTURES AND THE EXISTING INLET STRUCTURES IDENTIFIED ON PLANS.
 - ROCK CONSTRUCTION ENTRANCE – PROVIDED AT LOCATIONS SHOWN ON PLANS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
 - SOIL STOCKPILES – LOCATIONS SHOWN APPROXIMATELY ON PLANS. STOCKPILES TO BE REUSED TO BRING SITE TO GRADE.
 - TOPSOIL STOCKPILES – LOCATIONS SHOWN APPROXIMATELY ON PLANS. TOPSOIL STOCKPILES SHALL BE PHYSICALLY SEPARATED FROM SOIL STOCKPILES.
 - VEGETATIVE STABILIZATION – USED TO TEMPORARILY OR PERMANENTLY SECURE AND PROTECT EXPOSED GROUND TO PREVENT EROSION AND SEDIMENTATION.

PLANNING AND DESIGN §102.4(b)(4)

- THE FOLLOWING MEASURES ARE TAKEN TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE:
- ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE.
 - SEQUENCE CONSTRUCTION ACTIVITIES BY LIMITING DISTURBANCES TO A SPECIFIC TASK SUCH THAT EACH TASK IS COMPLETED BEFORE THE NEXT TASK IS INITIATED.
 - THE LIMITS OF DISTURBANCE HAVE BEEN DELINEATED AS THE MINIMUM PRACTICAL AREAS. ALL OTHER AREAS SHALL NOT BE DISTURBED, AND ARE SUBJECT TO THE FOLLOWING CRITERIA:
 - AREAS SHALL NOT BE SUBJECT TO GRADING OR MOVEMENT OF EXISTING SOIL.
 - EXISTING VEGETATION IN A HEALTHY CONDITION MAY NOT BE REMOVED.
 - INVASIVE NON-NATIVE VEGETATION MAY BE REMOVED.
 - PRUNING OR OTHER REQUIRED MAINTENANCE OF VEGETATION IS PERMITTED.
 - AREAS SHALL BE PROTECTED AND DELINEATED IN THE FIELD.
- THE FOLLOWING MEASURES ARE TAKEN TO MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION:
- ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE.
 - THE LIMITS OF DISTURBANCE HAVE BEEN DELINEATED AS THE MINIMUM PRACTICAL AREAS. ALL OTHER AREAS SHALL NOT BE DISTURBED, AND ARE SUBJECT TO THE FOLLOWING CRITERIA:
 - AREAS SHALL NOT BE SUBJECT TO GRADING OR MOVEMENT OF EXISTING SOIL.
 - EXISTING VEGETATION IN A HEALTHY CONDITION MAY NOT BE REMOVED.
 - INVASIVE NON-NATIVE VEGETATION MAY BE REMOVED.
 - PRUNING OR OTHER REQUIRED MAINTENANCE OF VEGETATION IS PERMITTED.
 - ADDITIONAL PLANTING IS PERMITTED.

- THE FOLLOWING MEASURES ARE TAKEN TO PREVENT OR MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF:
- SUBSURFACE MANAGED RELEASE CONCEPT (MRC) SCMS (VERSION 1.5 REVISED 8/15/2025)
 - TEMPORARY AND PERMANENT SEEDING

SOILS AND GEOLOGIC FORMATIONS §102.4(b)(5)(ii)

SOIL MAP INFORMATION BY THE USDA NRCS WEB SOIL SURVEY IS PROVIDED ON THIS SHEET. SOIL LIMITATIONS AND RESOLUTIONS ARE ALSO PROVIDED ON THIS SHEET.

VOLUME AND RATE OF RUNOFF FROM PROJECT SITE AND WATERSHED AREAS §102.4(b)(5)(iv)

THE PROPOSED PROJECT MINIMIZES DISTURBANCE TO THE MAXIMUM EXTENT POSSIBLE, AND WILL UTILIZE THE E&S BMPs LISTED ABOVE TO CONTROL EROSION AND SEDIMENTATION FROM THE LIMITED EARTH DISTURBANCE. THE PROPOSED PROJECT WILL NOT NEGATIVELY IMPACT THE DOWNSTREAM WATERCOURSE'S RESISTANCE TO EROSION, AND THE PROPOSED BMP DESIGN COMPLIES WITH CONTROL GUIDELINE 1 (CG-1) REQUIREMENTS. STANDARD E&S WORKSHEETS AND CALCULATIONS FOR THE PROPOSED E&S BMPs ARE INCLUDED IN THE E&S REPORT.

RECEIVING SURFACE WATERS §102.4(b)(5)(v)

RUNOFF FROM THE PROJECT SITE DRAINS TO ROUND MEADOW RUN, WHICH HAS A RECEIVING WATER CLASSIFICATION OF TSF, WF, PER CHAPTER 93 OF THE PA CODE. THE PROJECT SITE IS NOT LOCATED WITHIN ANY HQ OR EV WATERSHEDS, AND THERE ARE NO WETLANDS ON THE SITE.

SEQUENCE OF CONSTRUCTION §102.4(b)(5)(vi)

- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRADING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, AND A REPRESENTATIVE FROM THE COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- UPON INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BERMS AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM, INC. SHALL BE NOTIFIED AT 1-800-242-1778 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE COUNTY CONSERVATION DISTRICT PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.
- EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL. SITE DISTURBANCE CANNOT BE BEGUN WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.
- ALL EROSION CONTROL DEVICES SHALL BE CHECKED WEEKLY AND AFTER EACH RAIN EVENT. ALL PRELIMINARY EROSION CONTROL DEVICES SHALL BE REPAIRED, REPLACED, REGRADING, RESEEDING, REMULCHING, AND RENETTING SHALL BE PERFORMED IMMEDIATELY. NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA SHALL REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS.
- THE CESSATION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
- SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF RUNOFF OR SEDIMENT DISPLACEMENT. SPECIAL ATTENTION SHALL BE GIVEN TO FROZEN SLOPES, STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE, AND/OR OTHER MULCHES THAT BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.

CONSTRUCTION SEQUENCE

- FIELD-MARK LIMITS OF DISTURBANCE USING SURVEY STAKES AND/OR CONSTRUCTION FENCE AS APPROPRIATE
- INSTALL PERIMETER SEDIMENT BARRIERS AS INDICATED ON PLANS
- ROCK CONSTRUCTION ENTRANCE
- COMPOST SOCK SEDIMENT TRAP
- COMPOST FILTER SOCKS
- SITE DEMOLITION
 - DEMOLISH AND DISPOSE OF EXISTING STRUCTURES AS INDICATED ON PLANS
 - DEMOLISH AND DISPOSE OF EXISTING CURB AND PAVEMENT AS INDICATED ON PLANS
 - INSTALL GEOTEXTILE FABRIC, BASE STONE AND UNDERDRAIN SYSTEM WITH UPURNED ELBOW
- SITE EARTHWORK
 - CLEAR AND GRUB AREAS INDICATED ON PLANS
 - GRADE SITE WITH INCREMENTAL STABILIZATION AS NEEDED SO THAT FINAL GRADINGS WILL MEET THOSE INDICATED ON THE PLANS
- CONSTRUCT NEW BUILDING ADDITIONS
 - CONSTRUCT BASEMENTS AND FOUNDATIONS
 - INSTALL FOUNDATION DRAIN AND STUB FOR FUTURE CONTINUATION THROUGH SITE
 - CONSTRUCT SUPERSTRUCTURE OF NEW ADDITIONS. SITEWORK MAY CONTINUE WHILE THE SUPERSTRUCTURES ARE BEING CONSTRUCTED
- CONSTRUCT NEW UTILITY CONNECTIONS, INCLUDING WATER, SANITARY SEWER, GAS, AND ELECTRIC AS INDICATED ON PLANS
- CARE SHOULD BE TAKEN TO AVOID CONFLICTS AT UTILITY CROSSINGS, ESPECIALLY WITH GRAVITY LINES SUCH AS SANITARY AND STORM SEWER
- CRITICAL STAGE: CONSTRUCT SUBSURFACE MANAGED RELEASE CONCEPT BASINS 1 AND 2
 - CARE SHOULD BE TAKEN TO NOT OVER-EXCAVATE OR COMPACT THE SOIL BELOW THE BASIN TO THE MAXIMUM EXTENT POSSIBLE
 - THE BASIN BOTTOM SHOULD BE FREE FROM ROCKS AND DEBRIS
 - INSTALL OUTLET CONTROL STRUCTURE
 - INSTALL GEOTEXTILE FABRIC, BASE STONE AND UNDERDRAIN SYSTEM WITH UPURNED ELBOW
 - CONNECT UPURNED ELBOW IN UNDERDRAIN TO OUTLET CONTROL STRUCTURE AND INSTALL END CAP WITH DRILLED ORIFICE
 - INSTALL STORAGE PIPES AND STONE AND INFLOW PIPE CONNECTIONS
 - AFTER INSTALLATION, PREVENT SEDIMENT-LADEN WATER FROM ENTERING THE FACILITY

- INSTALL NEW STORM SEWER STRUCTURES (INLETS, MANHOLES, AND OUTLET CONTROL STRUCTURES) AND PIPE AND CONNECT TO SUBSURFACE MANAGED RELEASE CONCEPT BASINS AS INDICATED ON PLANS
- AS EACH STORM SEWER STRUCTURE IS CONSTRUCTED, INSTALL INLET PROTECTION AND ENSURE THAT SURROUNDING AREA IS LOWER IN ELEVATION THAN THE TOP OF GRATE SO THAT STORMWATER RUNOFF WILL BYPASS THE INSTALLED INLETS AND COMPOST SOCK SEDIMENT TRAP. WATER RUNOFF SHOULD NOT ENTER THE NEW STORM SEWER SYSTEM DURING THIS POINT OF CONSTRUCTION.
- INLET PROTECTION SHALL REMAIN UNTIL THE TRIBUTARY AREAS TO THE SCMS ARE PERMANENTLY STABILIZED.
- FINAL GRADE PAVEMENT AREAS AND INSTALL CURBS AND STONE BASE COURSES
- ONCE THE STONE BASE COURSE IS INSTALLED, THE ROCK CONSTRUCTION ENTRANCE MAY BE REMOVED
- PERMANENT STABILIZATION
 - REPLACE TOPSOIL (4-6 INCHES) AND COMPLETE FINAL GRADING AS NEEDED
 - PERMANENT SEEDING
 - INSTALL TREES, SHRUBS, AND SEED APPLICATION
 - MULCH AND/OR BLANKETING AS INDICATED ON PLANS AND AS NEEDED BY INSPECTION
- CRITICAL STAGE: INSTALL WATER QUALITY FILTERS IN INLETS AS INDICATED ON PLANS
- APPLY PAVEMENT TO AREAS INDICATED ON PLANS
- APPLY PAVEMENT STRIPING
- REMOVAL/CONVERSION OF TEMPORARY SEDIMENT POLLUTION CONTROLS
 - THE COUNTY CONSERVATION DISTRICT IS TO BE CONTACTED PRIOR TO REMOVAL OF PRIMARY E&S BMPs, INCLUDING COMPOST FILTER SOCKS. THE DISTRICT MAY REQUEST A SITE INSPECTION PRIOR TO THE CONVERSION OR REMOVAL OF SUCH FACILITIES.
 - AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED (70% UNIFORM STABILIZATION OF DISTURBED SOIL ON-SITE WILL BE COVERED WITH VEGETATION), TEMPORARY EROSION CONTROLS INCLUDING COMPOST FILTER SOCKS MUST BE REMOVED. SHOULD AREAS BECOME DISTURBED DURING REMOVAL OF THE CONTROLS, THEY MUST BE IMMEDIATELY STABILIZED.
- MAINTENANCE OF SEEDED OR SODDED AREAS TO BE SUCH THAT AREAS WHICH WASH OUT OR ERODE ARE REPAIRED OR REPAIRED UNTIL SOIL IS ESTABLISHED. THE TOP OF EACH SQUARE YARD OF DISTURBED SOIL ON-SITE SHALL BE COVERED EVENLY WITH VEGETATION.
- SUBMIT THE NOTICE OF TERMINATION (N.O.T.) ALONG WITH SIGNED RECORD DOCUMENTS AS REQUIRED TO CLOSE THE NPDES PERMIT.

PLAN DRAWINGS §102.4(b)(5)(ii)

THE E&S PLANS INDICATE PROPOSED EARTH MOVING ASSOCIATED WITH THE PROJECT. DETAILS AND/OR TYPICALS ARE PROVIDED ON THE E&S DRAWINGS FOR EACH PROPOSED E&S BMP.

MAINTENANCE PROGRAM §102.4(b)(5)(vi)

- LONG-TERM POLLUTANT CONTROL – STORM WATER POLLUTANT CONTROL MEASURES INSTALLED DURING CONSTRUCTION THAT WILL ALSO PROVIDE BENEFITS AFTER CONSTRUCTION INCLUDE: SUBSURFACE MANAGED RELEASE CONCEPT SCMS 1 AND 2, AND SCARPING AND PERMANENT GRASS AND PAVEMENT COVER.
- MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL FACILITIES:**
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY MAINTAINED. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL MEASURES AFTER EACH MEASURABLE RUNOFF EVENT AND AT LEAST ONCE PER WEEK. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, RE-NETTING, AND RE-FENCING SHALL BE PERFORMED IMMEDIATELY. CONSTRUCTION ENTRANCE(S) SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK WHERE NECESSARY. SEE DETAILS AND INFORMATION BELOW FOR SPECIFIC MAINTENANCE PROCEDURES. IF E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF INSTALLED MEASURES WILL BE REQUIRED.
 - CONTRACTOR SHALL MAINTAIN AND MAKE AVAILABLE TO THE COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF THE ABOVE NOTED INSPECTION AND MAINTENANCE.
 - THE CONTRACTOR SHALL HAVE AVAILABLE WATER TRUCKS OR OTHER MEANS OF CONTROLLING EXCESSIVE DUST AND AIRBORNE DEBRIS.
 - AFTER THE STORM CONVEYANCE SYSTEM IS CONSTRUCTED, MONTHLY INSPECTIONS FOR EACH DEVICE WILL BE MADE. AN INSPECTION OF ALL FACILITIES WILL BE MADE AFTER EVERY STORM TO DETERMINE THEIR RESISTANCE TO DRIVING RAINS AND ACCUMULATED RUNOFF.
 - SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED AS NECESSARY AND THEN RE-SEED. A BURLAP OR STRAW COVER WILL BE APPLIED TO RETAIN THE SEED UNTIL IT HAS A CHANCE TO ROOT PROPERLY.
 - THE ABOVE PROCEDURE SHALL BE REPEATED AFTER EACH SIZABLE STORM UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT. AT MONTHLY INTERVALS THEREAFTER, INSPECTION AND NECESSARY CLEANING WILL BE DONE. TRASH THAT IS REMOVED FROM ANY OF THE CONTROL DEVICES SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL AREA. SILT THAT IS REMOVED FROM ANY OF THE CONTROL DEVICES SHALL BE MOVED AND ALLOWED TO DRY AND USED AS FILL WHEREVER REQUIRED ON THE SITE.
 - IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE MEASURES TO ADDRESS SAID CIRCUMSTANCES AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES. APPROPRIATE MATERIALS SHALL BE KEPT ON HAND TO ADDRESS SUCH EMERGENCY CONDITIONS. CONTRACTOR SHALL NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF DEP REGARDING SAID CONDITION AND MEASURES TO TAKE TO ADDRESS SAME.
 - IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITY HAS CEASED FOR A PERIOD OF 4 DAYS OR MORE, ALL AREAS SHALL BE STABILIZED. DURING NON-GERMINATING PERIODS, MULCH SHALL BE APPLIED AT SPECIFIED RATES. DISTURBED AREAS THAT ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE YEAR SHALL BE STABILIZED WITH TEMPORARY VEGETATION. AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR SHALL RECEIVE PERMANENT STABILIZATION.

- COMPOST FILTER SOCKS (CFS) – OPERATION AND MAINTENANCE**
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 - SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 - BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

- COMPOST SOCK CONCRETE WASHOUT – OPERATION AND MAINTENANCE**
- A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCK.
 - MAXIMUM DEPTH OF CONCRETE WASHOUT SHALL BE 50% OF FILTER RING HEIGHT.
- COMPOST SOCK SEDIMENT TRAP (CSST) – OPERATION AND MAINTENANCE**
- COMPOST SOCK SEDIMENT TRAP SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. SEDIMENT SHALL BE REMOVED WITHIN 24 HOURS OF INSPECTION. HEIGHT OF THE SOCKS.
 - PHOTODEGRADABLE AND BIODEGRADABLE SOCKS SHALL NOT BE USED FOR MORE THAN 1 YEAR.

- EROSION CONTROL MATING/BLANKETS – OPERATION AND MAINTENANCE**
- BLANKET AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF INSPECTION.

- INLET PROTECTION (IP) – OPERATION AND MAINTENANCE**
- ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
 - INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

- ROCK CONSTRUCTION ENTRANCE – OPERATION AND MAINTENANCE**
- ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE.
 - ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50-FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK.
 - WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE ACCEPTABLE.
- SOIL/TOPSOIL STOCKPILE – OPERATION AND MAINTENANCE**
- REFER TO COMPOST FILTER/DIVERSION SOCKS (CFS) – OPERATION AND MAINTENANCE.
- VEGETATIVE STABILIZATION – OPERATION AND MAINTENANCE**
- ALL AREAS OF VEGETATIVE STABILIZATION SHALL BE MAINTAINED WITH A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED.
 - AREAS OF VEGETATIVE STABILIZATION SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT.

MONITORING, INSPECTION, AND REPORTING REQUIREMENTS:

- VISUAL INSPECTIONS**
- THE PERMITTEE / CO-PERMITTEE(S) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND WITHIN 24 HOURS AFTER EACH MEASURABLE RUNOFF EVENT THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE RECEIPT AND ACCEPTANCE OF THE NOTICE OF TERMINATION (N.O.T.) FROM THE COUNTY CONSERVATION DISTRICT. THE VISUAL SITE INSPECTIONS AND REPORTS SHALL BE COMPLETED IN A FORMAT PROVIDED BY THE DEPARTMENT, AND CONDUCTED BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT E&S BMPs AND PCSM SCMS ARE PROPERLY CONSTRUCTED AND MAINTAINED TO EFFECTIVELY MINIMIZE POLLUTION TO THE WATERS OF THE COMMONWEALTH. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AND INCLUDE AT A MINIMUM:
- SUMMARY OF SITE CONDITIONS, E&S BMP AND PCSM SCM IMPLEMENTATION AND MAINTENANCE, AND COMPLIANCE ACTIONS; AND

2. THE DATE, TIME, NAME, AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION. NONCOMPLIANCE REPORTING
- WHEN E&S BMPs ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION, OR ANY OTHER TIME, THE PERMITTEE / CO-PERMITTEE(S) SHALL, WITHIN 24 HOURS, CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT, BY PHONE OR PERSONAL CONTACT, FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN 5 DAYS OF THE INITIAL CONTACT. NONCOMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:
- ANY CONDITION ON THE PROJECT SITE WHICH MAY ENDANGER PUBLIC HEALTH, SAFETY, OR THE ENVIRONMENT, OR INVOLVE INCIDENTS OF WATER POLLUTION.
 - THE PERIOD OF NONCOMPLIANCE, INCLUDING EXACT DATES AND TIMES AND/OR ANTICIPATED TIME WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
 - STEPS BEING TAKEN TO REDUCE, ELIMINATE, AND PREVENT RECURRENCE OF THE NONCOMPLIANCE.
 - THE DATE OR SCHEDULE OF DATES, AND IDENTIFYING REMEDIES FOR CORRECTING NONCOMPLIANCE CONDITIONS.
- REDUCTION, LOSS, OR FAILURE OF THE BMPs**
- UPON REDUCTION, LOSS, OR FAILURE OF THE BMPs, THE PERMITTEE / CO-PERMITTEE SHALL TAKE IMMEDIATE ACTION TO RESTORE THE BMPs OR PROVIDE AN ALTERNATIVE METHOD OF TREATMENT. SUCH RESTORED BMPs OR ALTERNATIVE TREATMENT SHALL BE AT LEAST AS EFFECTIVE AS THE ORIGINAL BMPs.

RECYCLING OR DISPOSAL OF MATERIALS §102.4(b)(5)(vi)

- THE FOLLOWING IS A LIST THAT IS NOT LIMITED TO, POTENTIAL MATERIALS THAT ARE ANTICIPATED TO BE CONSTRUCTION WASTE:
- TREES AND BRUSH
 - BUILDING MATERIALS
 - SANITARY SEWER STRUCTURES AND PIPE
 - STORM SEWER STRUCTURES AND PIPE
 - WATER METERS AND VALVES AND PIPE
 - GAS METERS AND VALVES AND PIPE
 - CONCRETE CURB AND SIDEWALK PAVING/SPOILS
 - ASPHALT PAVING/SPOILS
 - SIGNAGE AND BOLLARDS
 - INLET PROTECTION
 - SEDIMENT, STICKS, LEAVES, AND OTHER NATURAL LITTER
 - WRAPPERS, CANS, CONTAINERS, BAGS, AND OTHER MAN-MADE LITTER
 - REGULATED FILL MATERIALS
2. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ANY AND ALL BUILDING MATERIALS AND WASTE MATERIALS IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601. ET SEQ., 2711 ET SEQ., AND 2871 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURN, BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS AT THE SITE.
3. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN ON THE PROPERTY, DEMOLISHED OR EXCAVATED MATERIALS SHALL BE REMOVED FROM THE SITE. MATERIALS SLATED FOR REMOVAL FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ANY AND ALL APPLICABLE REGULATIONS OR OTHER GOVERNMENTAL AGENCY CURRENTLY IN EFFECT. MATERIALS NOT BE PERMITTED TO ACCUMULATE ON THE JOB-SITE. DUST AND DIRT SHALL BE HELD TO A MINIMUM DURING DEMOLITION, BY WETTING DOWN, AS REQUIRED, ON SITE BURNING OF MATERIALS WILL NOT BE PERMITTED. AT THE COMPLETION OF WORK, THE ENTIRE AREA INVOLVED WILL BE CLEAN AND LEFT IN A NEAT CONDITION, FREE OF RUBBISH. RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THIS PROJECT SITE SHALL BE UNDERTAKEN IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S SOLID WASTE MANAGEMENT RULES AND REGULATIONS.
4. SEDIMENT REMOVED FROM CONTROL FACILITIES AS A PART OF REGULAR MAINTENANCE SHALL BE DISPOSED OF UPSLOPE OF THE CONTROL FACILITY.
5. DUST CONTROL – CONSTRUCTION TRAFFIC MUST ENTER THE SITE AT THE STABILIZED CONSTRUCTION ENTRANCE(S). THE PURPOSE IS TO TRAP DUST AND MUD THAT WOULD OTHERWISE BE CARRIED OFF-SITE BY CONSTRUCTION TRAFFIC. WATER TRUCKS WILL BE USED AS NEEDED DURING CONSTRUCTION TO REDUCE DUST GENERATED ON THE SITE. DUST CONTROL MUST BE PROVIDED BY THE CONTRACTOR TO A DEGREE THAT IS ACCEPTABLE TO THE LOCAL CONSERVATION DISTRICT. AFTER CONSTRUCTION, THE SITE WILL BE STABILIZED, WHICH WILL REDUCE THE POTENTIAL FOR DUST GENERATION.
6. WATER SOURCE – NON-STORMWATER COMPONENTS OF THE PROJECT SHALL BE CLEAN WATER. WATER USED FOR CONSTRUCTION WHICH DISCHARGES FROM THE SITE MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE STATE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED SOURCE MUST NOT DISCHARGE FROM THE SITE.
7. CONCRETE WASTE FROM CONCRETE READY-MIX TRUCKS – DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY IN SPECIFICALLY DESIGNATED DIKED AREAS PREPARED TO RECEIVE SUCH WASTE. ALL USED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
8. DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

GEOLOGIC FORMATIONS/SOIL CONDITIONS §102.4(b)(5)(ii)

THERE ARE NO GEOLOGIC FORMATIONS OR SOIL CONDITIONS THAT COULD CAUSE CONTAMINANT POLLUTION DURING EARTH DISTURBANCE ACTIVITIES. HOWEVER, SOIL EROSION DURING CONSTRUCTION AND UNTIL THE SITE IS STABILIZED COULD POTENTIALLY CAUSE STORMWATER POLLUTION. TO MINIMIZE THIS POTENTIAL, THE PROPOSED EROSION AND SEDIMENT CONTROL BMPs ARE TO BE PROVIDED AND SOILS SHALL BE STABILIZED WITH EITHER TEMPORARY OR FINAL STABILIZATION IN AREAS WHERE EARTHWORK IS DELAYED OR STOPPED FOR FOUR CONSECUTIVE DAYS.

POTENTIAL THERMAL IMPACTS §102.4(b)(5)(vi)

- THERE IS A MINIMAL POTENTIAL FOR THERMAL IMPACTS TO SURFACE WATERS DURING CONSTRUCTION OF THE PROPOSED PROJECT. HOWEVER, THE FOLLOWING E&S BMPs WILL BE IMPLEMENTED TO AVOID, MINIMIZE, AND MITIGATE POTENTIAL THERMAL IMPACTS:
- COMPOST FILTER SOCKS SHALL BE APPROPRIATELY SIZED AND LOCATED TO SLOW AND FILTER RUNOFF DURING CONSTRUCTION, WHICH WILL REDUCE THE FLOW VELOCITIES AND RELEASE ENERGY (HEAT) FROM THE RUNOFF PRIOR TO DISCHARGE FROM THE SITE AND ENTRY INTO THE RECEIVING WATERS.
 - COMPOST SOCK SEDIMENT TRAP: A COMPOST SOCK SEDIMENT TRAP HAS BEEN APPROPRIATELY SIZED AND LOCATED TO SLOW AND FILTER RUNOFF DURING CONSTRUCTION OF THE PROPOSED MRC SCMS. THIS E&S BMP WILL REDUCE THE FLOW VELOCITIES AND RELEASE ENERGY (HEAT) FROM THE RUNOFF PRIOR TO DISCHARGE FROM THE SITE AND ENTRY INTO THE RECEIVING WATERS.
 - INLET FILTER BAGS: INLET FILTER BAGS SHALL BE INSTALLED IN THE INLETS AS INDICATED ON THE PLAN SHEETS TO SLOW AND FILTER RUNOFF DURING CONSTRUCTION, WHICH WILL REDUCE THE FLOW VELOCITIES AND RELEASE ENERGY (HEAT) FROM THE RUNOFF PRIOR TO DISCHARGE FROM THE SITE AND ENTRY INTO THE RECEIVING WATERS.
 - VEGETATIVE STABILIZATION: SOILS SHALL BE STABILIZED WITH EITHER TEMPORARY OR FINAL STABILIZATION IN AREAS WHERE EARTHWORK IS DELAYED OR STOPPED FOR FOUR CONSECUTIVE DAYS. STABILIZATION INCREASES THE TIME OF CONCENTRATION AND THE ROUGHNESS COEFFICIENT OF THE SURFACE, WHICH REDUCES THE FLOW VELOCITIES AND RELEASES ENERGY (HEAT) FROM THE RUNOFF PRIOR TO DISCHARGE FROM THE SITE AND ENTRY INTO THE RECEIVING WATERS.
 - PROTECTING EXISTING TREES: WHEREVER POSSIBLE, PROTECTING EXISTING TREES AVOIDS AND MINIMIZES POTENTIAL THERMAL IMPACTS BY ALLOWING EXISTING TREES TO CONTINUE TO PROVIDE SHADE TO COOL THE GROUND SURFACE, WHICH WILL RESULT IN COOLER RUNOFF TEMPERATURES.
 - PLANTING NUMEROUS NEW AND REPLACEMENT TREES: PLANTING NEW TREES MINIMIZES AND MITIGATES POTENTIAL THERMAL IMPACTS BY PROVIDING NEW SHADED AREAS TO COOL THE GROUND SURFACE, WHICH WILL RESULT IN COOLER RUNOFF TEMPERATURES.
 - TWO SUBSURFACE MRC SCM 6.4.6 DRY WELLS: THE PROJECT PROPOSES TWO (2) SUBSURFACE MRC DRY WELLS THAT WILL COLLECT AND MITIGATE TRIBUTARY RUNOFF UNDERGROUND IN THE PROPOSED PIPE AND STONE DESIGN. THIS WILL COOL THE POST-CONSTRUCTION STORMWATER DUE TO NATURALLY LOWER UNDERGROUND TEMPERATURES, AS OPPOSED TO ABOVE-GROUND BASINS, WHERE PONDING RUNOFF COULD POTENTIALLY BE WARMED BY DIRECT EXPOSURE TO THE SUN. OUTLET CONTROL STRUCTURES FOR EACH SCM HAVE BEEN APPROPRIATELY DESIGNED TO MEET THE PEAK RATE AND VOLUME REQUIREMENTS.

E&S PLAN DESIGNED AND IMPLEMENTED TO BE CONSISTENT WITH PCSM PLAN §102.4(b)(5)(iv)

THE EROSION AND SEDIMENT CONTROL (E&S) PLANS AND REPORT AND THE POST-CONSTRUCTION STORMWATER MANAGEMENT (PCSM) PLANS AND REPORT HAVE BEEN PROVIDED SEPARATELY. HOWEVER, THEY HAVE BEEN PLANNED, DESIGNED, AND IMPLEMENTED TO BE CONSISTENT WITH THE POST-CONSTRUCTION STORMWATER MANAGEMENT, IMPROVEMENTS, SOILS, WETLANDS, FLOODWAYS, STREAMS, DISCHARGE LOCATIONS, ETC. THE PCSM DRAWINGS AND REPORT MAKE UP THE PCSM PLAN, AND THE E&S DRAWINGS AND REPORT MAKE UP THE E&S PLAN. DIMENSIONS AND ELEVATIONS INDICATED ON THE DRAWINGS ARE CONSISTENT WITH THOSE USED IN THE SUPPORTING CALCULATIONS.

EXISTING/PROPOSED RIPARIAN FOREST BUFFERS §102.4(b)(5)(vi)

THERE ARE NO EXISTING OR PROPOSED RIPARIAN FOREST BUFFERS LOCATED WITHIN THE LIMITS OF DISTURBANCE FOR THIS PROJECT.

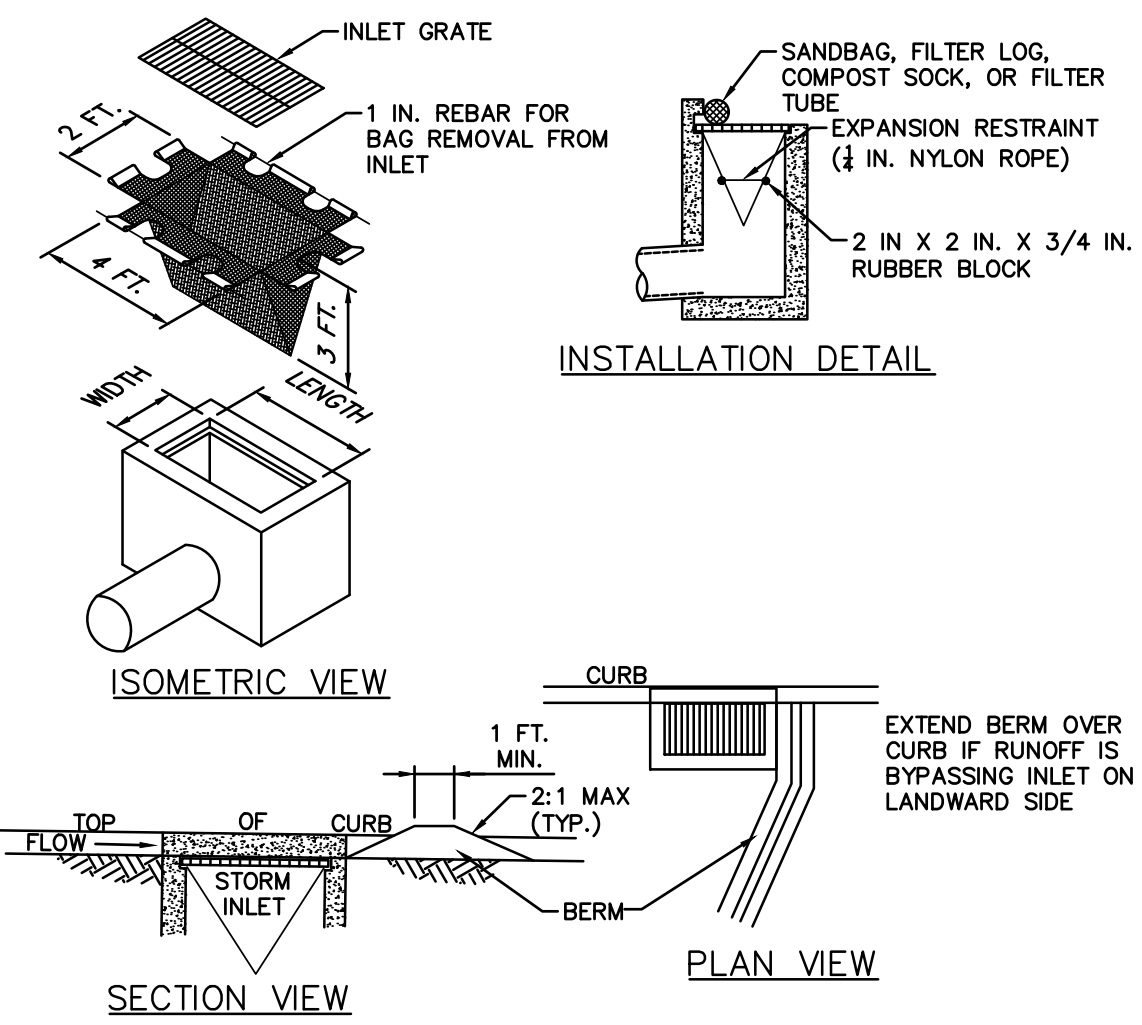
TERMINATION OF COVERAGE

- NOTE: UPON PERMANENT STABILIZATION OF EARTH DISTURBANCE ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITIES THAT ARE AUTHORIZED BY THIS PERMIT AND WHEN SCMS IDENTIFIED IN THE PCSM PLAN HAVE BEEN PROPERLY INSTALLED, THE PERMITTEE AND/OR CO-PERMITTEE OF THE FACILITY MUST SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM THAT IS SIGNED IN ACCORDANCE WITH PART 1 OF THE NOTICE OF TERMINATION (N.O.T.) FORM. ALL LETTERS CERTIFYING DISCHARGE TERMINATION ARE TO BE SENT TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE N.O.T. MUST CONTAIN THE FOLLOWING INFORMATION: FACILITY NAME, ADDRESS, AND LOCATION, OPERATOR NAME AND ADDRESS, PERMIT NUMBER, IDENTIFICATION AND PROOF OF ACKNOWLEDGMENT FROM THE PERSONS WHO WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE PCSM SCMS IN ACCORDANCE WITH THE APPROVED PCSM PLAN, AND THE REASON FOR PERMIT TERMINATION. UNTIL THE PERMITTEE HAS RECEIVED WRITTEN ACKNOWLEDGEMENT OF THE N.O.T., THE PERMITTEE WILL

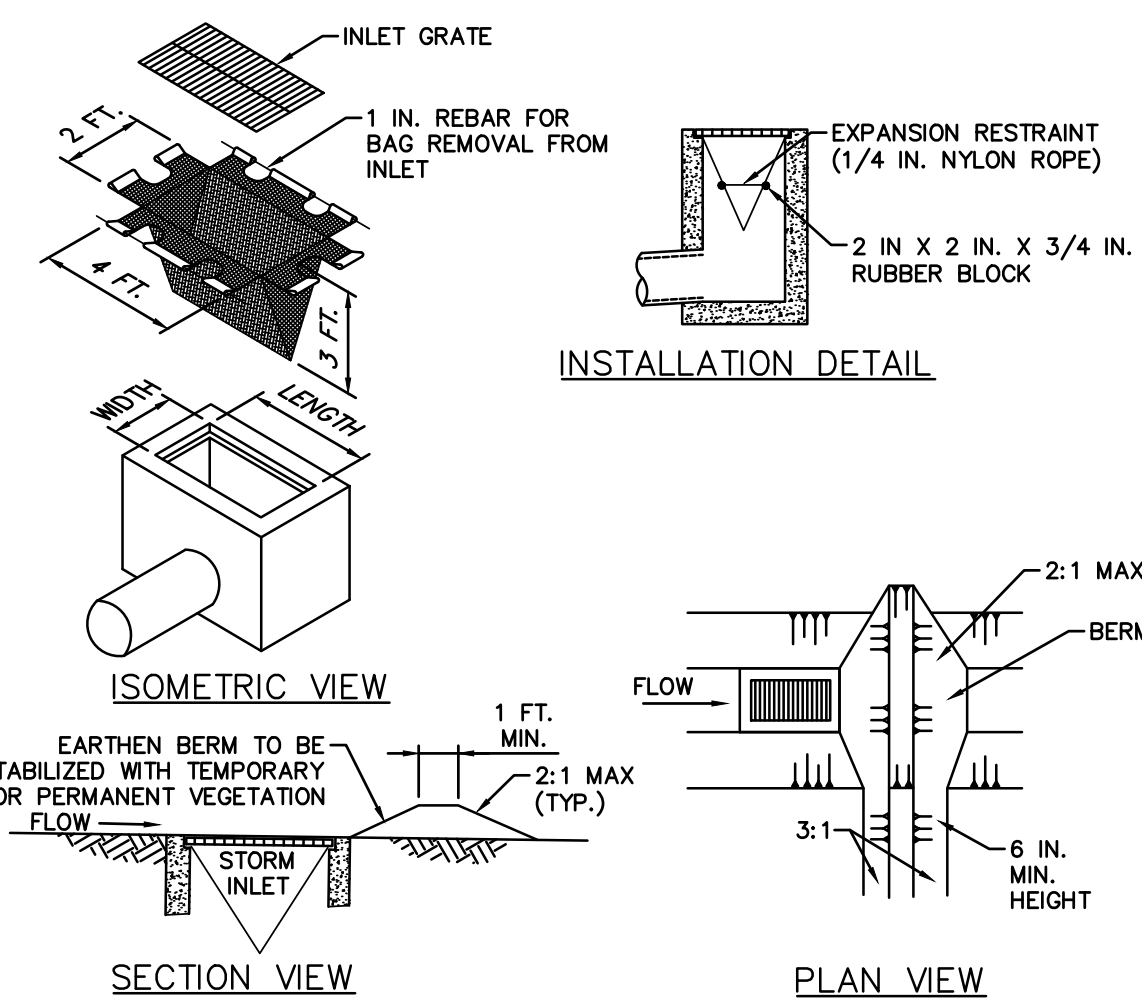
REMAIN RESPONSIBLE FOR OPERATING AND MAINTAINING ALL E&S BMPs AND PCSM SCMS ON THE PROJECT SITE AND WILL BE RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE.

COMPLETION CERTIFICATE AND FINAL PLANS

WITHIN 30 DAYS AFTER THE COMPLETION OF EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS PERMIT, INCLUDING THE PERMANENT STABILIZATION OF THE SITE AND PROPER INSTALLATION OF PCSM SCMS IN ACCORDANCE WITH THE APPROVED PCSM PLAN, THE PERMITTEE SHALL SUBMIT THE N.O.T. IF SOONER. THE PERMITTEE SHALL FILE WITH THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT A STATEMENT SIGNED BY A LICENSED PROFESSIONAL AND BY THE PERMITTEE CERTIFYING THAT WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND THE APPROVED E&S AND PCSM PLANS.



- NOTES:**
- MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 - INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 - ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
 - AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
 - INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
 - DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.
- STANDARD CONSTRUCTION DETAIL #4-15**
- FILTER BAG INLET PROTECTION - TYPE C INLET**
- NOT TO SCALE



- NOTES:**
- MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 - INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 - ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.
 - AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
 - INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
 - DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.
- STANDARD CONSTRUCTION DETAIL #4-16**
- FILTER BAG INLET PROTECTION - TYPE M INLET**
- NOT TO SCALE



SOILS CLASSIFICATION:

BASED ON NRCS WEB SOIL SURVEY FOR MONTGOMERY COUNTY, PA

SYMBOL	SOIL NAME	RATING	SLOPE
Ugb	URBAN LAND	N/A (USE D)	0-8%
UrmB	URBAN LAND-GELENGLI COMPLEX	N/A (USE D)	0-8%

SOIL LIMITATIONS TABLE:

PER TABLE E.1 OF THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL DATED MARCH 2012, THE FOLLOWING TABLE DISPLAYS THE LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS FOR THE SOILS LOCATED ON THE PROJECT SITE.

SOIL NAME	OUTBANKS CAVE	CORROSIVE TO CONCRETE/STEEL*	DROUGHT	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE	HYDRIC/HYDRIC INCLUSIONS	LANDSLIDE PRONE	LOW PERCOLATION	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK - SWELL	POTENTIAL SINKHOLE	PONDING	WETNESS
GLENELG	X	C	X				X	X	X	X	X	X				X
URBAN LAND**	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-

NOTE: ABSENCE OF AN X DOES NOT MEAN "NO POTENTIAL LIMITATION"
* C=CONCRETE, S=STEEL
** 'URBAN LAND' NOT INCLUDED IN TABLE E.1

SOIL LIMITATIONS AND RESOLUTIONS FOR LIMITATIONS:

FlexStorm Pure inlet filters are the preferred choice for permanent inlet protection and stormwater runoff control. Constructed of stainless steel, FlexStorm Pure inlet filters will fit any drainage structure and are available with site-specific filter bags providing various levels of filtration.

Applications

- Car washes
- Commercial
- Loading ramps
- Industrial
- Gas stations
- Parking lots
- Dock drains
- Maintenance

Features

- Custom stainless steel frames are configured to fit into any drainage structure
- Flow and bypass rates meet specific inlet requirements
- Works below grade with bypass to drain area if bag is full
- Installed and maintained by one worker, without additional equipment

Benefits

- Stainless steel frame provides extended service life
- Easily replaceable filter bags
- Meets stringent removal requirements:
 - All bags rated >80% removal efficiency of street sweep-size particles
 - Optional FXP/PCP bags can be used for hydrocarbon removal when required



Material and Performance

The filter is comprised of a stainless steel frame and a replaceable geotextile filter bag attached to the frame with a stainless steel locking band. The filter bag hangs suspended below the grate that shall allow all flow bypass flow into the drainage structure if the filter is completely filled with sediment. The standard woven polypropylene "T" bags are rated for 200 gsm/sqft with a removal efficiency of 82% when filtering a USDA Sandy Loam sediment load. The post-construction PCP filter bags are rated for 137 gsm/sqft and have been third-party tested at 99% TSS removal.

Installation

1. Remove the grate from the inlet.
2. Clean debris from the ledges of the inlet.
3. Place the inlet filter onto the load bearing ledges of the structure.
4. Replace the grate and confirm it is not elevated more than $\frac{3}{8}$ " (3 mm).

Frequency of Inspections

1. Inspection should occur following rain events greater than $\frac{3}{8}$ " (13 mm).
2. Filter inspections should occur a minimum of three times per year, and in snowfall affected regions, inspections prior to and after snowfall season.
3. Industrial application site inspections (loading ramps, wash racks & maintenance facilities) to be scheduled on a recurring basis no less than four times per year or as needed.

Maintenance Guidelines

1. Empty the filter bag manually or by industrial vacuum taking care not to damage the geotextile bag when more than half filled or during scheduled inspection period.
2. Remove compacted silt from sediment bag and flush with medium spray.
3. "PCP" style bags should be pressed or wrung to recover retained oils.
4. Oil skimmer pouches solidify and darken when saturated, indicating time for replacement.
5. Dispose of all oil-contaminated products and recovered oils in accordance with EPA guidelines. Oil skimmer pouches a solidifier will not leach and can be disposed of directly.
6. Inspect and replace bag if torn or punctured.

Filter Bag Replacement

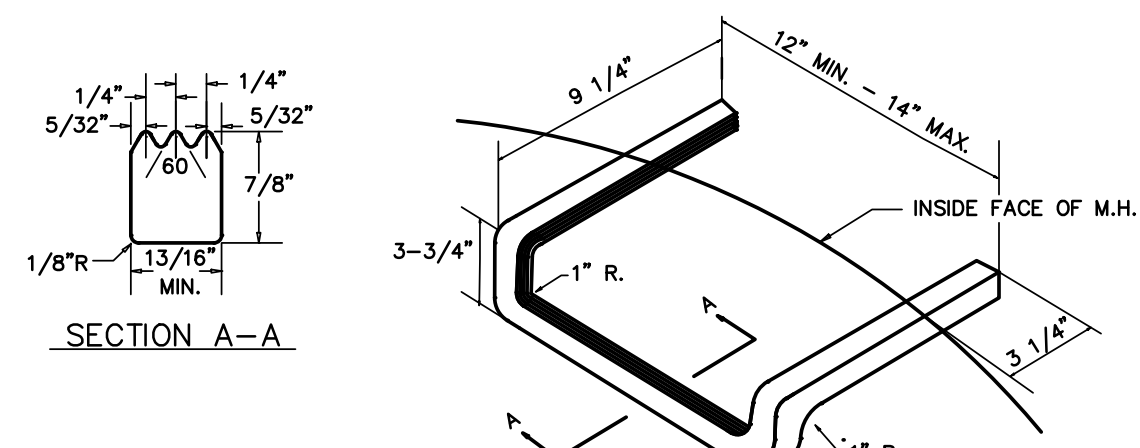
1. Remove the bag by loosening or cutting off clamping band.
2. Take the new correctly sized sediment bag and secure hose clamping band to the frame channel as previously removed.
3. Ensure bag is secure and there is no slack around perimeter.

Boulder America, Buy America (BABA)

For any questions related to Build America, Buy America (BABA) Act compliance contact an ADS representative or email flexstorm@adspipe.com.



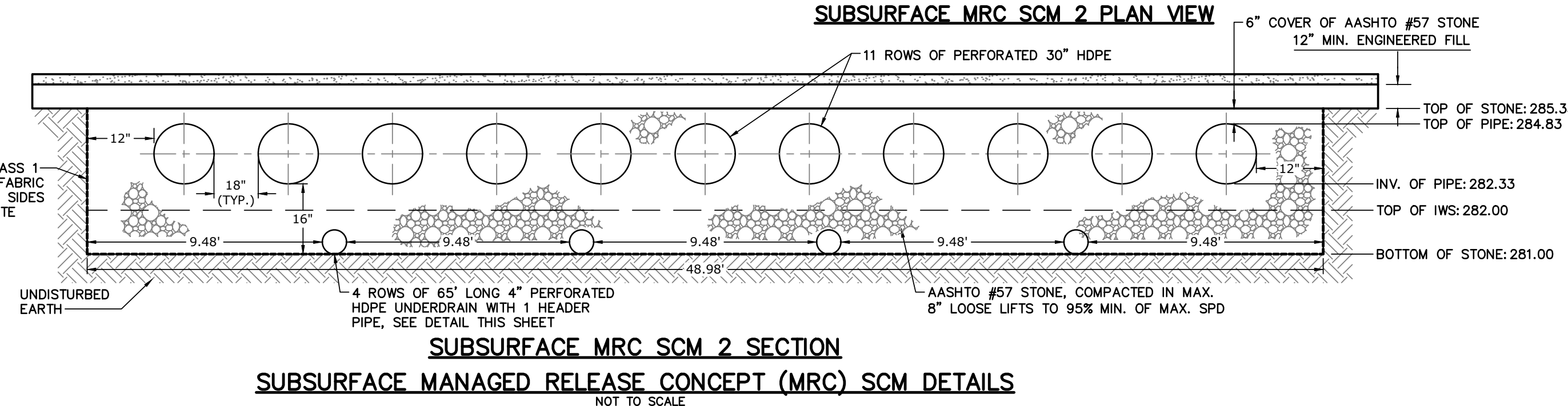
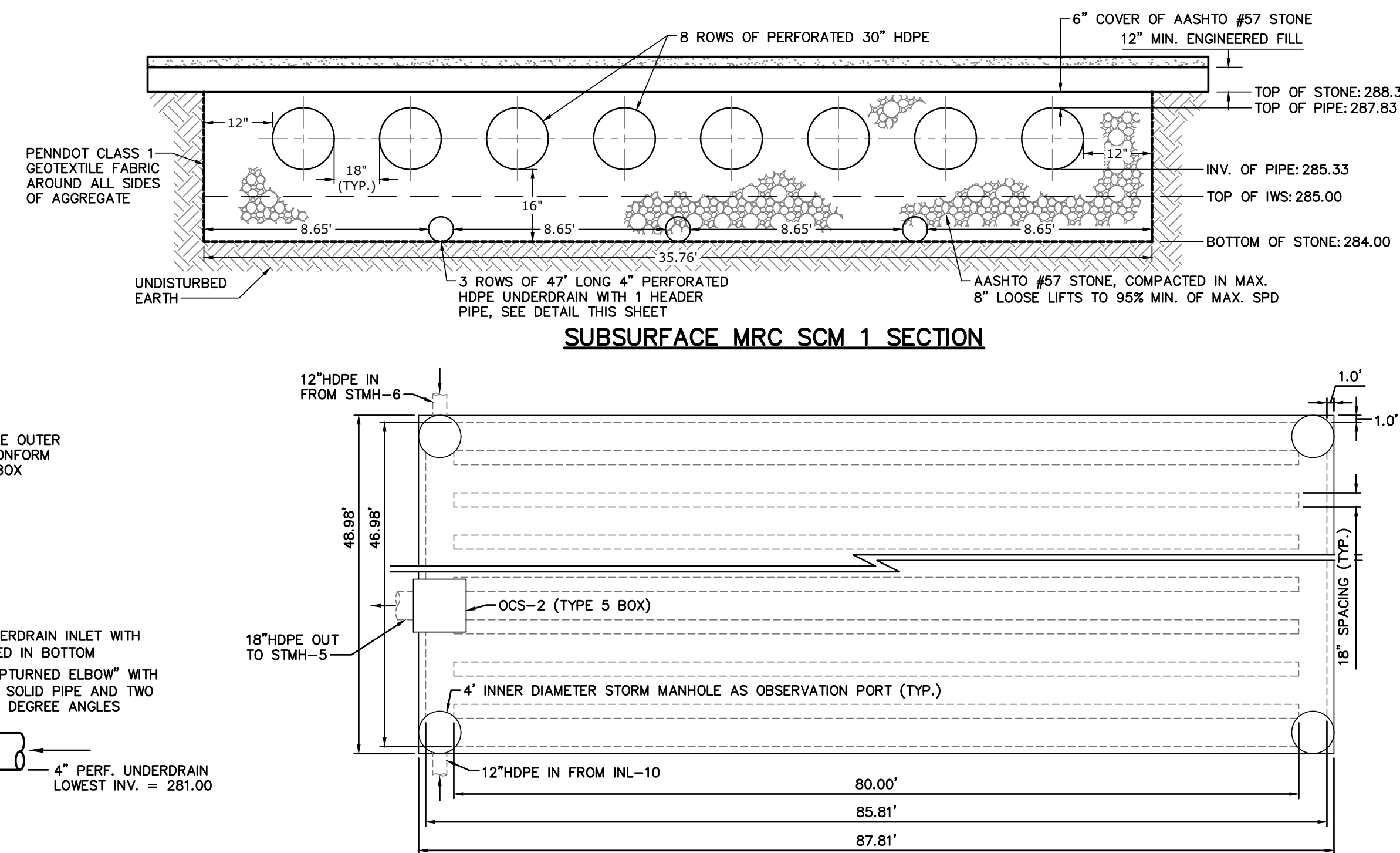
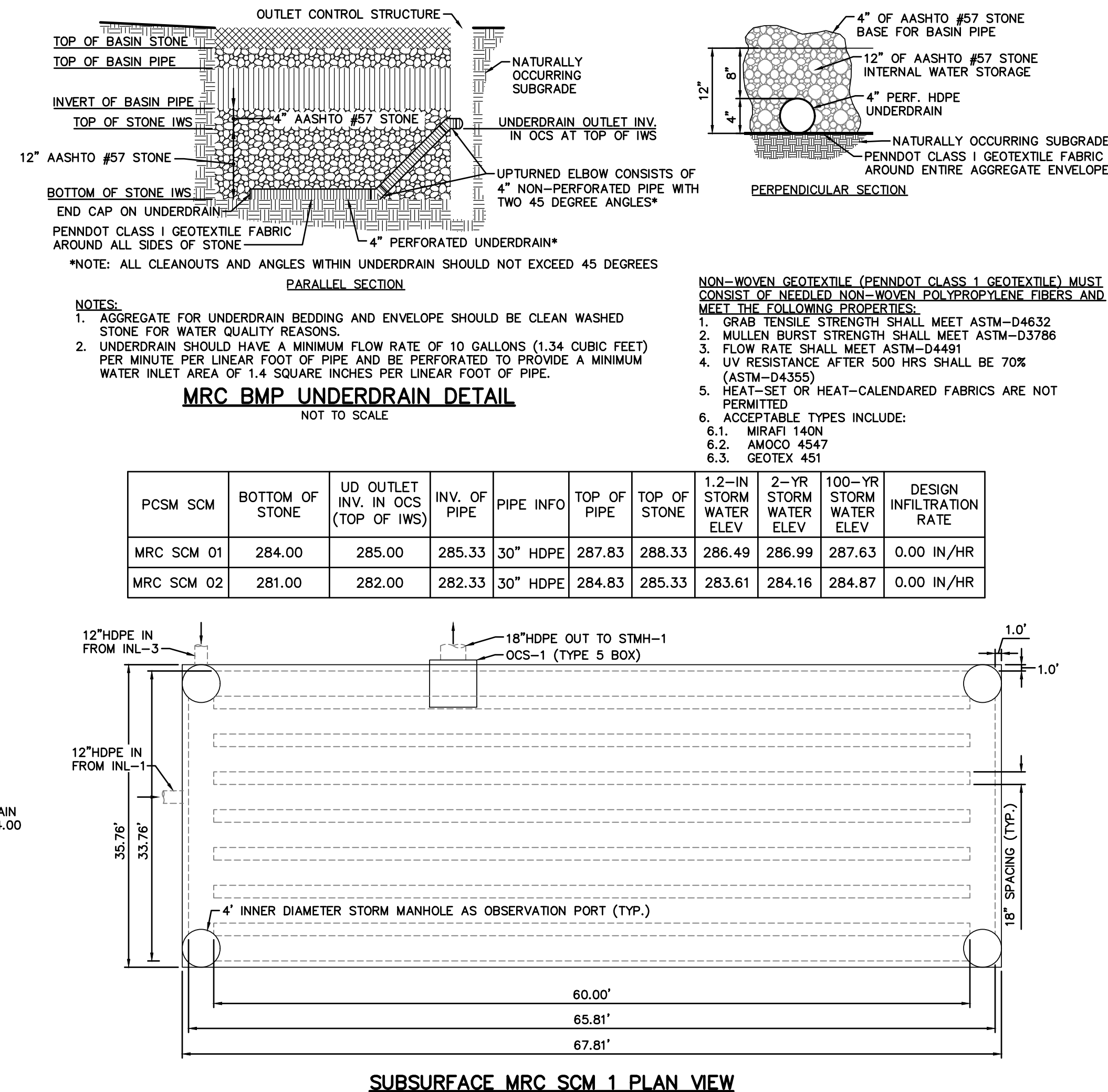
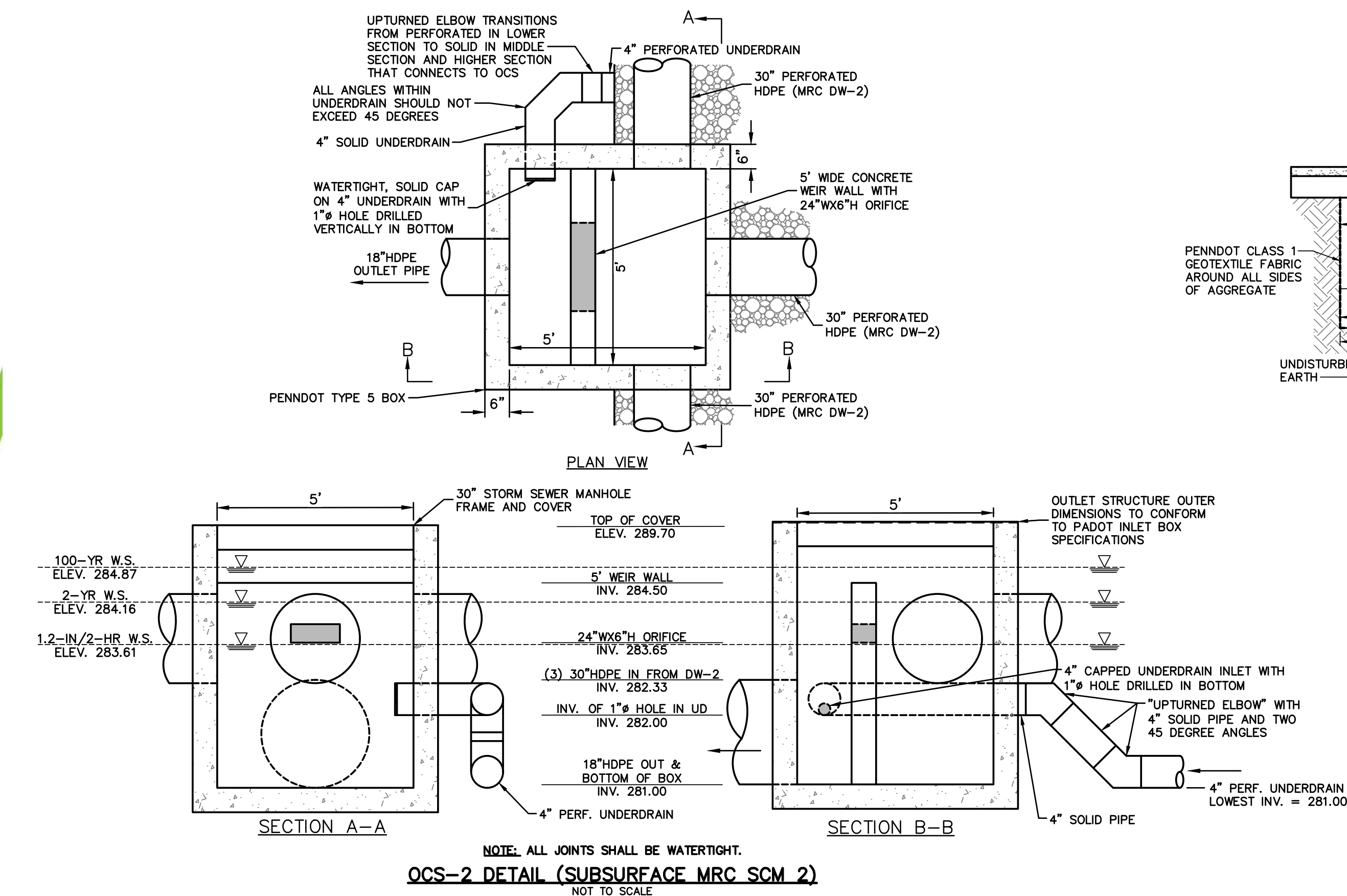
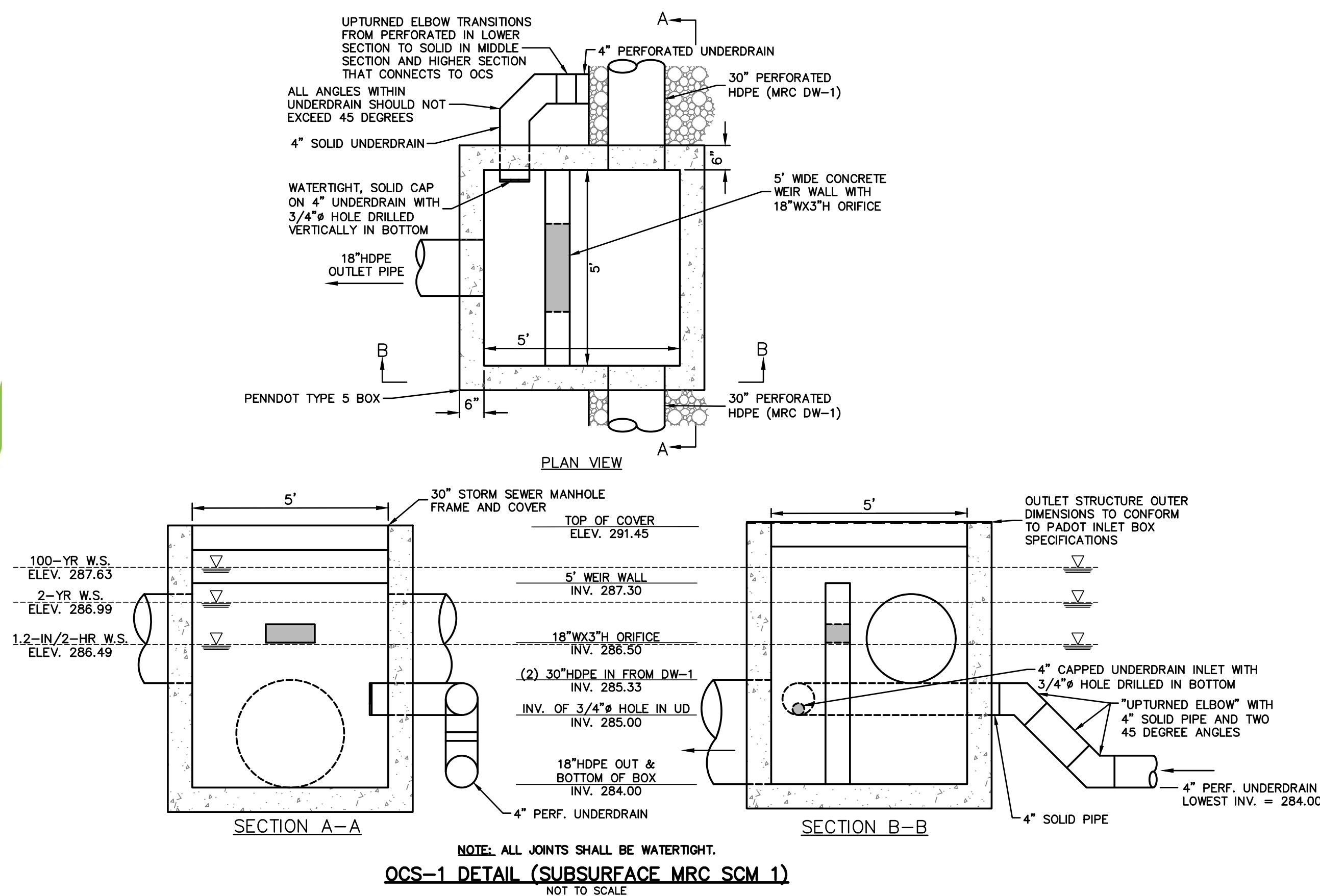
ADS "Terms and Conditions of Sale" are available on the ADS website, www.adspipe.com.
ADS™, FlexStorm Pure™ and the Green Stripe are registered trademarks of Advanced Drainage Systems, Inc.
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NOTES:

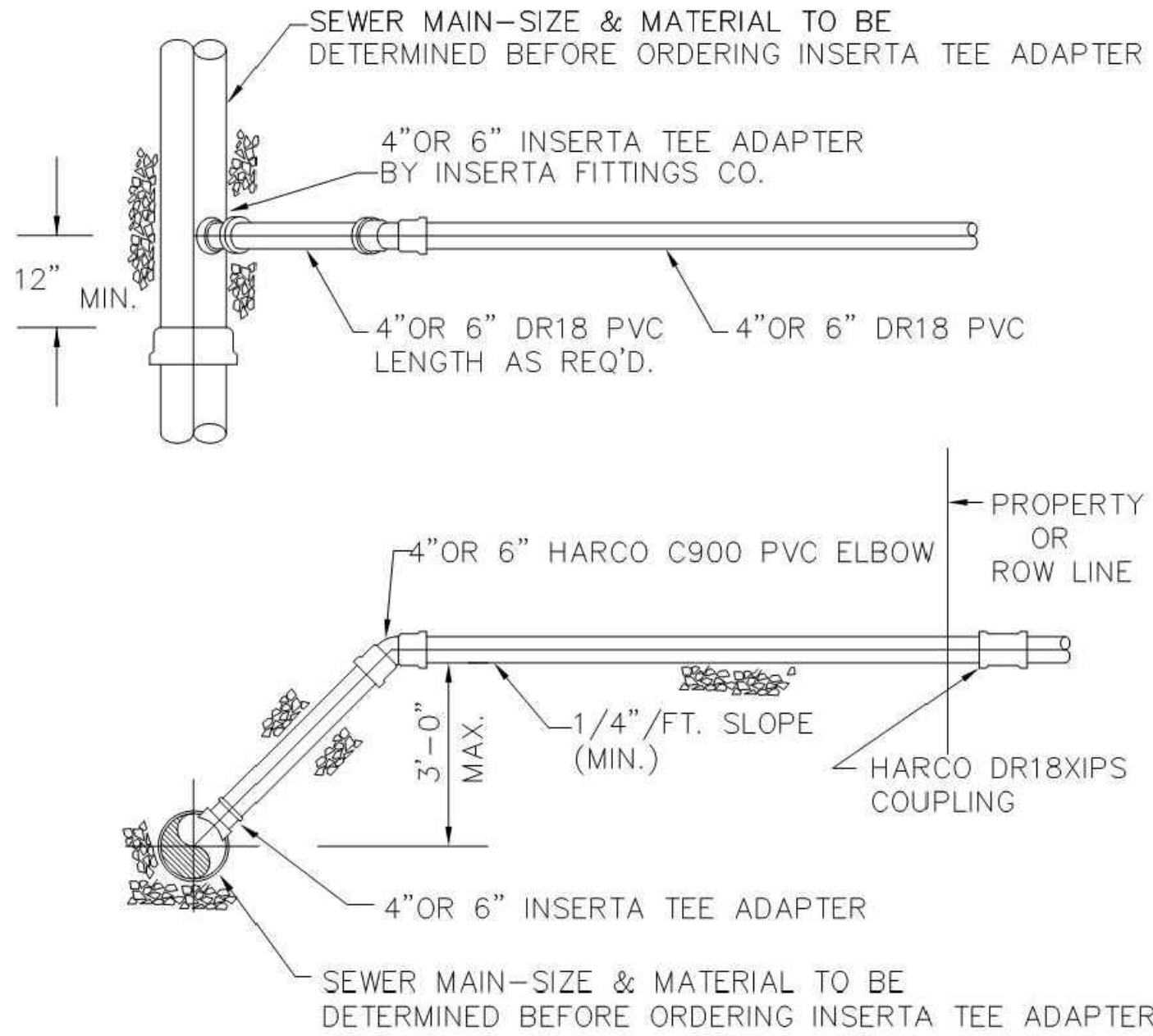
1. STEPS TO BE FABRICATED OF ALUMINUM ALLOY 6061-T6
2. PORTIONS OF STEPS TO BE EMBEDDED IN WALLS OF MANHOLES OR CHAMBERS TO BE DIPPED IN HEAVY BODIED BITUMINOUS PAINT, OR PROVIDE PLASTIC INSERT

MANHOLE STEP
NOT TO SCALE



G:\MUNICIPAL\2023\2302039.01-UMT-New Police Station Building\CAD\Production Drawings\2302039_DET.dwg Layout: CONSTR 1 Plotted By: batulder, on Fri Oct 10, 2025 at 3:06pm

NOTE:
INSERTA TEE IS A THREE PIECE SERVICE CONNECTION CONSISTING OF A PVC HUB, RUBBER SLEEVE AND STAINLESS STEEL BAND. INSERTA TEE IS COMPRESSION FIT INTO THE CORED WALL OF A MAINLINE. INSTALL STRICTLY PER MANUFACTURER'S RECOMMENDATIONS.



JOB TITLE:	UMHJA- STANDARD DETAILS	DATE:	4/9/19
DWG TITLE:	DWG 029 - LATERAL CONNECTION INTO EXISTING MAIN WITH INSERTA TEE ADAPTER	INT:	A.L.P.

CB SEWER SADDLE SEWER SADDLE

SUBMITTAL INFORMATION

* Patent #4494780

MAY BE USED IN LIEU
OF INSERTA TEE AT
CONTRACTOR'S
DISCRETION.

MATERIALS

CASTING

The saddle body is cast from ductile (nodular) iron, meeting or exceeding ASTM A 536, Grade 65-45-12.

GASKET

Gasket is made from virgin Styrene Butadiene Rubber (SBR) compounded for water and sewer service in accordance with ASTM D 2000 MBA 710.

PIPE STOP

A pipe stop is molded into the inside wall of the gasket. This pipe stop can hold up to 1000 lbs of force along the branch.

STRAP

Type 304 (18-8) Stainless Steel, 3 1/2 inches wide to

spread out clamping forces on the pipe, M.I.G. and T.I.G welds. Passivated for corrosion resistance.

BOLTS AND NUTS

Type 304 (18-8) Stainless Steel, passivated for resistance to corrosion. 1/2" National Coarse roll thread. Nuts coated to prevent galling.

COATINGS

Shop coat applied to cast parts for corrosion protection in transit. Fusion bonded epoxy, liquid epoxy and other coatings available on request.

WASHERS

Acetyl and stainless steel washers are used to reduce friction.

PRESSURE

Designed for sewer service, the Style CB saddle will hold a 7 psi air test when properly installed on a pipe within the correct outside diameter range.

DEFLECTION

When the CB saddle is installed properly the branch can accommodate up to 3 degrees of deflection.

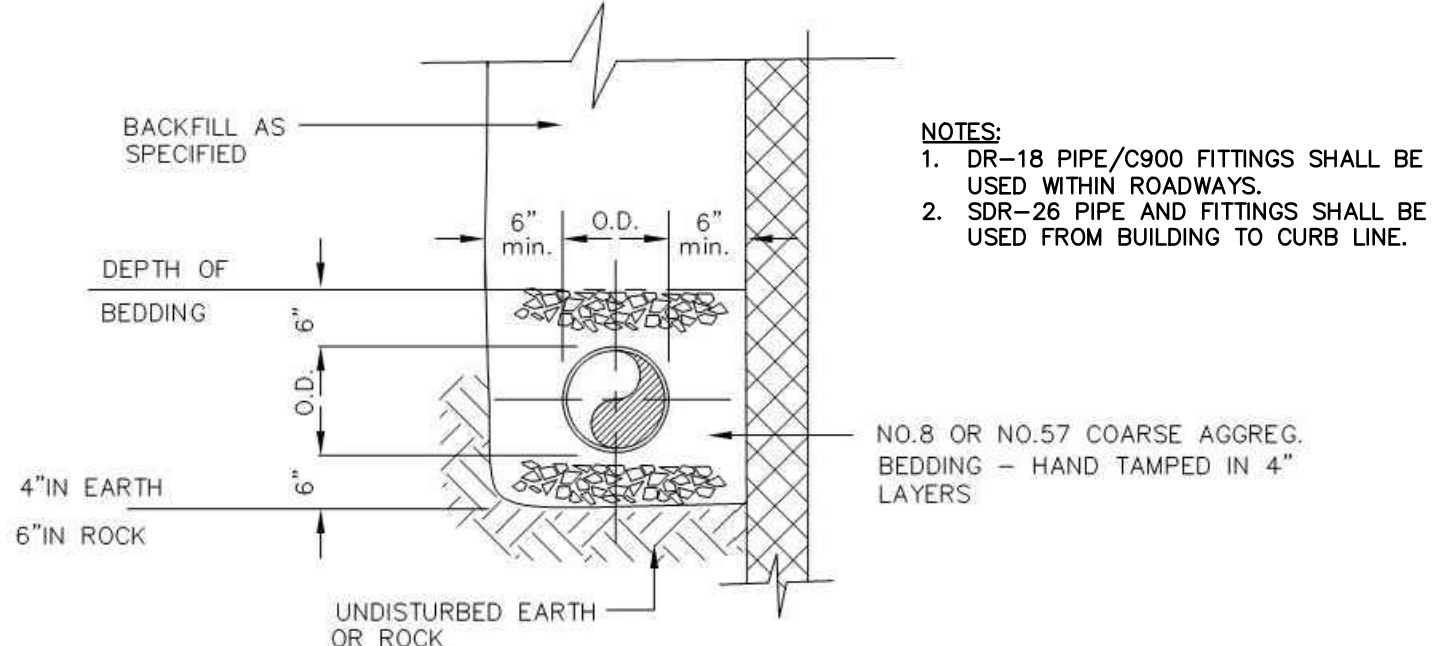
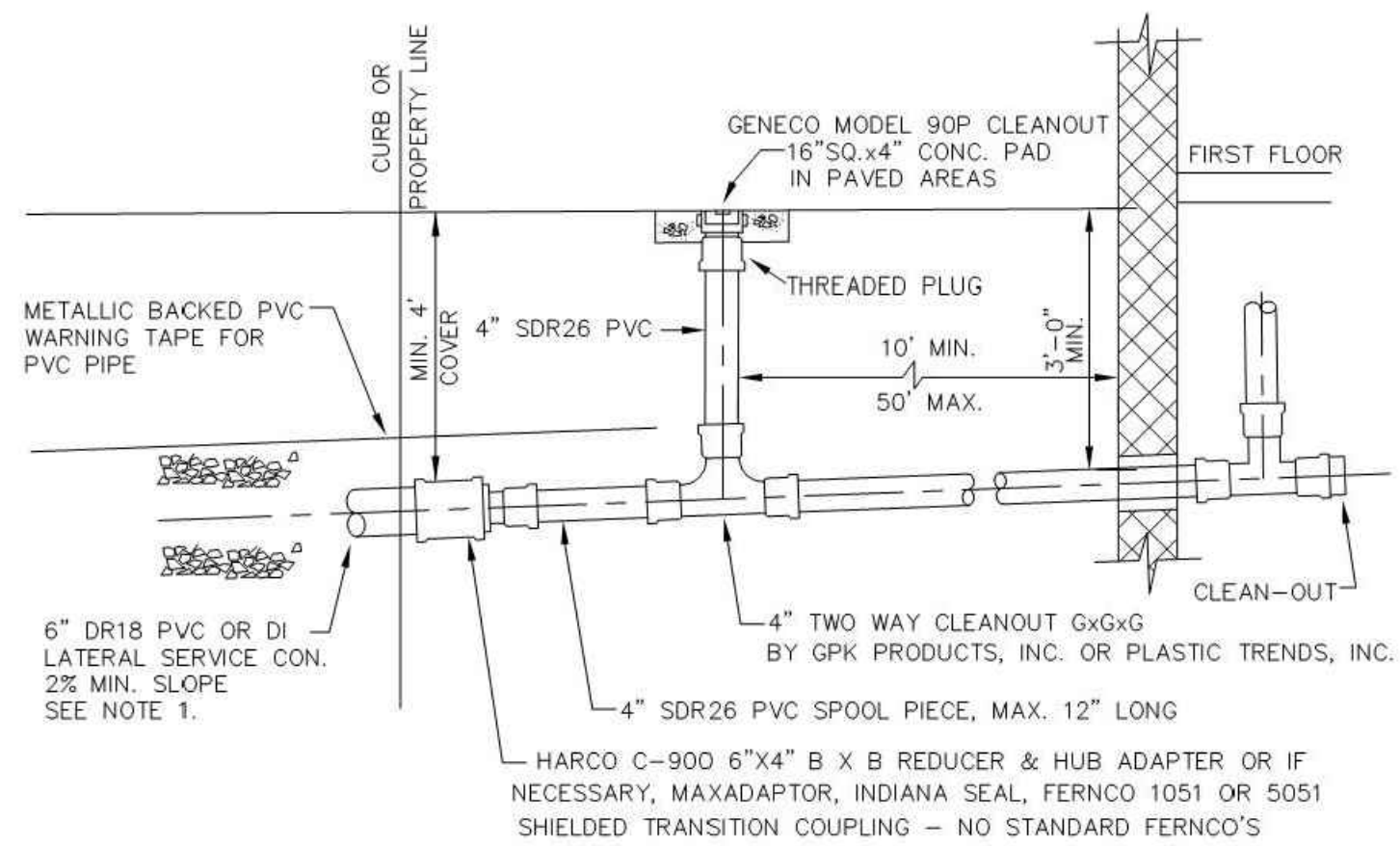
SIZES

See catalog.

This information is based on the best data available at the date printed above. Please check with Romac for any updates or changes.



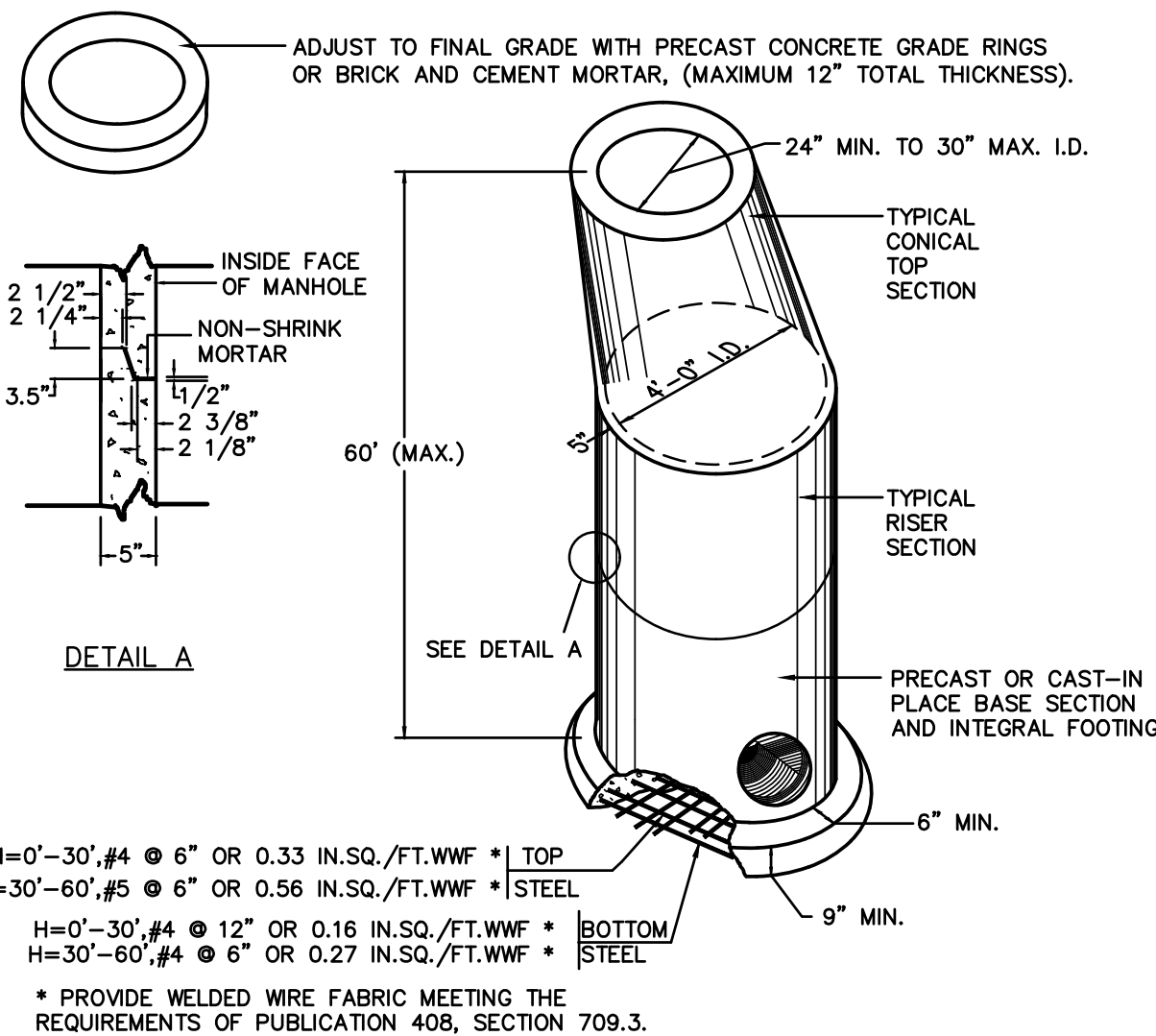
21919 20th Avenue SE • Suite 100 • Bothell, WA 98021
Phone (425) 951-6200 • 1-800-426-9341 • Fax (425) 951-6201



- NOTES:
1. ALL BUILDING SEWER TO BE TESTED PER APPLICABLE CODE
 2. CLEAN-OUT REQUIRED ONE PER 50 FEET OF PIPE AND AT EVERY BEND.
 3. CLEANOUT IN NON-PAVED AREAS SHALL BE EAST JORDAN #1574, NEENAH FOUNDRY R-1975-A2, OR APPROVED EQUAL. CLEANOUT CAP PROTECTION CASTING SHALL HAVE A MIN. OF 2-INCH OF SEPARATION BETWEEN CLEANOUT THREADED PLUG AND CASTING.

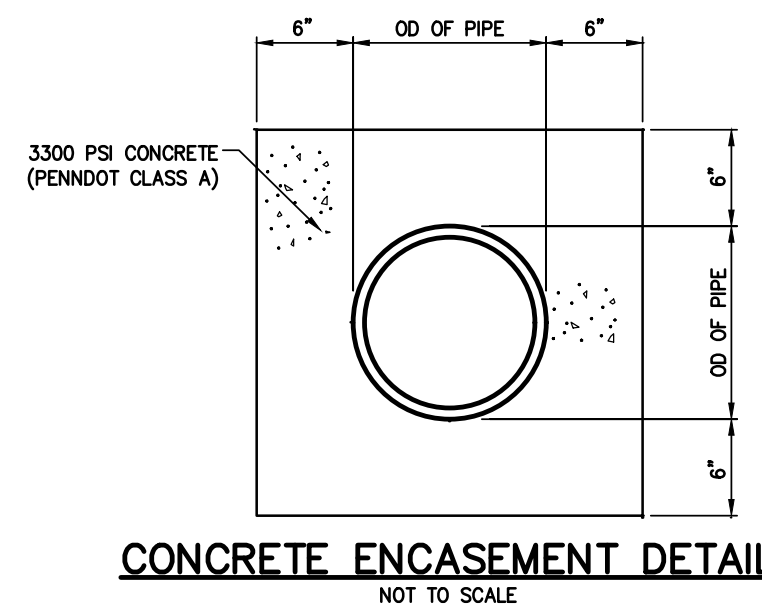
BUILDING SEWER CONNECTION (SINGLE CLEAN-OUT, NO TRAP)

DBS-01

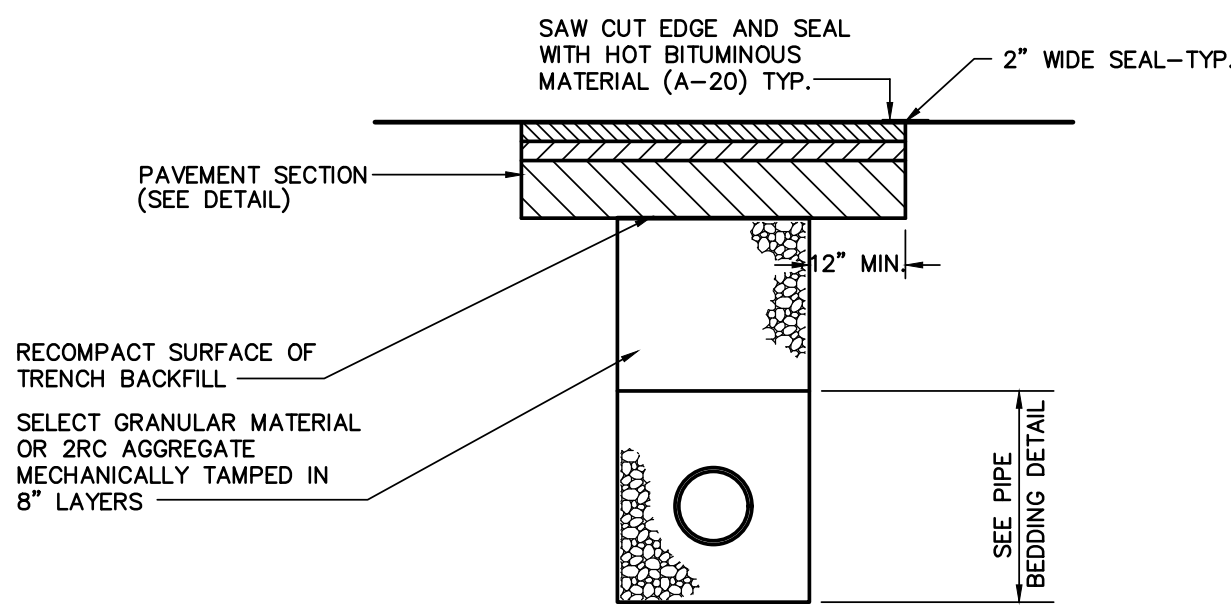


- NOTES:
1. PRECAST MANHOLES, MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 714, MAY BE SUBSTITUTED FOR STANDARD CAST-IN-PLACE MANHOLE
 2. REFER TO "COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAY DESIGN, STANDARDS FOR ROADWAY CONSTRUCTION", PAGE RC-39, SHEET 3 of 5, LATEST ISSUE, FOR NOTES AND SPECIFICATIONS REGARDING PRECAST MANHOLE CONSTRUCTION.
 3. MANHOLE STEPS SHALL BE PROVIDED IN ANY CASE WHERE THE STRUCTURE IS 5 FEET OR GREATER IN DEPTH.

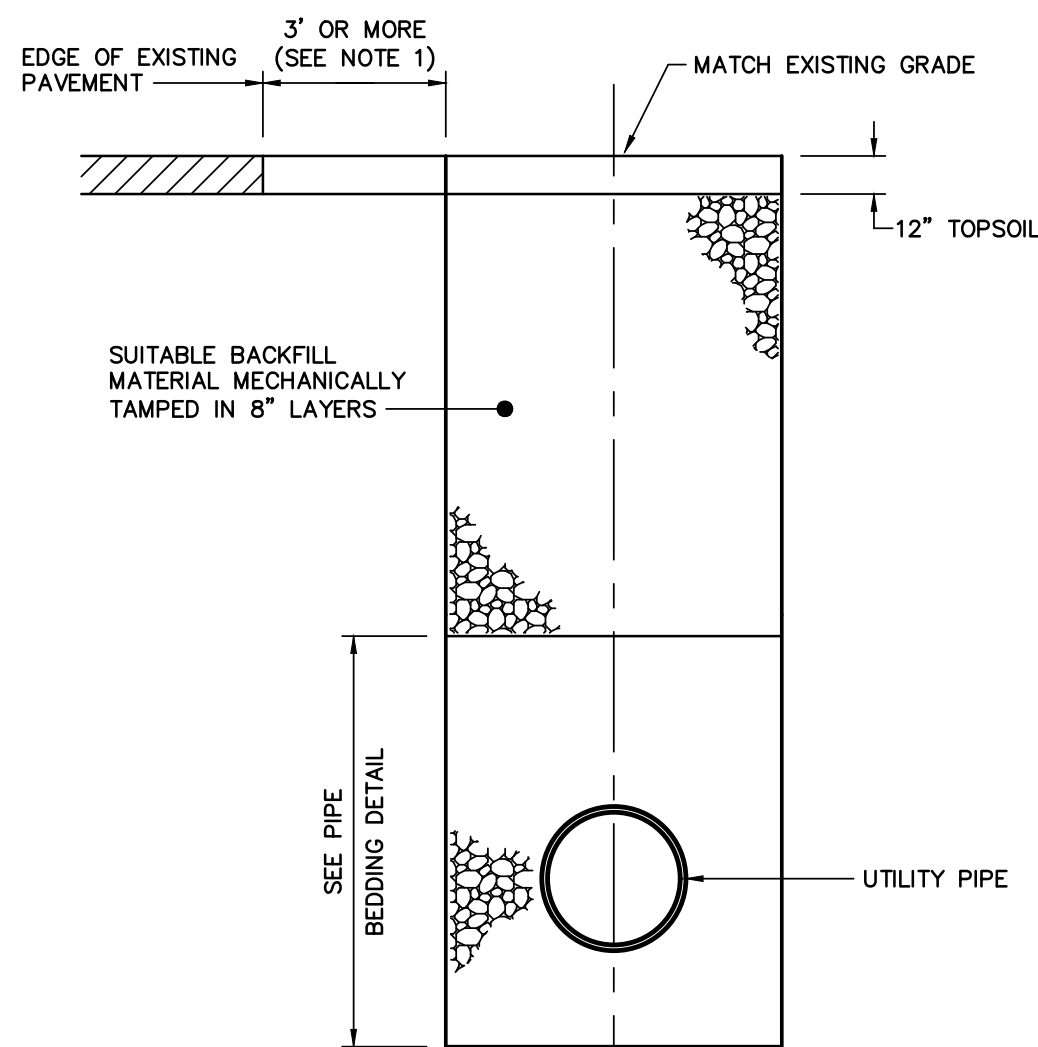
TYPICAL MANHOLE DETAIL NOT TO SCALE



CONCRETE ENCASEMENT DETAIL NOT TO SCALE

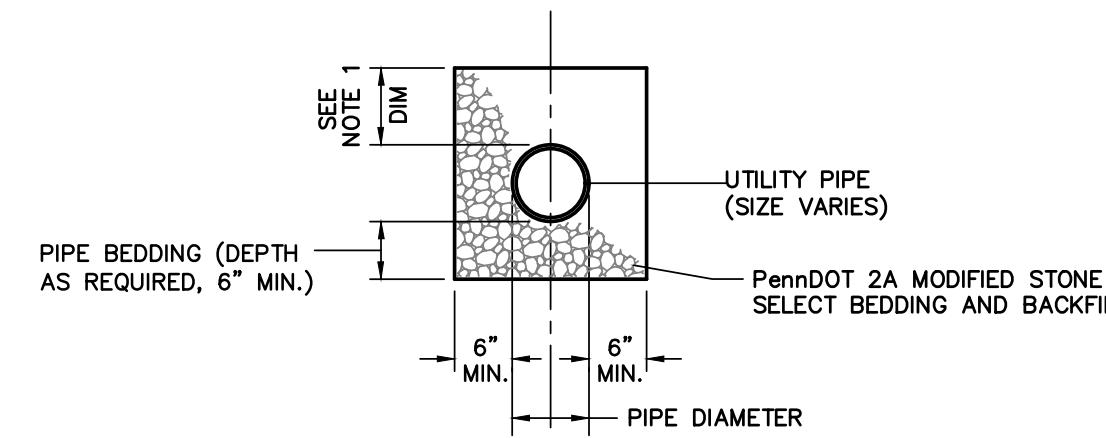


UTILITY TRENCH RESTORATION IN PAVED AREAS NOT TO SCALE



- NOTES:
1. TRENCH OPENINGS LESS THAN 3' FROM THE EDGE OF AN EXISTING PAVED SURFACE SHALL BE BACKFILLED WITH A 2A COARSE AGGREGATE MECHANICALLY TAMPED IN 8" LAYERS.

UTILITY TRENCH RESTORATION IN UNPAVED AREAS NOT TO SCALE



NOTE 1: STONE ABOVE PIPE SHOULD BE 6" IN DEPTH FOR LATERALS & 12" FOR ALL OTHER UTILITY PIPES.

PIPE BEDDING DETAIL NOT TO SCALE

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ENGINEERING & CONSULTING SERVICES

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LAND DEVELOPMENT PLAN

RENOVATIONS AND ADDITIONS FOR
TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

CONSTRUCTION DETAILS AND NOTES 1



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT No.:
23-02039

OWNERS INFO:
UPPER MORELAND TOWNSHIP
117 PARK AVENUE
MILLOW GROVE, PA 19090
(215) 659-3100

MUNICIPAL FILE No.:
N/A

TAX MAP PARCEL No.:
59-00-14053-00-9

TOTAL AREA:
4.095 AC.

TOTAL LOTS:
1

DATE:
8/29/2025

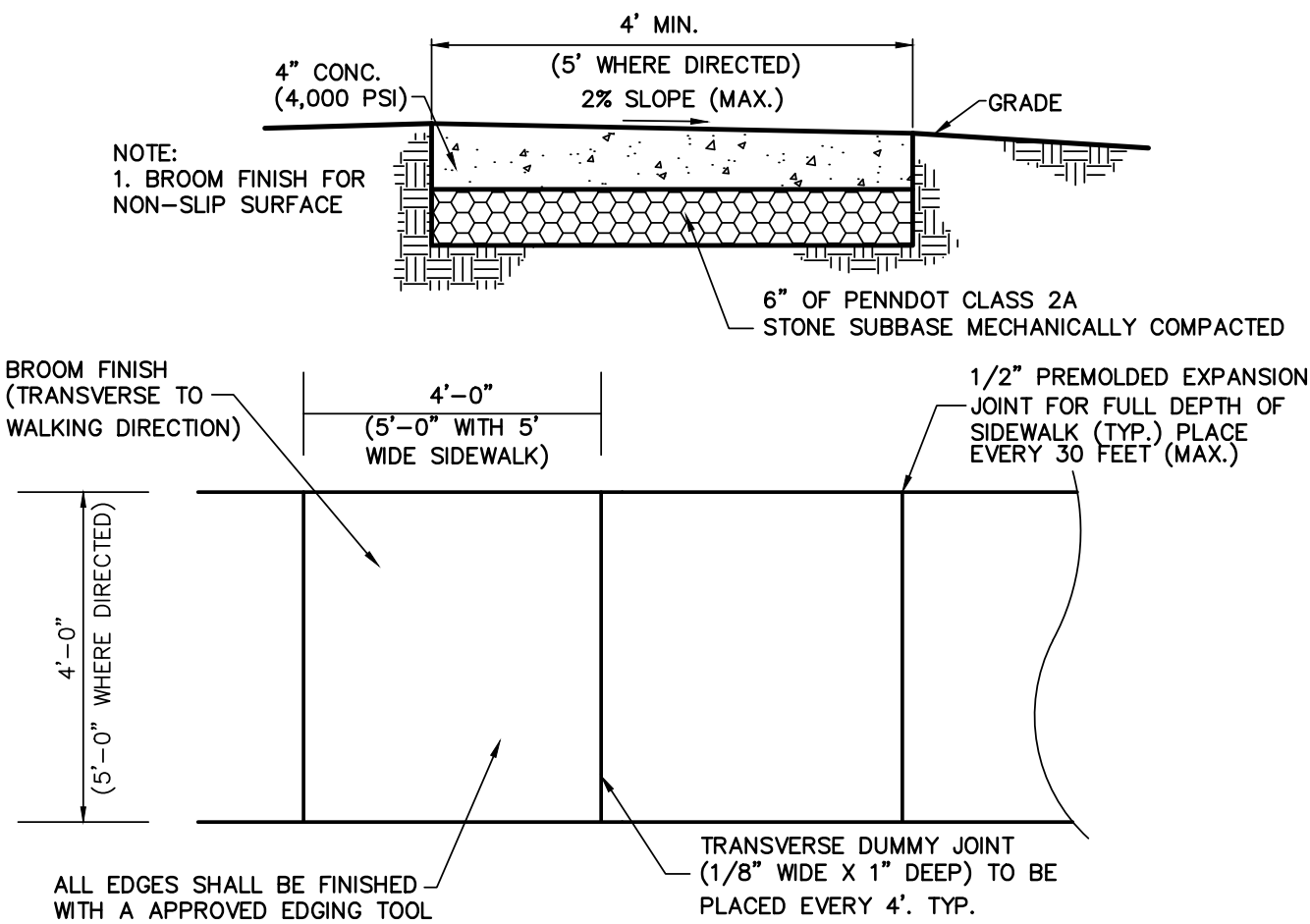
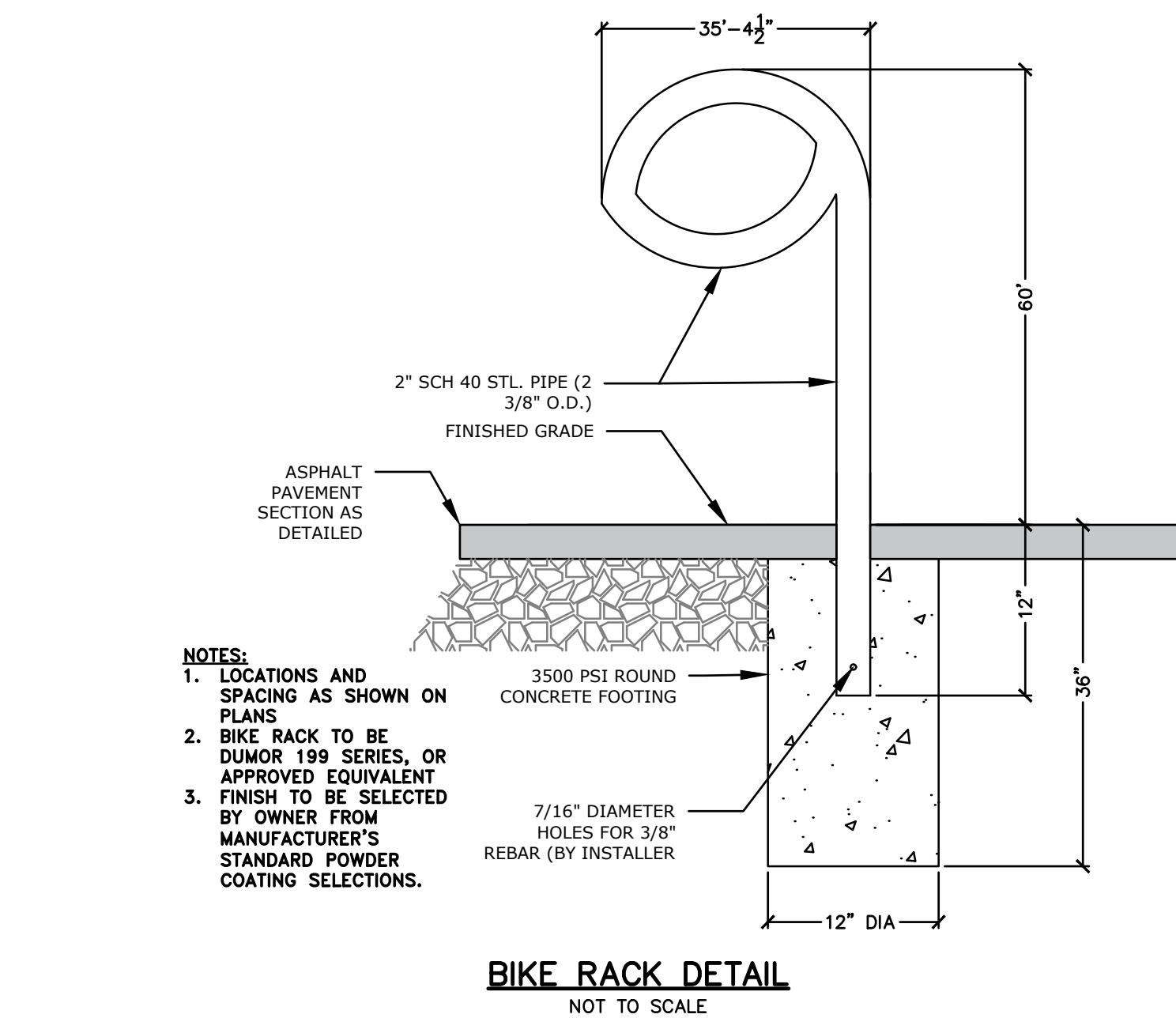
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BMS

CHECKED BY:
JH

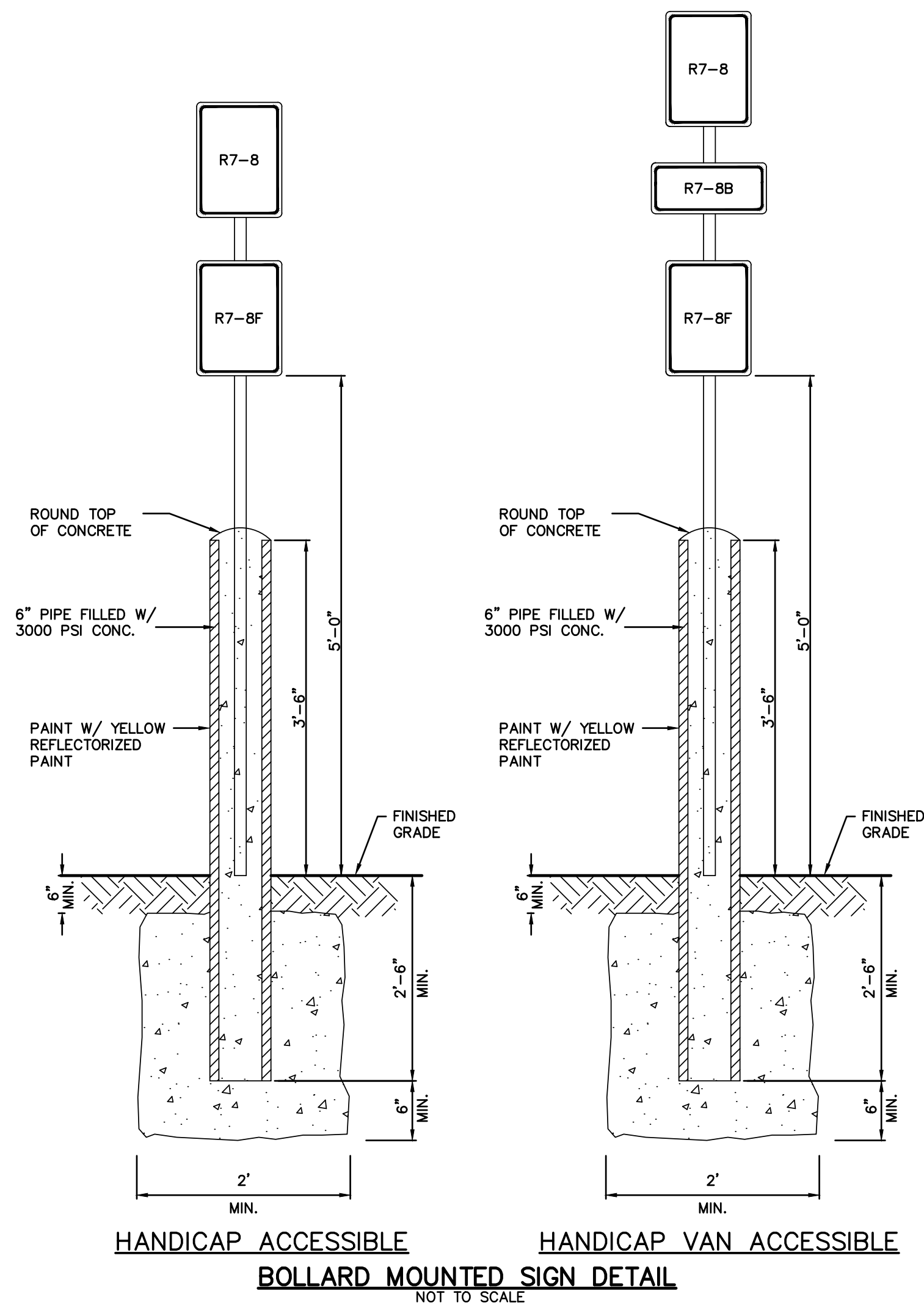
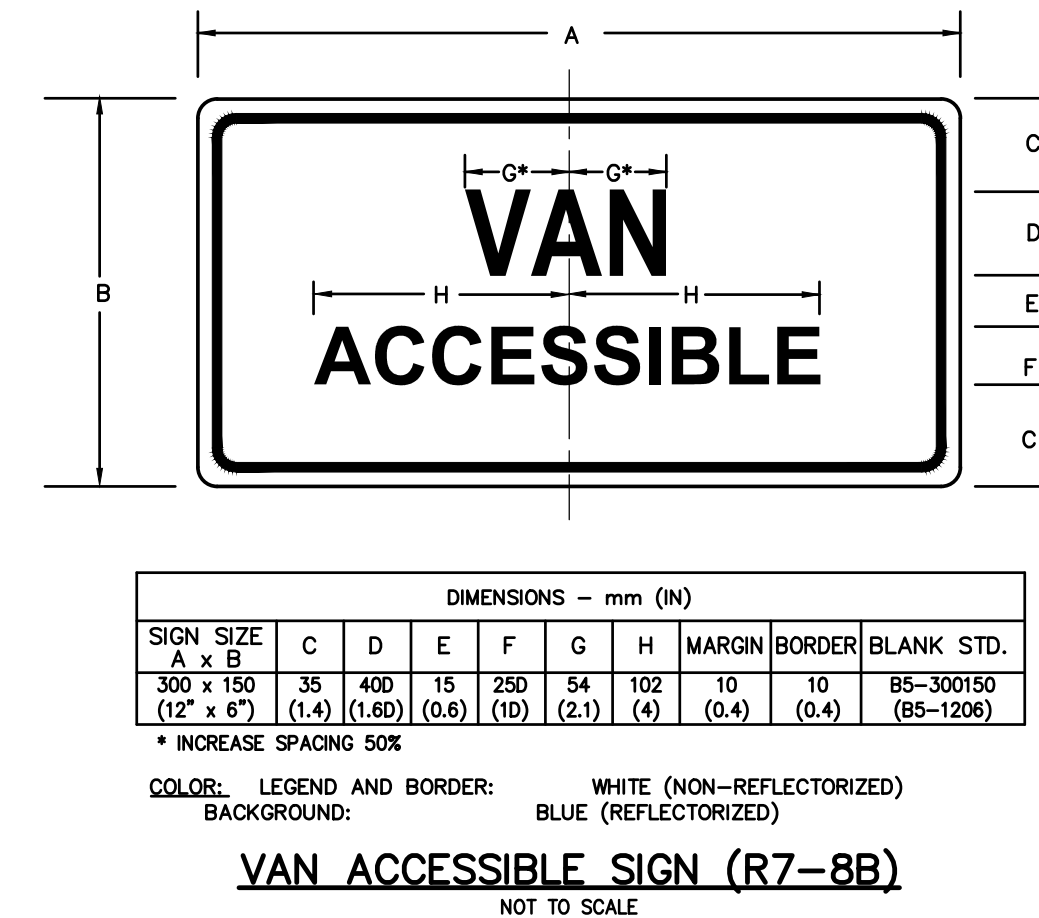
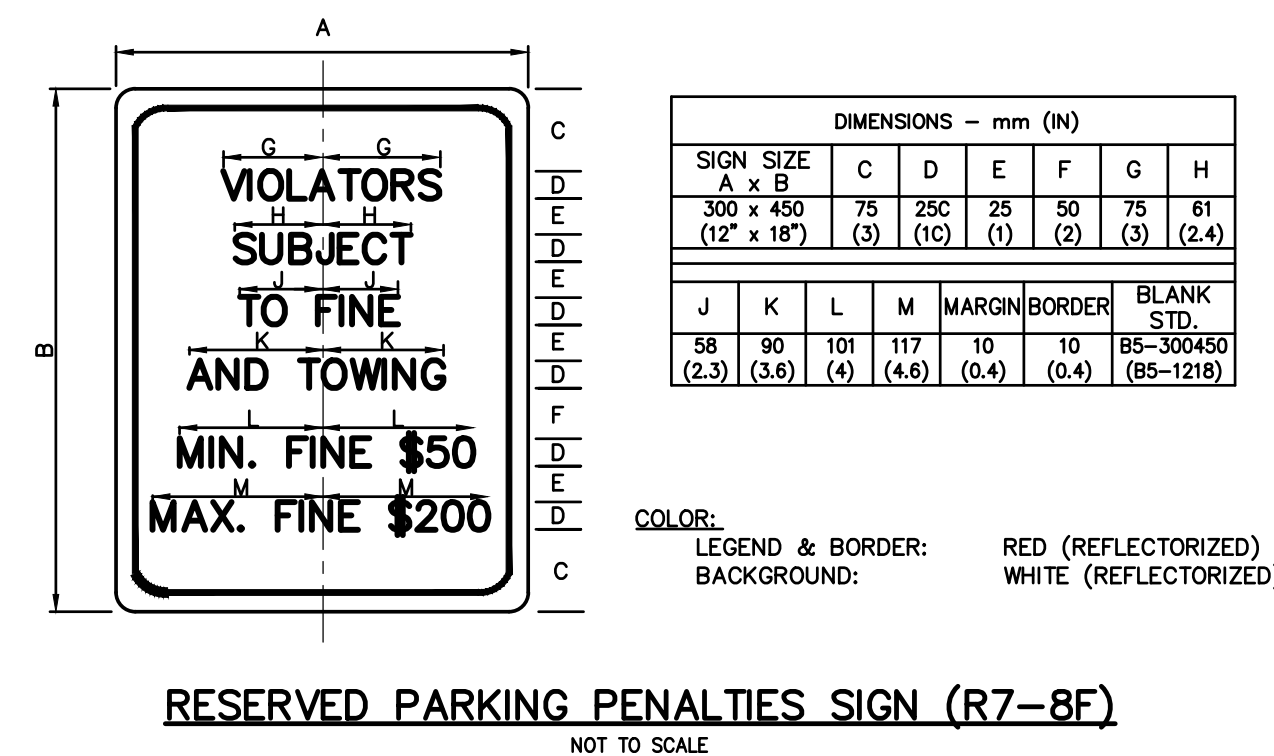
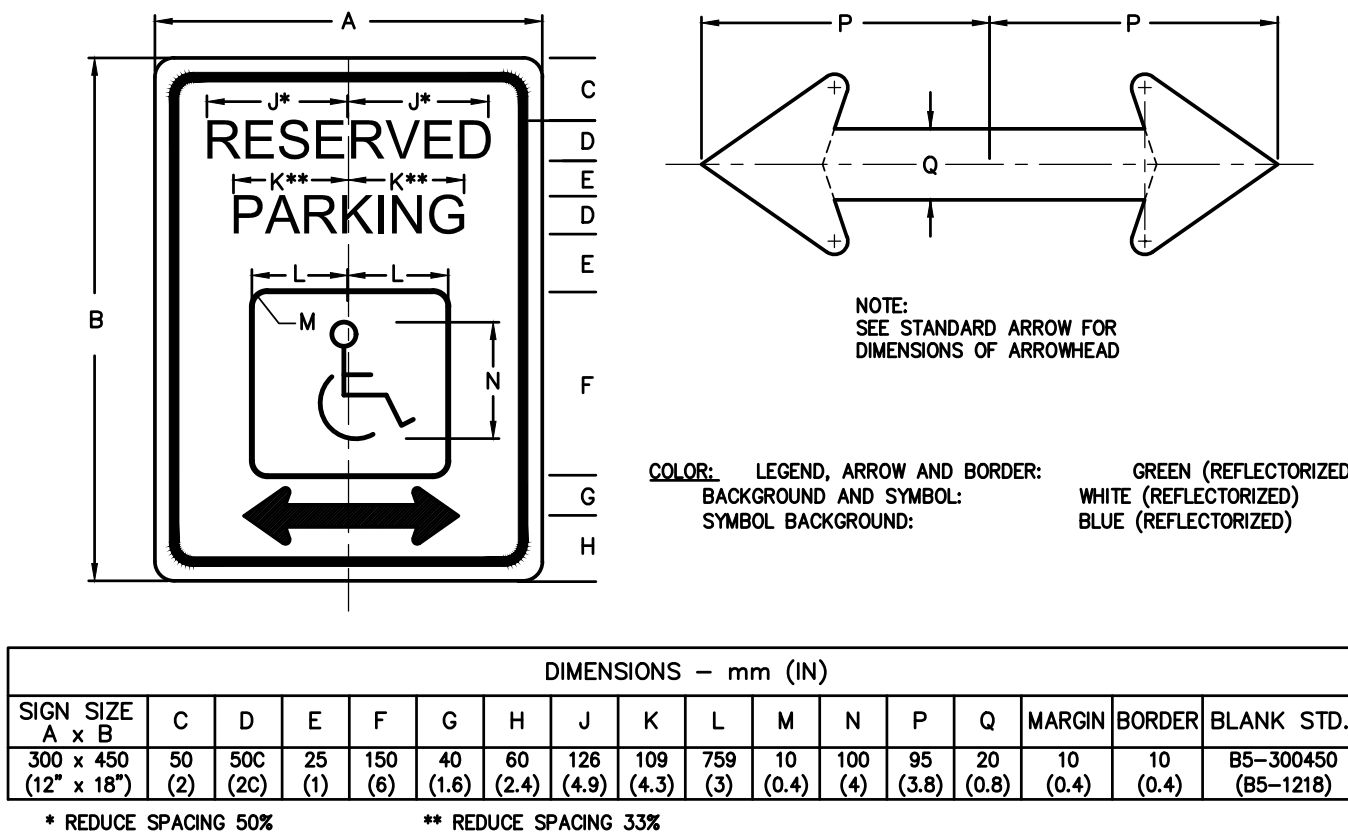
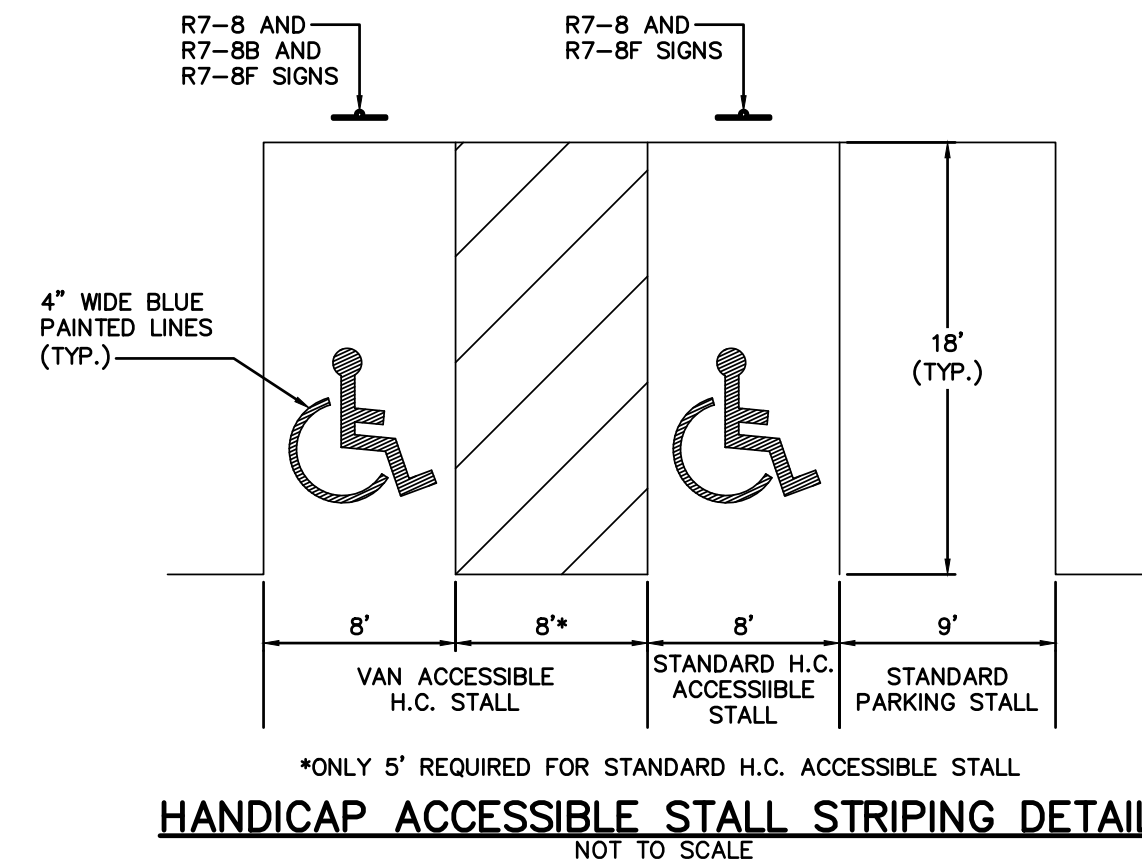
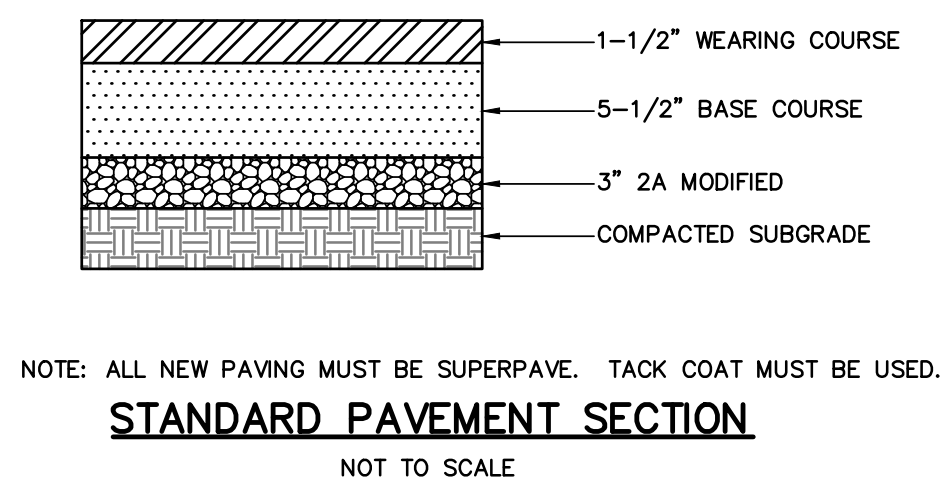
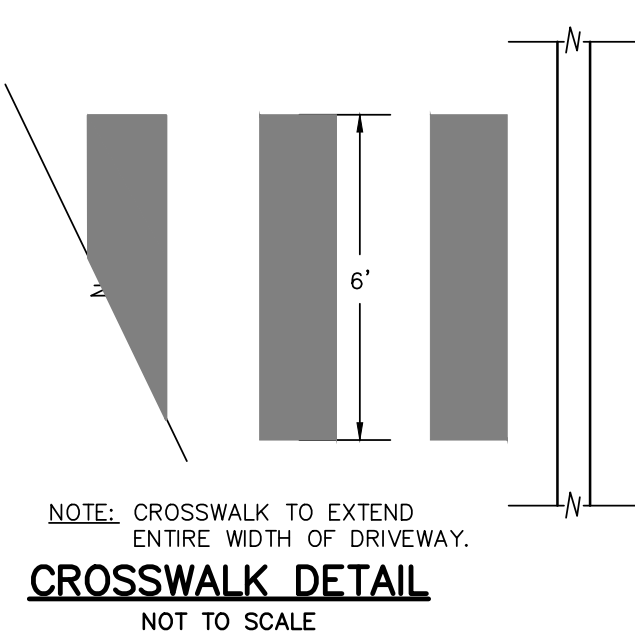
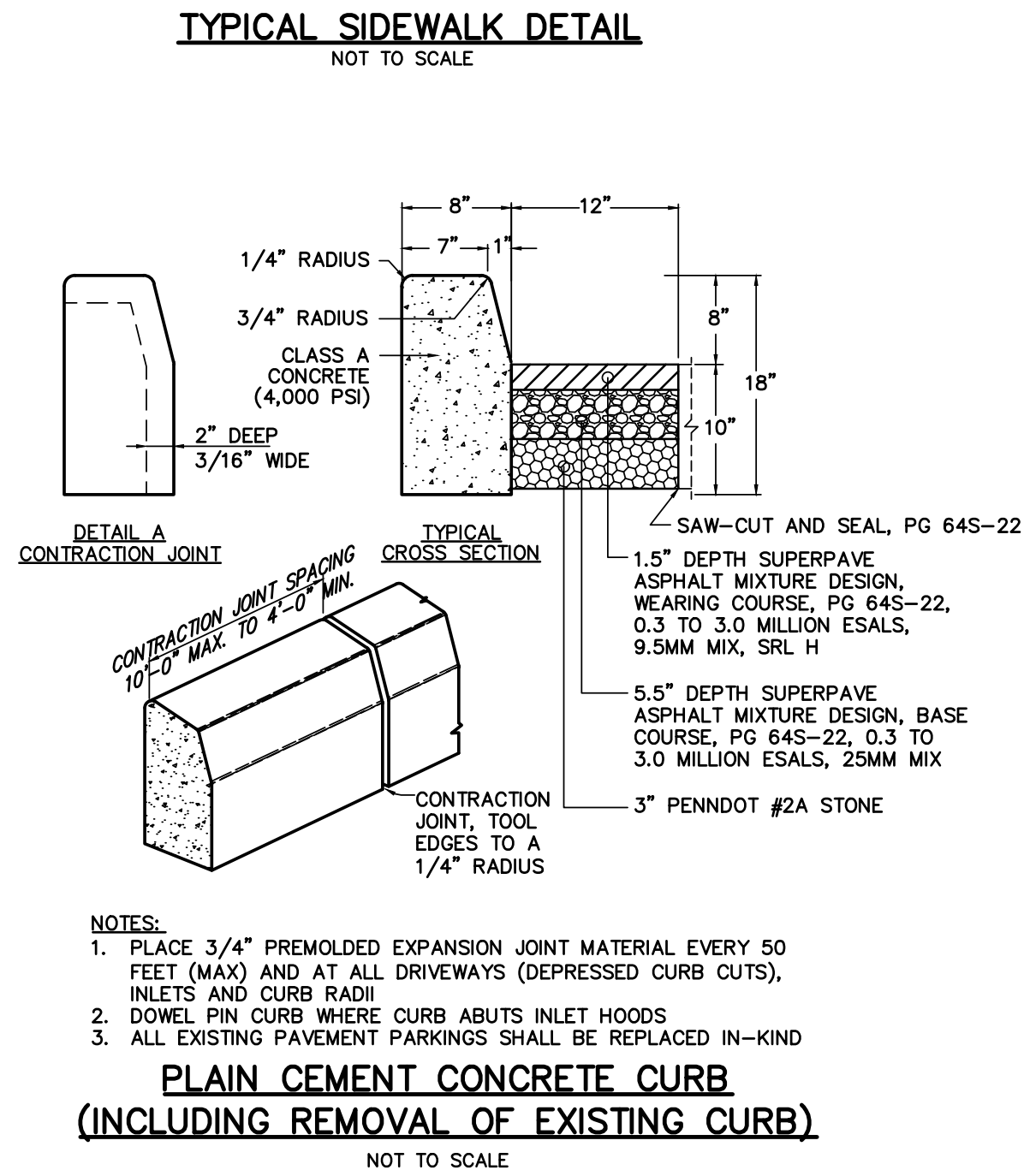
SHEET NO.:
13 OF 15

10/10/2025 PRELIM/FINAL LD SUBMISSION

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- ① 1/2" PREMOLDED EXPANSION JOINTS TO BE PLACED EVERY 24 FEET OR 25 FEET (MAX.) WHERE SIDEWALKS ARE REQUIRED TO BE 5 FEET WIDE. AND AT ALL LOCATIONS WHERE EXISTING PAVEMENT OR SIDEWALK MEETS PROPOSED SIDEWALK, WHERE SIDEWALK ABUTS CURB OR OTHER SIMILAR STRUCTURES, AND WHERE SIDEWALK TRANSITIONS FROM 4" THICK TO 6" THICK (DRIVEWAY APRONS, ETC.)
- ② WITH ALL PROPOSED SIDEWALK, A NON-SLIP SURFACE TEXTURE SHALL BE BROOMED TRANSVERSE TO THE SLOPE OF THE SIDEWALK.
- ③ SIDEWALK SHALL BE CONSTRUCTED OF CLASS "A" CONCRETE (3,300 P.S.I.; TWENTY-EIGHT-DAY COMPRESSIVE STRENGTH). CERTIFICATION OF THE CONCRETE MIX (CLASSIFICATION) SHALL BE FURNISHED TO THE TOWNSHIP ENGINEER. CONCRETE SHALL BE PLACED IN FORMS THAT ARE STRAIGHT AND SECURELY BRACED. ALL SECTIONS OF SIDEWALK, PROPOSED TO BE SHARPLY CURVED, SHALL BE CREATED WITH CURVED FORMS. ALL SIDEWALK CURVES SHALL APPEAR SMOOTH. CARE SHALL BE TAKEN TO CONTROL THE WATER CONTENT OF THE CONCRETE TO PREVENT SEPARATION OF THE AGGREGATES. THE CONCRETE SHALL HAVE A TRANSVERSE BROOM FINISH AND THE EDGES SHALL BE FINISHED WITH AN APPROVED EDGING TOOL. ALL HANDICAP RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT PENNDOT PUB-72M DETAILS AND PUB 408 STANDARDS.



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10/10/2025 PRELIM/FINAL LD SUBMISSION

LAND DEVELOPMENT PLAN

RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

CONSTRUCTION DETAILS AND NOTES 2

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT No.: 23-02039

OWNERS INFO: UPPER MORELAND TOWNSHIP
117 PARK AVENUE
MILFORD GROVE, PA 19090
(215) 659-3100

MUNICIPAL FILE No.: N/A

TAX MAP PARCEL No.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC. TOTAL LOTS: 1

DATE: 8/29/2025 SCALE: AS NOTED

DRAWN BY: BMS CHECKED BY: JH

SHEET NO.: 14 OF 15

EXHIBIT B



November 13, 2025

Mr. Paul Purtell
Director of Code Enforcement
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

RE: **Traffic Review – Land Development Plans**
117 Park Avenue – Upper Moreland Township Municipal Complex
Upper Moreland Township, Montgomery County, PA
Project No. 310016-25-008

Dear Paul:

Per the request of the Township, Bowman Consulting Group (Bowman) has prepared this letter that summarizes our traffic engineering review of the proposed site modifications to be located at 117 Park Avenue in Upper Moreland Township, Montgomery County, PA. Based on our review of the plans submitted for review, the proposed site modifications include construction of an approximate 10,230 square-foot building addition to the Township Building and Police Station and parking lot modifications. Access to the site will be provided via the existing western driveway along Center Avenue, the existing eastern driveway along Center Avenue which will be relocated to the east, the existing eastern driveway along Park Avenue, and the existing western driveway along Park Avenue which will be modified to provide two-way traffic flow.

The following documents were reviewed and/or referenced in preparation of our traffic review:

1. Land Development Plans – Upper Moreland Township and Police Buildings Renovations and Additions, prepared by Gilmore & Associates, Inc., last revised October 10, 2025.
2. Waiver Request Letter – Upper Moreland Township and Police Buildings Renovations, prepared by Gilmore & Associates, Inc., dated October 10, 2025.

Based on our review of the documents listed above, Bowman offers the following comments for consideration by the Township:

1. The waiver requests include waivers from the following traffic-related ordinance requirements:
 - Section 300-15.B – requiring Park Avenue to have a minimum 30-foot cartway width (15 feet from the centerline).
 - Section 300-19.A(7) – requiring an 8-inch curb reveal throughout the site.
2. Sight distance measurements should be depicted on the plans at all driveway locations along Center Avenue and Park Avenue in accordance with **Section 295-15.C** of the **Subdivision and Land Development Ordinance**.
3. According to **Section 300-15.B(1)(b)[1]** of the **Subdivision and Land Development Ordinance**, Park Avenue should have an ultimate right-of-way width of 50 feet. The plans currently show a 40-foot right-of-way width along Park Avenue.

4. The "Authorized Use Only" sign on the eastern side of the eastern Park Avenue driveway should be replaced with an "Emergency and Authorized Use Only" sign. In addition, an "Emergency and Authorized Use Only" sign should be added to the plans on the western side of this driveway.
5. The existing "Stop" sign along the eastern site driveway approach to Park Avenue should be relocated closer to the crosswalk. A stop bar should be shown on the plans adjacent to this relocated "Stop" sign.
6. "Pedestrian Crossing" warning signs with a downward arrow plaque should be shown on the plans at the following locations:
 - On both sides of the crosswalks along the two drive aisles in the parking area to the north of administration and police buildings.
 - On both sides of the crosswalk along the western Park Avenue driveway.
7. A Cross Traffic Does Not Stop supplemental plaque should be added to the "Stop" sign on the northbound drive aisle approach of the internal intersection near the western Center Avenue driveway.
8. It is noted that in the future, the applicant for the proposed Willow Grove Shopping Center Redevelopment project will implement all-way stop control for the intersection of Park Avenue and the western driveway for the Municipal Building. If the proposed site walls shown on the plans will be constructed prior to the implementation of the all-way stop control, the height and location of the proposed site walls near the western Park Avenue driveway should be reviewed to ensure they will not restrict the sight distance line looking to the left from the western driveway.
9. Turning templates should be provided demonstrating the ability of a trash truck or the largest expected delivery truck to maneuver into and out of the driveways that will be accessible to these vehicles.
10. The two parking spaces located along the western Park Avenue driveway should be relocated to another portion of the site so that vehicles maneuvering into and out of these parking spaces do not interfere with vehicles entering the site from Park Avenue at this driveway.
11. The Township should consider whether the Township Building and Police Station project will be subject to the Township's Transportation Impact Fee in accordance with the Township's *Transportation Impact Fee Ordinance*.

If you or the Township have any questions, or require clarification, please contact me.

Sincerely,



Chad Dixon, AICP, PP
Senior Project Manager

CED/BMJ

cc: Patrick Stasio, Upper Moreland Township Manager
Sean Kilkenny, Esquire, Township Solicitor
Jim Hersh, P.E., Gilmore & Associates

V:\310016 - Upper Moreland\310016-25-008 (TRN) - Township & Police Building\Engineering\Submissions\2025-10-21 LD Plans\Review\2025-11-13 Review Letter - 117 Park Avenue (Municipal Complex).docx

EXHIBIT C

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

NEIL K. MAKHIJA, CHAIR
JAMILA H. WINDER, VICE CHAIR
THOMAS DIBELLO, COMMISSIONER

WWW.MONTGOMERYCOUNTYPA.GOV



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY • PO Box 311
NORRISTOWN, PA 19404-0311

610-278-3722
PLANNING@MONTGOMERYCOUNTYPA.GOV

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

November 7, 2025

Mr. Paul Purtell, Director, Planning, Zoning & Inspections
Upper Moreland Township
117 Park Avenue
Willow Grove, Pennsylvania 19090-3215

Re: MCPC #23-0173-002
Plan Name: Municipal Complex – Police Station
(1 lot comprising approximately 2.97 acres)
Situate: Park Avenue (south)/Center Avenue (north)/
Easton Road (east)/Summit Avenue (west)
Upper Moreland Township

Dear Mr. Purtell:

We have reviewed the above-referenced subdivision and land development or in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on October 21, 2025. We forward this letter as a report of our review.

BACKGROUND

Upper Moreland Township is proposing an expansion and updates to the municipal complex that would include an approximately 8,000 square foot addition to the township administrative portion at the main and lower levels of the building and an approximately 6,000-square foot addition to the police department at the main level. The proposed changes to the municipal complex would include a reconfiguration of public entrances, with accessible entrances on both the Cedar Avenue and Park Avenue sides of the building. Additional improvements include pedestrian connections to the municipal building from Center Avenue, accessible public entrances, and open space and trees around the municipal building and along the streets.

Parking lots and open spaces around the complex would be reconfigured to create more open space behind the library where parking currently exists, and to separate the public parking lot and the secured parking lot for the police department.

We reviewed the previously submitted zoning map amendment for this site in a letter dated May 9, 2023, and we reviewed a previously submitted proposal for this site in a letter dated September 14, 2023.



COMPREHENSIVE PLAN COMPLIANCE

The proposal is generally consistent with *MONTCO 2040: A Shared Vision*, which designates the area as “Regional Mixed-Use Center” future land use category. The proposal is also consistent with *Upper Moreland 2040*, the Upper Moreland Township Comprehensive Plan. The property is located in an area that straddles the Town Center and the Town Residential future land use categories. Development in the Town Center should be pedestrian-oriented and exhibit high-quality design. Due to the abutting Town Residential areas, any future development should be considerate of the residential neighborhoods.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the township’s proposal; however, in the course of our review we have identified the following issues that the township may wish to consider prior to final plan approval. Our comments are as follows:

REVIEW COMMENTS

PUBLIC SPACES

- A. Public Library and Municipal Building Entrances. We encourage the township to consider the relationship between the municipal building and the public library. The one-way driveway that is currently located between the library and municipal building would be converted to a two-way driveway from Park Avenue that would separate the entrances to the municipal building and the public library. We suggest considering a raised crosswalk between the two buildings to slow cars entering and leaving the site and to create a safer pedestrian connection between the buildings. In addition, with the existing plaza in front of the public library as well as the expanded sidewalk around the new public entrance, this space will likely become a gathering space due to the number of people who will be walking in and around the two buildings.
- B. Public Plaza. We recommend considering the design and location of the public plaza. Based on the renderings provided, the public plaza on Park Avenue appears to consist of a widened sidewalk with benches that cuts off the old main entry. The location of the public plaza seems detached from the township building itself, as there is no connection from the sidewalk up the steps to the former main entrance. Regarding the visual relationship of the wall behind the plaza, we feel that using two materials disconnects the plaza wall from the Upper Moreland Township wall sign.

We appreciate the widened sidewalk along that portion of Park Avenue; however, we suggest considering how the public plaza could be shifted closer to and oriented towards the new entrance on Park Avenue, which would create a more active and inviting gathering space with direct connection to the township building. Creating a public plaza near the Park Avenue entrance would also reinforce the relationship between the library and municipal buildings.

- C. Open Space Programming. Based on the site plans provided, there appears to be an open space behind the municipal building. We recommend that this space be treated as an outside space where people could sit while eating lunch or waiting for a meeting.

LANDSCAPING

- A. Parking Lot Landscaping. We recommend that a tree be added to the center parking lot island. A waiver is requested from SALDO Section 300-43.D(1)(d) to not provide trees in some parking lots islands, due to the inclusion sidewalks and ramps through the parking lot. We understand that this may require the removal of one or two parking spaces to accommodate the pedestrian walkway; however, we encourage the township to consider the aesthetic and environmental benefits of adding another shade tree to the parking lot, which would shade the pedestrian walkway.
- B. Fence Foundation Landscaping. We recommend planting additional landscaping along the perimeter of the chain link fence around the police parking lot. The police parking lot would be secured with a fence and gate, and trees would be planted around the parking along the interior side of the fence. A sidewalk is proposed along the outside of the fence, along Cedar Avenue and along the west side of the public parking lot. To soften the appearance of the fence and to improve the pedestrian experience, we suggest planting additional shrubs along the foundation of the fence.

PEDESTRIAN CONNECTIVITY AND PUBLIC ENTRANCES

Based on the site plans provided, it appears that the sidewalk along Center Avenue would be widened and set further back from the street, which we commend, as it will improve the pedestrian experience.

- A. Building Entrances. We recommend considering how to treat the front of the building as well as the old entrances. It appears that the new configuration of the building and entrances does not use the old entrances along Park Avenue for the municipal administration or Police Department. The proposed plans show the existing walkway to the stairs, but the walkway does not lead to an active entrance (as is also referenced in comment B. Public Plaza).
 - 1. *Police Department Accessible Ramp*. The old Police Department entrance on Park Avenue could be accessed by a ramp from the sidewalk along Park Avenue. However, there is no sidewalk along the vehicular driveway from the sidewalk to the ramp, creating a gap in the pedestrian network. If the ramp and entrance are intended to be used by the public, the rehabilitation of the municipal complex may be an opportunity to address the accessibility of this entrance.

TRANSPORTATION

- A. Vehicular Parking. There are currently parallel parking spaces in front of the side entrance to the township building; the proposal would keep two parallel parking spaces in that location. If these are planned to be used as loading or drop-off spaces, we recommend that they be indicated as such on the plans and that signage be provided to clearly show that they are for temporary parking only.
- B. Bike Parking. We recommend that the township install bike racks adjacent to the municipal complex entrances.

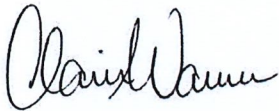
CONCLUSION

We wish to reiterate that MCPC generally supports the township's proposal but we believe that our suggested revisions will better achieve Upper Moreland's planning objectives for development in the Willow Grove.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number (23-0173-002) on any plans submitted for final recording.

Sincerely,

A handwritten signature in black ink, appearing to read "Claire Warner". The signature is fluid and cursive, with the first name "Claire" being more prominent than the last name "Warner".

Claire Warner, Principal Community Planner I
Claire.Warner@montgomerycountypa.gov – 610-278-3755

c: Patrick Stasio, Township Manager
Jennifer Mullen, Chair, Township Advisory Planning Agency
Alex Baumler, Township Solicitor

Attachment A: Aerial Image of Site
Attachment B: Reduced Copy of Applicant's Proposed Site Plan



Municipal Complex
MCPC#230173002

Montgomery
County
Planning
Commission

Montgomery County Courthouse - Planning Commission
PO Box 311, Rockville, MD 20854-0311
(301) 610-2770 or (301) 610-2770-3341
www.montgomeryplanning.org
Aerial photography provided by SkyImage

0 50 100 200 Feet



November 7, 2025

[illegible]

EXHIBIT D

Advisory Planning Agency
November 20, 2025

Minutes

A meeting of the APA was held on November 20, 2025 at 5:00 PM in the UMT Building. Members present included Chair Jennifer Mullen, Jay Silverman, Landon Synnestvedt, Arlene Rubin & Claire Warner from the MCPC. Absent: George Hartman, Christian Henderson & Fred Standaert.

Land Development

Upper Moreland Twp Municipal Complex Land Development Application. Brian Studer, PE, Twp Engineer from Gilmore & Associates and Matt Jones, Twp Architectural Consultant from GKO, were present to discuss the land development application for Upper Moreland Twp at 117 Park Avenue. Brian Studer gave an overview of the project which will include building additions to both the administration building and the police department along with associated site work, parking lot configuration and stormwater management. Interior alterations are also planned for the building. Mr. Studer commented that they have reviewed the Twp Traffic Engineer's comments along with the MCPC review comments and are working to address those items.

Matt Jones gave an overview of the proposed interior alterations to include new and improved entrances to the Twp and police buildings along with accessibility improvements and better interior flow for employees and visitors.

Claire Warner from the MCPC discussed her 247 review, dated 11/7/25, concerning pedestrian access from library to administration building, the public plaza, parking lot landscaping and fence screening along Easton Road & Center Avenue.

Brian Studer commented that they can take a look at a raised pedestrian crossing but do not want to block the flow of stormwater at base of raised area. The APA made comments about the landscaping at base of fences along Easton Road & Center Avenue. Mr. Studer said they can certainly move the fence back a bit from Center Avenue in order to provide some base landscaping at that location along with Easton Road frontage. They will also remove the parallel parking space along the drive off Park Avenue to avoid a potential stacking issue per both the Twp Traffic Engineer comments and MCPC.

Paul Purtell commented that while benches are not proposed in the open space areas at this time, the Twp can certainly take a look at it down the road to see if there is a need. The open space area alongside the library may also get some sort of play equipment or other amenities in the future.

Jay Silverman commented on the proposed parking lot configuration and distance from parking areas to library entrance is not ideal.

Paul Purtell commented that Twp staff and the BOC had wanted more green area/open space on the site from previous versions. Visitor parking, including accessible parking spaces, were added adjacent to the library while also keeping open space alongside the library and elsewhere on the site.

Jennifer Mullen made a motion to recommend approval of the land development application subject to the Twp complying with the recommendations made by the MCPC in their 247 review, dated 11/7/25; seconded by Arlene Rubin.

Jennifer Mullen: Yay
Landon Synnestvedt: Yay
Arlene Rubin: Yay
Jay Silverman: Nay

Old Business

Paul Purtell commented that Claire Warner will be presenting an update on the Walkability Audit to the Community Development Committee at the November 24th meeting.

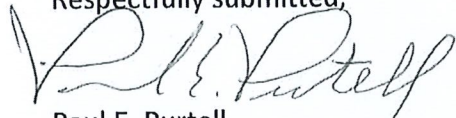
New Business

The APA cancelled the December 18, 2025 meeting.

No further business.

Meeting adjourned at 5:50 PM.

Respectfully submitted,

A handwritten signature in dark ink, appearing to read "P. E. Purtell", written over a horizontal line.

Paul E. Purtell
Director, Code Enforcement

TOWNSHIP of UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215

Telephone (215) 659-3100 / Fax (215) 659-7363

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PATRICK T. STASIO

Township Manager

JOHN D. BATES

Assistant Township Manager/

Director of Finance

ALEX H. LEVY

Township Treasurer

SEAN P. KILKENNY, ESQ.

Township Solicitor

Agenda Summary

Community Development Committee Meeting – November 24, 2025

Board of Commissioners Regular Meeting – December 1, 2025

Agenda Item:	Amusement Device Appeal for 425 W. Moreland Road
Prepared By:	Paul E. Purtell, Director of Code Enforcement
Attachments:	Resolution R-2025-23
Background/Analysis:	The business owner of Lucky 7 Deli has appealed the denial of the permit application to operate three (3) amusement devices within 300' of a residential district and/or use. Chapter 65 of the Upper Moreland Twp Code prohibits such devices within this area.
Fiscal Impact/Source:	Permit fees and business tax on amusement devices
Alternatives:	Deny request
Staff Recommendation:	The Committee recommends the Board of Commissioners approved Resolution R-2025-23 at the Regular Meeting on December 1, 2025.

Equal Opportunity Employer

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**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION NO. R-2025-23

A RESOLUTION OF THE UPPER MORELAND TOWNSHIP BOARD OF COMMISSIONERS GRANTING ALMAS AHMAD'S REQUEST FOR A CONDITIONAL WAIVER FROM SECTION 65-10 THE UPPER MORELAND TOWNSHIP CODE OF ORDINANCES TO ALLOW FOR THE ISSUANCE OF AN AMUSEMENT DEVICE LICENSE AT A PREMISES LOCATED LESS THAN 300 FEET FROM A RESIDENTIAL ZONING DISTRICT AT THE PROPERTY LOCATED AT 425 W. MORELAND ROAD.

WHEREAS, Chapter 65 of the Upper Moreland Township Code of Ordinances (the "Code") permits licenses to be issued by the Township to property owners for the use of "Amusement Games", which are defined under the Code as: "any automatic, mechanical, electric or electronic machine or device used or designed to be operated as a game, or for entertainment or amusement, by the insertion of a coin, token, money or other article, or by the payment of money to have it activated"; and

WHEREAS, Chapter 65-10 of the Code of Ordinances holds that Amusement Devices shall not be licensed, placed, possessed, kept, maintained, exhibited, used or operated in any location, the entrance or exit to which is within 600 feet of any entrance to or exit from any school, park, playground or church or within 300 feet of any residential zoning district; and

WHEREAS, Doris Glaberson Inter Vivos Deed of Trust ("Owner"), is the title holder of record to the property located at 425 W. Moreland Road, Willow Grove, Upper Moreland, Montgomery County Tax Parcel No. 59-00-12979-00-3; which is a commercial lot improved with a Sunoco branded gasoline station and convenience store (the "Property"); and

WHEREAS, Almas Ahmad ("Lessee"), is the lessee of the property located at 425 W. Moreland Road and operates a convenience store known as the Lucky 7 Deli on the premises; and

WHEREAS, the Property is not located within 600 feet of any entrance to or exit from any school, park, playground or church, but is located within 300 feet of a residential zoning district; and

WHEREAS, Owner has stated that it desires to obtain a license for the placement of up to three electronic games of skill Amusement Devices in order to help provide a modest amount of revenue that keeps business operations smoothly and supports local jobs, and seeks a waiver of the 300 foot residential zoning district requirement of the Code to permit issuance of said license; and

WHEREAS, the waivers requested were considered by the Community Development Committee at its November 24, 2025, public meeting, who recommended approval of the waivers requested.

NOW THEREFORE, BE IT RESOLVED by the Board of Commissioners of Upper Moreland Township that the waiver from the prohibition on issuance of Amusement Device Licenses located within 300 feet from a residential zoning district is hereby granted to Almas Ahmad for the property located at 425 W. Moreland Road.

BE IT FURTHER RESOLVED, that this waiver of the requirements of Section 65-10 of the Upper Moreland Township Code of Ordinances is expressly conditioned upon Owner's full and strict compliance with all other requirements imposed by Chapter 65.

DULY PRESENTED AND ADOPTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, this 1st day of December, 2025.

Attest:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Patrick Stasio, Secretary

Clifton McFatridge, President

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

ORDINANCE NO. 1768

**AN ORDINANCE OF UPPER MORELAND TOWNSHIP COUNTY OF
MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA, FIXING THE TAX
RATE FOR THE YEAR 2026**

Section 1. A tax shall be and the same is hereby levied on all real property with the Upper Moreland Township subject to taxation for the Fiscal Year 2026 as follows:

	<u>Mills per \$1,000 of Assessed Valuation</u>
General Purpose	<u>5.245</u>
Library	<u>0.622</u>
Fire Protection	<u>0.450</u>
Debt	<u>1.204</u>
2026 Total:	<u>7.521</u>

Section 2. Any Ordinance or part of Ordinance conflicting with this shall be and the same is hereby repealed insofar as the same affects this Ordinance.

ADOPTED this 1st day of December 2025

ATTEST:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Patrick T. Stasio, Secretary

Clifton McFatridge, President

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION R-2025-24

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF UPPER MORELAND ESTABLISHING THE ANNUAL RESIDENTIAL REFUSE FEE TO BE COLLECTED FOR RESIDENTIAL DWELLINGS THAT RECEIVE REFUSE AND TRASH COLLECTION FROM THE TOWNSHIP.

The BOARD OF COMMISSIONERS hereby resolve as follows:

Section 1. RESIDENTIAL REFUSE FEE FOR 2026 AND THEREAFTER

The Residential Refuse Fee as defined and provided for in Section 6.01 of Article 6, “Residential Refuse Fee”, Chapter 279, “Solid Waste” of the Upper Moreland Township Code shall be set at the rate of **TWO HUNDRED AND FIFTEEN DOLLARS (\$215.00)** for each dwelling unit receiving the service of collection of refuse and trash by the Township.

Section 2. EFFECTIVE DATES

The Fee provided for herein shall be effective as of January 1, 2026 and shall be due annually thereafter in a like amount until amended or rescinded by Resolution of the Board of Commissioners.

RESOLVED this 1st day of **December 2025**.

ATTEST:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Patrick T. Stasio, Secretary

Clifton McFatridge, President

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

ORDINANCE NO. 1769

AN ORDINANCE OF UPPER MORELAND TOWNSHIP, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA, APPROPRIATING SPECIFIC SUMS ESTIMATED TO BE REQUIRED FOR SPECIFIC PURPOSES OF THE MUNICIPAL GOVERNMENT, HEREINAFTER SET FORTH, DURING THE YEAR 2025

BE IT ORDAINED AND ENACTED, and it is hereby ordained and enacted by the Board of Commissioners of the Township of Upper Moreland, County of Montgomery, Commonwealth of Pennsylvania:

Section 1. That for the expenditures and expenses for the Fiscal Year 2026 and the following amounts are hereby appropriated from the fund equities, specific purposes set forth on the following pages:

General Fund, Liquid Fuels Fund, Debt Service Fund and Capital Reserve Fund Budgets (provided under separate cover.)

Section 2. That any ordinance conflicting with this ordinance by and the same is hereby repealed insofar as the same affects this ordinance.

ADOPTED this 1st day of **December 2025**.

ATTEST:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Patrick T. Stasio, Secretary

Clifton McFatridge, President

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION NO. R-2025-25

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA, ADOPTING THE 2026-2030 CAPITAL IMPROVEMENTS BUDGET.

WEHREAS, Upper Moreland Township (the “Township”), Montgomery County, is duly organized Pennsylvania First-Class Township; and

WHEREAS, the Pennsylvania First-Class Township Code requires the Board of Commissioners through the Finance Director and staff to prepare and present municipal budgets; and

WHEREAS, the financial planning and budgets of the Township shall contain a capital plan for five or more fiscal years which shall contain, as a minimum, all proposed capital improvements identified by project, the year of acquisition or construction, proposed funding and the impact upon the operating expenses, debt structure and borrowing limitations of the Township; and

WHEREAS, the first year of the capital plan shall constitute the capital budget with the remaining years of the plan being advisory for the purpose of long-range planning; and

WHEREAS, the capital budget may be financed by appropriations of current revenue or money borrowed or authorized by the First-Class Township Code or general law; and

WHEREAS, all appropriations for the capital budget shall lapse at the end of the fiscal year, but sufficient amounts to compete projects in progress may be appropriated for the following year.

NOW, THEREFORE, BE IT RESOLVED, that the Upper Moreland Township Board of Commissioners does hereby adopt the attached 2026-2030 Capital Improvements Plan.

DULY PRESENTED AND ADOPTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, this 1st day of December 2025.

ATTEST:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Patrick T. Stasio, Secretary

Clifton McFatridge, President

REGULAR MEETING MONDAY EVENING FOR UPPER MORELAND TOWNSHIP

12/01/2025

NOVEMBER, 2025

BILLS PAID TO BE APPROVED

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*146015	AQUA PA	0001284730128473- WGFC 09/18-1	119.38 01-411-327-	119.38	119.38
01*146016	AQUA PA	0001283930128393 UMT FIRE 09/1	260.28 01-409-360-	260.28	260.28
01*146017	AQUA PA	0001284670128467- UMT 09/19-10	474.31 01-409-360-	474.31	474.31
01*146018	AQUA PA	0001285100128510- APT A 09/19-	261.00 01-409-360-	261.00	261.00
01*146019	AVT	OCTOBER 20, 2025 MEETING	525.00 01-401-320-	525.00	525.00
01*146020	CHA CONSULTING, INC	SEPT 27-OCT 24, 2025 UMT COMPL	7,210.90 01-130-100-	7,210.90	7,210.90
01*146021	CLEAN NET OF PHILADELPHIA	NOVEMBER 2025	2,075.00 01-409-450-	2,075.00	2,075.00
01*146022	CODY SYSTEMS	COBRA SUBSCRIPTION 11/01/25 -	2,511.38 01-410-317-	2,511.38	2,511.38
01*146023	COMCAST CABLE	8499101410427527- FIRE DEPT 10	50.76 01-411-360-	50.76	50.76
01*146024	COMCAST CABLE	8499101410242512- PILEGGI 10/2	320.91 01-401-320-	320.91	320.91
01*146025	COMCAST CABLE	8499101410258401 BOILEAU PK 11	320.91 01-401-320-	320.91	320.91
01*146026	CONTRACT CLEANERS SUPPLY INC.	MATERIALS & SUPPLIES	170.94 01-409-200-	170.94	170.94
01*146027	DAVID CHUBB	2025 Q3 PHONE ALLOWANCE	105.00 01-401-320-	105.00	105.00
01*146028	DEBALKO PHOTOGRAPHY, LLC	UMHC - HISTORICAL HOUSE PHOTOG	1,000.00 01-401-520-	1,000.00	1,000.00
01*146029	DELL ACCOUNT	MS Intune Annual Renewal	1,554.00 01-401-320-	1,554.00	1,554.00
01*146030	DENISE KEIM	BULK REFUND PERMIT # 158811	20.00 01-364-300-	20.00	20.00
01*146031	FBI-LEEDA INC.	ACTIVE MEMBERSHIP 2026	50.00 01-410-240-	50.00	50.00
01*146032	GOOSE SQUAD	OCTOBER 2025	1,000.00 01-454-450-	1,000.00	1,000.00
01*146033	GREG & CHRISTINE ASPLUNDH	REFUSE COLLECTION FEE REFUNDED	3,630.00 01-364-600-	3,630.00	3,630.00
01*146034	HALLER ENTERPRISES	PRIOR YEAR BUSINESS TAXES	3,227.45 01-310-810-	3,227.45	3,227.45
01*146035	HEATHER LUDWIG	REFUND-WITHDRAW FROM FALL ADUL	165.00 01-367-000-	165.00	165.00
01*146036	JOE MOONEY	PW BOOT ALLOWANCE 2025	200.00 01-430-195-	200.00	200.00
01*146037	JOHN FUGELO	NFPA STANDARD, SMOKE DETECTOR	229.20 01-411-460-	229.20	229.20
01*146038	KAITLIN LYNCH	PAYEMNT BABYSITTING INSTRUCTOR	720.00 01-452-450-	720.00	720.00
01*146039	KELLY RUDELL	2025 BOOT ALLOWANCE	205.00 01-410-238-	205.00	205.00
01*146040	KEYSTONE FIRE PROTECTION CO	UMT ANNUAL FIRE ALARM INSPECTI	541.76 01-409-450-	541.76	1,338.12
		DPW ANNUAL FIRE ALARM INSPECTI	796.36 01-409-450-	796.36	
01*146041	KREMP FLORIST	PAYMENT 11/12/2025 ADULT CRAFT	740.00 01-452-450-	740.00	740.00
01*146042	LAMONT PINSON	2025 BOOT ALLOWANCE	299.52 01-410-238-	299.52	299.52
01*146043	LEXISNEXIS	OCTOBER 2025	160.00 01-401-240-	160.00	160.00
01*146044	MARKL SUPPLY COMPANY	GUNS/TRADE-INS	25,720.14 01-130-300-	25,720.14	25,720.14
01*146045	MATTHEW GORMAN	PAYMENT WINTER ADULT KARATE	128.00 01-452-450-	128.00	128.00
01*146046	MCDONALD UNIFORMS	VESTS	1,935.31 01-410-238-	1,935.31	1,935.31
01*146047	MICHAEL DALY	2025 BOOT ALLOWANCE	300.00 01-410-238-	300.00	300.00
01*146048	MICHAEL HEARN	PAYMENT WINTER '25 ADULT KARAT	112.00 01-452-450-	112.00	112.00
01*146049	MINDS IN MOTION, LLC	PAYMENT WINTER MINDS IN MOTION	1,560.00 01-452-450-	1,560.00	1,560.00
01*146050	MOYER INDOOR / OUTDOOR	NUTSEDGE @ UMT	157.00 01-454-450-	157.00	157.00
01*146051	OCCUPATIONAL HEALTH CENTERS OF THE	C.STRANGE, E.QUIGG	1,276.00 01-415-240-	1,276.00	1,276.00
01*146052	PECO ENERGY - PAYMENT PROCESSING	8671424000 BYBERRY RD APT 11/0	354.27 01-454-450-	354.27	354.27
01*146053	PECO ENERGY - PAYMENT PROCESSING	8671424000 BYBERRY APT 01/16-0	288.74 01-454-360-	288.74	288.74
01*146054	PECO ENERGY - PAYMENT PROCESSING	7324762111 DIVISION 09/30-10/3	19.26 01-454-360-	19.26	19.26
01*146055	PENDERGAST SAFETY	SAFETY EQUIPMENT	162.22 01-427-192-	162.22	162.22

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*146056	PETER RUDELL	2025 BOOT ALLOWANCE	118.01	01-410-238-	118.01	118.01
01*146057	SJ FUEL SOUTH CO, INC	600 GALLONS	1,468.31	01-430-330-	1,468.31	5,494.15
		1600.5 GALLONS	4,025.84	01-430-330-	4,025.84	
01*146058	SMM CONSULTING	SEPTEMBER 2025	600.00	01-401-240-	600.00	2,850.00
		OCTOBER 2025	2,250.00	01-401-240-	2,250.00	
01*146059	STRATEGICLINK CONSULTING, INC	SUPPORT PROGRAM - DECEMBER 202	2,000.00	01-401-320-	2,000.00	2,000.00
01*146060	TARA SMITH	2ND HALF PAYMENT PICKLEBALL CO	1,480.00	01-452-450-	1,480.00	1,480.00
01*146061	THE KSA GROUP LLC	OCTOBER, NOVEMBER 2025	9,500.00	01-401-450-	9,500.00	9,500.00
01*146062	THE LINGO GROUP, INC.	WINTERIZATION PILEGGI	346.00	01-454-450-	346.00	588.00
		WINTERIZATION FARMSTEAD	242.00	01-454-450-	242.00	
01*146063	THOMAS E. LYNCH	2025 BOOT ALLOWANCE	300.00	01-410-238-	300.00	300.00
01*146064	TIM KUREK	10/09/2025 HEARING	1,218.00	01-413-316-	1,218.00	1,218.00
01*146065	UMHJSA	ACCT 7014 - UMT BUILDING	556.83	01-409-360-	556.83	556.83
01*146066	UMHJSA	ACCOUNT 7016 - FITZWATERTOWN	50.06	01-454-360-	50.06	50.06
01*146067	UMHJSA	ACCT 726- 4255 SHOEMAKER	231.18	01-454-360-	231.18	231.18
01*146068	UMHJSA	ACCT 7029 - LIBRARY	221.87	01-409-360-	221.87	221.87
01*146069	UNIFIRST CORPORATION	UNIFORM MAINTENANCE	463.73	01-427-191-	231.86	463.73
		UNIFORM MAINTENANCE		01-430-191-	231.87	
01*146070	W.B. MASON CO, INC	COMMUNICATION EXPENSES	193.58	01-401-320-	193.58	403.84
		MATERIAL & SUPPLIES	210.26	01-401-200-	210.26	
01*146072	ALFREDO DOS SANTOS OLIVEIRA	INCENTIVE FUND OCTOBER 2025	1,200.00	01-411-329-	1,200.00	1,200.00
01*146073	AQUA PA	0001284750128475 DPW 09/18-10/	220.23	01-409-360-	220.23	220.23
01*146074	ARDMORE TIRE, INC.	VEHICLE OPERATING EXPENSE	480.00	01-430-330-	480.00	5,232.12
		VEHICLE OPERATING EXPENSE	180.00	01-430-330-	180.00	
		VEHICLE OPERATING EXPENSE	230.00	01-430-330-	230.00	
		(12) 275/55R-20 Goodyear Eagle	2,085.12	01-430-330-	2,085.12	
		VEHICLE OPERATING EXPENSE	435.00	01-430-330-	435.00	
		VEHICLE OPERATING EXPENSE	224.00	01-430-330-	224.00	
		VEHICLE OPERATING EXPENSE	435.00	01-430-330-	435.00	
		VEHICLE OPERATING EXPENSE	290.00	01-430-330-	290.00	
		VEHICLE OPERATING EXPENSE	233.00	01-430-330-	233.00	
		225/75-15 firestone destinatio	640.00	01-430-330-	640.00	
01*146075	ARDSLEY AUTO TAG SERVICE	07/18/25 - 08/31/25	195.00	01-430-330-	195.00	195.00
01*146076	BERGEY'S INC.	SENSOR	372.11	01-430-330-	372.11	372.11
01*146077	BILLOWS ELECTRIC SUPPLY INC.	27W LAMP	58.94	01-430-373-	58.94	58.94
01*146078	BRAD TODD	BULK REFUND - PERMIT 158876	20.00	01-364-300-	20.00	20.00
01*146079	BRENDA STONE	BULK REFUND - PERMIT #158860	15.00	01-364-300-	15.00	15.00
01*146080	CAMPBELL DURRANT BEATTY	OCTOBER 2025	2,305.42	01-402-314-	2,305.42	2,305.42
01*146081	CDW GOVERNMENT, INC.	INTERNAL DRIVE	3,966.25	01-401-320-	3,966.25	3,966.25
01*146082	CHAPMAN FORD OF HORSHAM	#601 CHECK ENGINE LIGHT	7,263.30	01-430-330-	7,263.30	7,263.30
01*146083	CHRISTINA WISE	BULK REFUND - PERMIT 158924	15.00	01-364-300-	15.00	15.00
01*146084	CITY ELECTRIC SUPPLY	CONTRACTED SERVICES	30.90	01-411-450-	30.90	30.90
01*146085	COMCAST CABLE	8499101410218777- VOL FIRE 10/	116.46	01-411-450-	116.46	116.46
01*146086	COMCAST CABLE	8499101410185414 WG SUBSTA 11/	320.91	01-411-450-	320.91	320.91
01*146087	COMCAST CABLE	8499101380374931: 11/09-12/08/	338.39	01-401-320-	338.39	338.39
01*146088	CONTRACT CLEANERS SUPPLY INC.	MATERIALS & SUPPLIES	77.19	01-409-200-	77.19	153.35
		MATERIALS & SUPPLIES	76.16	01-409-200-	76.16	
01*146089	COOPER MECHANICAL SERVICES	SERICE TO 2 URINAL FLUSH VALVE	580.00	01-411-250-	580.00	580.00
01*146090	DELL MARKETING L.P.	ENGINEERING MAINTENANCE	1,274.88	01-411-372-	1,274.88	4,752.93
		COMMUNICATION EXPENSES	3,478.05	01-401-320-	3,478.05	

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*146091	DISTRICT COURT 38-2-08	COMPLAINT FILING FEES: UMT v C	218.78	01-401-240-	218.78	218.78
01*146092	DISTRICT COURT 38-2-08	COMPLAINT FILING FEES: UMT v L	173.25	01-401-240-	173.25	173.25
01*146093	DISTRICT COURT 38-2-08	COMPLAINT FILING: UMT v NUWAY	228.75	01-401-240-	228.75	228.75
01*146094	DISTRICT COURT 38-2-08	COMPLAINT FILING FEE: UMT v PR	228.75	01-401-240-	228.75	228.75
01*146095	EAS WATER	OCT, NOV 2025	141.76	01-411-250-	141.76	352.54
		CONTRACT SERVICES	210.78	01-409-450-	210.78	
01*146096	EASTERN AUTOPARTS WAREHOUSE	OCTOBER 2025	1,490.84	01-430-330-	1,490.84	1,490.84
01*146097	ELIZABETH A. WEBSTER	BULK REFUND: PERMIT 158874	30.00	01-364-300-	30.00	30.00
01*146098	FASTENAL COMPANY	VEHICLE OPERATING EXPENSE	66.82	01-430-330-	66.82	66.82
01*146099	FRED BEANS PARTS	BRACKET	177.88	01-430-330-	177.88	956.81
		VEHICLE OPERATING EXPENSE	204.24	01-430-330-	204.24	
		VEHICLE OPERATING EXPENSE	151.93	01-430-330-	151.93	
		VEHICLE OPERATING EXPENSE	15.44	01-430-330-	15.44	
		VEHICLE OPERATING EXPENSE	31.84	01-430-330-	31.84	
		VEHICLE OPERATING EXPENSE	31.84	01-430-330-	31.84	
		VEHICLE OPERATING EXPENSE	130.40	01-430-330-	130.40	
		VEHICLE OPERATING EXPENSE	213.24	01-430-330-	213.24	
01*146100	GANNETT PENNSYLVANIA LOCALIQ	OCTOBER 2025	378.02	01-401-340-	378.02	378.02
01*146101	GEORGE ALLEN PORTABLE	N WG PARK	90.00	01-454-450-	90.00	180.00
		TERWOOD	90.00	01-430-240-	90.00	
01*146102	GKO ARCHITECTS	JULY 2025	126,345.00	01-130-100-	126,345.00	315,339.00
		AUGUST 2025	188,994.00	01-130-100-	188,994.00	
01*146103	GLICK FIRE EQUIPMENT CO., INC.	PUMP FLOW TEST	390.00	01-411-250-	390.00	390.00
01*146104	GOOSE SQUAD	SEPTEMBER 2025	1,000.00	01-454-450-	1,000.00	1,000.00
01*146105	GRAINGER	IMPACT WRENCH	575.71	01-430-330-	575.71	575.71
01*146106	GRANTURK EQUIPMENT CO., INC.	#493	5,512.47	01-430-330-	5,512.47	5,512.47
01*146107	KIMBALL MIDWEST	DOT FIT	169.78	01-430-330-	169.78	200.28
		STRAP	30.50	01-430-330-	30.50	
01*146108	KING OF PRUSSIA RECYCLING	RECYCLING FEES	6,538.68	01-427-384-	6,538.68	6,538.68
01*146109	KREMP FLORIST	PAYMENT FALL ADULT CRAFT - 2 R	74.00	01-452-450-	74.00	74.00
01*146110	LAURA NORRIS	OCTOBER 2025 STIPEND	450.00	01-411-329-	450.00	450.00
01*146111	LORCO PETROLEUM SERVICES	ANTIFREEZE REMOVAL	150.00	01-430-330-	150.00	150.00
01*146112	MARK GOLDBERG	OCTOBER 2025 STIPEND	150.00	01-411-329-	150.00	150.00
01*146113	MICHAEL GIOVINAZZO	CELL PHONE ALLOWANCE	105.00	01-401-320-	105.00	105.00
01*146114	MOYER INDOOR / OUTDOOR	FARMSTEAD NUSEDGE	458.00	01-454-450-	458.00	458.00
01*146115	NASHEA FABLE	OCTOBER 2025 STIPEND	1,200.00	01-411-329-	1,200.00	1,200.00
01*146116	OCCUPATIONAL HEALTH CENTERS OF THE	L.PINSON	551.00	01-410-240-	551.00	551.00
01*146117	PECO ENERGY - PAYMENT PROCESSING	1727462222 STORAGE BLDG 10/07-	44.92	01-409-360-	44.92	44.92
01*146118	PENDERGAST SAFETY	SAFETY EQUIPMENT	180.17	01-427-192-	180.17	180.17
01*146119	PETROCON CORPORATION	BULK DRYDENE DIESEL	910.98	01-430-330-	910.98	910.98
01*146120	PIONEER AUTO BODY & REPAIR LLC	VEHICLE # 306	1,619.00	01-430-330-	1,619.00	1,619.00
01*146121	PITNEY BOWES, INC.	LEASE 09/24 - 12/23/25	976.47	01-401-374-	976.47	976.47
01*146122	PLUMB & DRAIN, LLC	REPLACE LOST CHECK #145947 - P	1,131.76	01-409-373-	1,131.76	1,131.76
01*146123	POLICY BUILDERS	NEW POLICY PROGRAM	7,500.00	01-411-740-	7,500.00	7,500.00
01*146124	RAZZI RADIATOR & AIR CONDITIONING	#468	99.50	01-430-330-	99.50	99.50
01*146125	REORLD WASTE, LLC	DISPOSAL FEES	21,793.77	01-427-365-	21,793.77	21,793.77
01*146126	SIMONE COLLINS	OCTOBER 2025	4,672.50	01-454-740-	4,672.50	4,672.50
01*146127	SJ FUEL SOUTH CO, INC	1500 GALLONS GASOLINE	3,650.21	01-430-330-	3,650.21	7,708.16
		1700.1 DIESEL	4,057.95	01-430-330-	4,057.95	
01*146128	SWIF	UMT VOLUNTEER FIRE INSURANCE #	3,999.00	01-411-354-	3,999.00	3,999.00

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*146129	T.W. REISS, INC.	RING	3.96	01-430-330-	3.96	3.96
01*146130	TRUCK PRO	BATTERY	380.94	01-430-330-	380.94	380.94
01*146131	UMHJSA	ACCT 7019: 227-229 DAVISVILLE	85.07	01-411-450-	85.07	85.07
01*146132	UMHJSA	ACCT 7021: DPW	253.83	01-409-360-	253.83	253.83
01*146133	UMHJSA	ACCT 7027: 4355 DAVISVILLE	50.06	01-411-360-	50.06	50.06
01*146134	UNIFIRST CORPORATION	UNIFORM MAINTENANCE	436.37	01-427-191-	436.37	872.74
		UNIFORM MAINTENANCE	436.37	01-430-191-	436.37	
01*146135	VAULT HEALTH	HEALTH & LIFE INSURANCE	440.82	01-486-156-	440.82	440.82
01*146136	VERIZON	250581599000177: 11/01-11/30/2	2,083.43	01-401-320-	2,083.43	2,083.43
01*146137	VERIZON	450724913000147: 11/03-12/02/2	40.51	01-401-320-	40.51	40.51
01*146138	W.B. MASON CO, INC	MATERIAL & SUPPLIES	29.95	01-410-200-	29.95	198.27
		OFFICE SUPPLIES	55.43	01-430-210-	55.43	
		OFFICE SUPPLIES	28.98	01-430-210-	28.98	
		COMMUNICATION EXPENSES	168.98	01-401-320-	168.98	
		MATERIAL & SUPPLIES	-85.07	01-401-200-	-85.07	
01*146139	Y-PERS, INC.	JBB4000 Busy Beaver Hand Clean	1,392.00	01-430-330-	150.00	1,392.00
		JOAS46529 Paper Towels		01-430-330-	276.00	
		JPGC22416 Tide Plus Detergent		01-430-330-	210.00	
		0108 flannel rags 50 pound cas		01-430-330-	114.00	
		J500 Toilet paper 2ply 96 roll		01-430-330-	150.00	
		SGONL-Orange grabbers 8 mil si		01-430-330-	298.00	
		SGONXL orange 8 mil glove extr		01-430-330-	149.00	
		Frieght		01-430-330-	45.00	
01*146141	ADVANCED ELECTRICAL	PILEGGI SERVICE CALL	416.50	01-454-450-	416.50	416.50
01*146142	AQUA PA	000309905039905- 09/30/25-10/3	2,978.96	01-411-363-	2,978.96	2,978.96
01*146143	AQUA PA	0004308690389901- 09/30/25-10/	323.80	01-411-363-	323.80	323.80
01*146144	ASPHALT CARE EQUIPMENT & SUPPLIES	(3) RAKES	141.00	01-430-200-	141.00	141.00
01*146145	AVAYA INC.	SOFTWARE SUBSCRIPTION	31.10	01-401-320-	31.10	31.10
01*146146	AVT	NOVEMBER 10 2025	525.00	01-401-320-	525.00	525.00
01*146147	BONNIE JANSEN	PAYMENT MINI SESSIONS FARMSTEA	1,175.00	01-452-450-	1,175.00	1,175.00
01*146148	BOWMAN CONSULTING GROUP, LTD	ROUNT 611 GLG/TST PROJECT	2,350.00	01-430-313-	2,350.00	18,745.66
		PENNYPACK TRUST	476.35	01-430-313-	476.35	
		MARYLAND ROAD	14,710.00	01-430-313-	14,710.00	
		WG SHOPPING CENTER	1,000.00	01-430-313-	1,000.00	
		CLOUD 10	116.81	01-430-313-	116.81	
		1130 EASTON ROAD - STARBUCKS	92.50	01-430-313-	92.50	
01*146149	CARRIER CORPORATION	DPW ROOF TOP UNIT REPLACEMENT	38,315.00	01-409-373-	38,315.00	38,315.00
01*146150	CHAPMAN FORD OF HORSHAM	CHECK ENGINE LIGHT CAR #615	219.95	01-430-330-	219.95	219.95
01*146151	CHELSEA DODD	PAYMENT FALL INTRAMURAL INSTRU	220.00	01-452-450-	220.00	220.00
01*146152	CHRISTOPHER HENS	2025 BOOT ALLOWANCE	300.00	01-410-238-	300.00	300.00
01*146153	CINTAS CORPORATION	CONTRACT SERVICES	305.15	01-409-450-	305.15	305.15
01*146154	CITY ELECTRIC SUPPLY	GENERAL FIRE POLICE	56.60	01-411-240-	56.60	86.60
		GENERAL FIRE POLICE	30.00	01-411-240-	30.00	
01*146155	CLARK HILL	LEGAL SERVICES THROUGH OCTOBER	171.00	01-402-314-	171.00	171.00
01*146156	CLIFTON LARSON ALLEN LLP	PREPARATION TAX FILINGS - FD	3,141.75	01-402-100-	3,141.75	3,141.75
01*146157	COLLIFLOWER INC.	VEHICLE OPERATING EXPENSE	483.66	01-430-330-	483.66	997.34
		VEHICLE OPERATING EXPENSE	308.64	01-430-330-	308.64	
		VEHICLE OPERATING EXPENSE	205.04	01-430-330-	205.04	
01*146158	COMCAST CABLE	8499101380374949 UMT OFC 11/09	75.96	01-401-320-	75.96	75.96
01*146159	COMCAST CABLE	8499101410169038; 4355 DAVISVI	25.32	01-411-450-	25.32	25.32

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*146160	COMCAST CABLE	8499101410018938 DPW 11/11-12/	439.79	01-401-320-	439.79	439.79
01*146161	COMCAST CABLE	8499101380131182 UMT 11/11-12/	213.35	01-401-320-	213.35	213.35
01*146162	COMMONWEALTH OF PA	PESTICIDE LICENSE 2026	35.00	01-452-240-	35.00	35.00
01*146163	CUMBERLAND MARINE REPAIR, LLC	REPAIR TO WATER RESCUE BOAT #2	561.19	01-411-250-	561.19	561.19
01*146164	DELAWARE VALLEY WORKERS'	TRUST YEAR 2024 - FINAL AUDIT	54,089.00	01-486-354-	54,089.00	54,089.00
01*146165	DONALD MESSNER	PW BOOT ALLOWANCE 2025	200.00	01-430-195-	200.00	200.00
01*146166	EARTHBORNE INC.	#413 DAMAGED BEACON	547.35	01-430-330-	547.35	547.35
01*146167	ED MACKIN	BULK REFUND- PERMIT 158928	30.00	01-364-300-	30.00	30.00
01*146168	ELLIOTT & FRANTZ, INC.	Hitachi ZX135-7 Excavator rent	1,966.00	01-430-384-	1,966.00	1,966.00
01*146169	ELLIOTT LEWIS CORPORATION	First installment of the Capit	6,604.00	01-409-450-	6,604.00	6,604.00
01*146170	FASTENAL COMPANY	VEHICLE OPERATING EXPENSE	253.05	01-430-330-	253.05	538.62
		VEHICLE OPERATING EXPENSE	190.68	01-430-330-	190.68	
		VEHICLE OPERATING EXPENSE	94.89	01-430-330-	94.89	
01*146171	FUEL SYSTEM SERVICES	VEEDER ROOT POWER SUPPLY	1,026.08	01-430-330-	1,026.08	1,026.08
01*146172	GENERAL CODE PUBLISHERS	SUPPLEMENT NO 27	845.00	01-402-314-	845.00	845.00
01*146173	GEORGE ALLEN PORTABLE	REISSUE FOR LOST CHECK # 14527	90.00	01-454-450-	90.00	377.13
		MASONS MILL	287.13	01-454-450-	287.13	
01*146174	GILMORE & ASSOCIATES	FEDERAL REALTY PHASE 3	640.00	01-430-313-	640.00	41,493.11
		WOODLAWN PARK	8,271.25	01-130-100-	8,271.25	
		FARMSTEAD ROOF	145.00	01-430-313-	145.00	
		UMT COMPLEX RENOVATIONS	26,161.25	01-130-100-	26,161.25	
		CLOUD 10	938.92	01-430-313-	938.92	
		200 CASTELLO	147.32	01-430-313-	147.32	
		HUNTINGDON VALLEY CC - POOL RE	303.12	01-430-313-	303.12	
		703 FITZWATERTOWN	793.75	01-430-313-	793.75	
		MS4 PRP FINAL REPORT	4,092.50	01-430-313-	4,092.50	
01*146175	GILMORE & ASSOCIATES, INC	227 NEWINGTON DRIVE	245.00	01-430-313-	245.00	7,801.84
		2400 PIONEER ROAD	1,589.34	01-430-313-	1,589.34	
		2700 BRENDAN CIRCLE	567.50	01-430-313-	567.50	
		232 BROOK STREET	1,250.00	01-430-313-	1,250.00	
		MILL CREEK DAM	325.00	01-430-313-	325.00	
		417 MANOR ROAD	445.00	01-430-313-	445.00	
		601 DAVISVILLE ROAD	227.50	01-430-313-	227.50	
		UMT GENERAL SERVICES	3,040.00	01-430-313-	3,040.00	
		UMT LANDSCAPE	112.50	01-430-313-	112.50	
01*146176	GRAINGER	MAINTENANCE & REPAIRS	113.20	01-409-373-	113.20	113.20
01*146177	GRAINGER	VEHICLE OPERATING EXPENSE	62.41	01-430-330-	62.41	378.45
		VEHICLE OPERATING EXPENSE	316.04	01-430-330-	316.04	
01*146178	H.A. BERKHEIMER, INC.	OCTOBER, 2025	996.09	01-402-312-	996.09	996.09
01*146179	JOHN FUGELO	ENGINEERING FUEL	40.00	01-411-232-	40.00	77.65
		EQUIPMENT MAINTENANCE	37.65	01-411-250-	37.65	
01*146180	JOSEPH GALLAGHER	PAYMENT FALL INTRAMURAL INSTRU	260.00	01-452-450-	260.00	260.00
01*146181	KATHLEEN NAKONIECZNY	PAYMENT FALL INTRAMURAL INSTRU	220.00	01-452-450-	220.00	220.00
01*146182	KILKENNY LAW	UMT GENERAL	8,109.00	01-402-314-	8,109.00	11,631.66
		LIENS	778.56	01-402-314-	778.56	
		TAX ASSESSMENT APPEALS	680.00	01-402-314-	680.00	
		BPT	1,845.54	01-402-314-	1,845.54	
		2321 BLAIR MILL ROAD	48.56	01-402-314-	48.56	
		SUMMARY MATTERS	170.00	01-402-314-	170.00	
01*146183	KILKENNY LAW, LLC	WG SHOPPING CENTER	153.00	01-402-314-	153.00	1,037.00

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
		1740 COUNTY LINE RD INJUNCTION	272.00	01-402-314-	272.00	
		FAIR OAKS PROPERTY	170.00	01-402-314-	170.00	
		BLAIR MILL ROAD WIDENING	102.00	01-402-314-	102.00	
		2250 EASTON ROAD ZHB	204.00	01-402-314-	204.00	
		601 DAVISVILLE - FRED BEANS	136.00	01-402-314-	136.00	
01*146184	LAW ENFORCEMENT SEMINARS, LLC	INTERNAL AFFAIRS INVESTIGATION	445.00	01-410-240-	445.00	445.00
01*146185	MARK WOLTEMATE	2025 BOOT ALLOWANCE	300.00	01-410-238-	300.00	300.00
01*146186	MCDONALD UNIFORMS	FALL UNIFORM	34.20	01-410-238-	34.20	34.20
01*146187	MOYER INDOOR / OUTDOOR	ROUND 5	157.00	01-454-450-	157.00	314.00
		LIME	157.00	01-454-450-	157.00	
01*146188	NAPA AUTO PARTS	OCTOBER 2025 STATEMENT	3,858.01	01-430-330-	3,858.01	3,858.01
01*146189	OCCUPATIONAL HEALTH CENTERS OF THE	M.BOUL DIN	664.00	01-410-240-	664.00	1,215.00
		K.RUDELLE RECET	551.00	01-410-240-	551.00	
01*146190	PECO ENERGY - PAYMENT PROCESSING	0846428111- PILEGGI 09/10/25-1	1,204.84	01-454-360-	1,204.84	1,204.84
01*146191	PECO ENERGY - PAYMENT PROCESSING	8671424000- BYBERRY APT 12/14/	260.18	01-454-360-	260.18	260.18
01*146192	PECO ENERGY - PAYMENT PROCESSING	8671424000- BYBERRY APT 02/17/	259.53	01-454-360-	259.53	259.53
01*146193	PECO ENERGY - PAYMENT PROCESSING	1922155000- LUMINAIRES 10/03-1	112.75	01-409-360-	112.75	112.75
01*146194	PECO ENERGY - PAYMENT PROCESSING	8671424000- BYBERRY APT 03/19/	269.72	01-454-360-	269.72	269.72
01*146195	PECO ENERGY - PAYMENT PROCESSING	8671424000- BYBERRY APT 04/18/	368.39	01-454-360-	368.39	368.39
01*146196	PECO ENERGY - PAYMENT PROCESSING	1996358000 MMP LOT 10/10/25-11	11.28	01-454-360-	11.28	11.28
01*146197	PECO ENERGY - PAYMENT PROCESSING	4990543000 GAS 4355 DAVISVILLE	62.18	01-411-450-	62.18	62.18
01*146198	PECO ENERGY - PAYMENT PROCESSING	6997499000 WGFC ELEC 10/10-11/	476.34	01-411-450-	476.34	476.34
01*146199	PECO ENERGY - PAYMENT PROCESSING	0759432222 WGFH G/E 10/14-11/1	1,649.71	01-411-450-	1,649.71	1,649.71
01*146200	PENDERGAST SAFETY	SAFETY EQUIPMENT	136.72	01-427-192-	136.72	473.23
		SAFETY EQUIPMENT	336.51	01-427-192-	336.51	
01*146201	PENNSYLVANIA ONE CALL	MONTHLY FEE	195.13	01-430-240-	195.13	195.13
01*146202	PEREGRINE ASSOCIATES	BUSINESS CARDS - KYLE	70.00	01-415-240-	70.00	70.00
01*146203	PTC E-Z PASS CUSTOMER SERVICE	SEPTEMBER 2025	1,916.53	01-427-365-	1,916.53	1,916.53
01*146204	RACHEL DeCARLO	PAYMENT FALL INTRAMURAL INSTRU	264.00	01-452-450-	264.00	264.00
01*146205	SALVATORE DINARDO	BUSINESS PRIVILEGE TAX	273.32	01-310-800-	273.32	273.32
01*146206	SHANNON GELNETT	PAYMENT FOR FALL INTRAMURAL IN	252.00	01-452-450-	252.00	252.00
01*146207	SHAPIRO FIRE PROTECTION CO.	LIBRARY ANNUAL MAINTENANCE	41.00	01-409-373-	41.00	41.00
01*146208	SIGNAL SERVICE INC.	Camera Narrow Angle, Traficam	2,178.00	01-430-373-	2,178.00	2,178.00
01*146209	STAR STRIPING SERVICE, LLC	Veteran's Park Basketball and	1,950.00	01-454-450-	1,950.00	1,950.00
01*146210	T.W. REISS, INC.	VEHICLE OPERATING EXPENSE	28.98	01-430-330-	28.98	28.98
01*146211	TAYLOR SLOAN	PAYMENT FALL INTRAMURAL	192.00	01-452-450-	192.00	192.00
01*146212	TODD SMITH	2025 BOOT ALLOWANCE	140.15	01-410-238-	140.15	140.15
01*146213	TOTALLY ABSORBENT	HEAVYWEIGHT OS PADS	130.00	01-411-372-	130.00	130.00
01*146214	TRI-STATE ELEVATOR CO., INC.	NOVEMBER 2025	181.91	01-409-373-	181.91	181.91
	**** VOIDED CHECK ****					
01*146216	UNIFIRST CORPORATION	UNIFORM MAINTENANCE	468.40	01-427-191-	234.20	468.40
		UNIFORM MAINTENANCE		01-430-191-	234.20	
01*146217	VAN'S LOCK SHOP	PADLOCKS (6)	119.58	01-430-330-	119.58	119.58
01*146218	W.B. MASON CO, INC	MATERIAL & SUPPLIES	30.06	01-401-200-	30.06	81.12
		MATERIAL & SUPPLIES	51.06	01-401-200-	51.06	
	**** VOIDED CHECK ****					
01*146220	AIRGAS	RENT ARGON	92.84	01-430-330-	92.84	92.84
01*146221	AQUASCAPES UNLIMITED	POND SERVICE 07/18/25	367.25	01-454-450-	367.25	367.25
01*146222	ARTISTIC SCREEN DESIGNS	(1) POLICE ACADEMY SHIRT	12.00	01-452-247-	12.00	12.00
01*146223	BELLE SERVICES INC HOMENET SOLUTION	BUSINESS PRIVILEGE TAX	42.00	01-310-800-	42.00	42.00
01*146224	BURGER KING #1579	PRISONER MEALS	319.28	01-410-240-	319.28	319.28
01*146225	COLLIFLOWER INC.	HOSE ASSEMBLY	499.98	01-430-330-	499.98	499.98

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*146226	COMCAST CABLE	8499101410219510- VOL FIRE 11/	542.54	01-411-250-	542.54	542.54
01*146227	COMCAST CABLE	8499101410240870: BUEHLER 11/1	354.55	01-401-320-	354.55	354.55
01*146228	COMCAST CABLE	8499101410244682- VET MEM PK 1	163.35	01-401-320-	163.35	163.35
01*146229	CONTRACT CLEANERS SUPPLY INC.	EQUIPMENT REPLACEMENT	134.96	01-411-242-	134.96	214.57
		RETURN COFFEE FILTERS	-29.59	01-411-450-	-29.59	
		COFFEE FILTERS	10.92	01-411-450-	10.92	
		COFFEE FILTERS	98.28	01-411-450-	98.28	
01*146230	DELAWARE VALLEY PROPERTY	PROP./LIAB.INSURANCE	107,074.00	01-486-352-	107,074.00	107,074.00
01*146231	DELAWARE VALLEY WORKERS'	WORKERS COMPENSATION	114,695.25	01-486-354-	114,695.25	114,695.25
01*146232	DELL ACCOUNT	Visio LTSC Standard 2024 per Q	4,722.30	01-401-320-	1,486.40	4,722.30
		LTSC Office Professional 2024		01-401-320-	3,235.90	
01*146233	ELKINS PARK, LLC	BUSINESS PRIVILEGE TAX	528.50	01-310-800-	528.50	528.50
01*146234	FARMSTEAD ALLIANCE	DONATION FALL 2024 HOLIDAY MIN	600.00	01-452-450-	600.00	1,187.50
		DONATION FALL 2025 HOLIDAY MIN	587.50	01-452-450-	587.50	
01*146235	G.L.SAYRE, INC.	2026 PETERBILT VIN # XXXXXX810	126,669.00	01-130-100-	126,669.00	126,669.00
01*146236	GRAINGER	BOOSTER PUMP	421.60	01-430-330-	421.60	421.60
01*146237	GRANTURK EQUIPMENT CO., INC.	BACK PUSH BUTTON	132.40	01-430-330-	132.40	132.40
01*146238	HAVIS-SHIELDS EQUIP.CORP.	EQUIPMENT REPLACEMENT	98.80	01-411-242-	98.80	98.80
01*146239	INDEPENDENCE BLUE CROSS	DECEMBER 2025	268,348.73	01-486-156-	268,348.73	268,348.73
01*146240	INTERNATIONAL CODE COUNCIL	'21 PROPERTY MAINTENANCE & HOU	69.00	01-413-240-	69.00	69.00
01*146241	J&C FRESH SEAFOOD, INC	MERCANTILE TAX	184.16	01-310-300-	184.16	184.16
01*146242	KELLY STRYBUC	PARTICAL REFUND MISSED APPT HO	37.50	01-367-000-	37.50	37.50
01*146243	MAJIDA ALFROUKH	REFUND CANCELLED PAVILION 06/1	240.00	01-367-000-	240.00	240.00
01*146244	MATTHEW J HOCKER	REFUND OVERPAYMENT DENTAL DEDU	443.47	01-486-156-	443.47	443.47
01*146245	MATTHEW MOYER	PW BOOT ALLOWANCE 2025	200.00	01-430-195-	200.00	200.00
01*146246	MICHAEL FISHER	PW BOOT ALLOWANCE 2025	200.00	01-430-195-	200.00	200.00
01*146247	MICHAEL HEARN	PAYMENT FALL '25 KARATE	720.00	01-452-450-	720.00	720.00
01*146248	MIKE FLOOD LLC	FINAL PAYMENT KITCHEN & DINING	10,975.00	01-411-373-	10,975.00	21,470.00
		FINAL PAYMENT LOCKER ROOM CONV	10,495.00	01-411-373-	10,495.00	
01*146249	MURAMASTER EXPRESS, INC	PRIOR YEAR BUSINESS TAXES	6,270.48	01-310-810-	6,270.48	6,270.48
01*146250	OCCUPATIONAL HEALTH CENTERS OF THE	J.McCLEARY 11/13/2025	475.00	01-410-240-	475.00	475.00
01*146251	PECO ENERGY - PAYMENT PROCESSING	8671424000 BYBERRY APT 05/20-0	415.20	01-454-360-	415.20	415.20
01*146252	PECO ENERGY - PAYMENT PROCESSING	0846428111 PILEGGI 10/10-11/10	1,322.69	01-454-360-	1,322.69	1,322.69
01*146253	PECO ENERGY - PAYMENT PROCESSING	5331261222 WAR MEMORIAL 10/14-	40.36	01-454-360-	40.36	40.36
01*146254	PECO ENERGY - PAYMENT PROCESSING	8671424000 BYBERRY APT 06/19-0	577.79	01-454-360-	577.79	577.79
01*146255	PECO ENERGY - PAYMENT PROCESSING	7061714000 MEMORIAL PK 10/14-1	92.77	01-454-360-	92.77	92.77
01*146256	PECO ENERGY - PAYMENT PROCESSING	8113932222; UMT ELEC 10/15-11/	3,815.26	01-409-360-	3,815.26	3,815.26
01*146257	PECO ENERGY - PAYMENT PROCESSING	2372354111- LIBRARY G&E 10/15-	1,528.82	01-409-360-	1,528.82	1,528.82
01*146258	PECO ENERGY - PAYMENT PROCESSING	1574466000 FITZWATERTOWN 10/15	266.87	01-454-360-	266.87	266.87
01*146259	PECO ENERGY - PAYMENT PROCESSING	2407347000 MMP ENTRANCE 10/13-	162.01	01-454-360-	162.01	162.01
01*146260	PECO ENERGY - PAYMENT PROCESSING	7551372222; UMT GAS 10/15-11/1	804.59	01-409-360-	804.59	804.59
01*146261	PECO ENERGY - PAYMENT PROCESSING	8671424000: BYBERRY APT 07/21-	535.03	01-454-360-	535.03	535.03
01*146262	PECO ENERGY - PAYMENT PROCESSING	8671424000 BYBERRY APT 08/19-0	508.30	01-454-360-	508.30	508.30
01*146263	PETROCON CORPORATION	VEHICLE OPERATING EXPENSE	1,654.02	01-430-330-	1,654.02	1,654.02
01*146264	REWorld WASTE, LLC	11/04/25 - 11/14/2025	17,030.91	01-427-365-	17,030.91	17,030.91
01*146265	RHOADS ENERGY	199.1 GALLONS HEATING OIL	581.32	01-409-360-	581.32	581.32
01*146266	RICOH USA, INC.	08/01/25 - 10/31/2025	1,746.95	01-401-320-	1,746.95	1,746.95
01*146267	RILEIGHS OUTDOOR DECOR	2025 White Glove Premium Packa	4,701.00	01-454-450-	4,701.00	4,701.00
01*146268	ROWAN WINTERBORNE	PAYMENT FALL ASSISTANT DRAMARA	500.00	01-452-450-	500.00	500.00
01*146269	SAMANTHA WISNIEWSKI	PAYMENT FALL ASSISTANT DRAMARA	300.00	01-452-450-	300.00	1,800.00

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*146270	SIGNAL CONTROL PRODUCTS,LLC	PAYMENT FALL ASSISTANT DRAMARA	1,500.00	01-452-450-	1,500.00	
		COBALT CHEATER CORD	145.00	01-430-373-	145.00	720.00
		PED POLES	575.00	01-430-373-	575.00	
01*146271	TORI TULINO	PAYMENT FALL DRAMARAMA ASSISTA	500.00	01-452-450-	500.00	500.00
01*146272	TRESSA McCALLISTER	PAYMENT FALL DRAMARAMA INSTRUC	10,350.00	01-452-450-	10,350.00	12,050.00
		PAYMENT FALL DRAMARAMA INSTRUC	1,700.00	01-452-450-	1,700.00	
01*146273	UNIFIRST CORPORATION	UNIFORM MAINTENANCE	447.01	01-427-191-	223.50	447.01
		UNIFORM MAINTENANCE		01-430-191-	223.51	
01*146274	UNIFIRST CORPORATION	UNIFORM MAINTENANCE	436.37	01-427-191-	218.18	436.37
		UNIFORM MAINTENANCE		01-430-191-	218.19	
01*146275	UNITED STATES POSTAL SERVICE	PITNEY BOWES POSTAGE	4,000.00	01-401-240-	4,000.00	4,000.00
01*146276	VICTOR SECURITY, INC.	FARMSTEAD 12/01/25 - 12/31/202	102.50	01-454-450-	102.50	102.50
01*146277	W.B. MASON CO, INC	OFFICE SUPPLIES	144.35	01-430-210-	144.35	144.35
01*146278	WILLIAM MEAKIM	PAYMENT WINTER ADULT YOGA	1,440.00	01-452-450-	1,440.00	1,440.00
01*146279	WILLOW GROVE BAPTIST FOOD PANTRY	FOOD BANK DONATION	2,500.00	01-401-520-	2,500.00	2,500.00
01*146280	WILLOW TREE & LANDSCAPE SER. INC	Stump Grinding Ball Rd.	1,750.00	01-401-450-	1,750.00	1,750.00
04*9964	PRISCILLA AURIELLO	REIMBURSE CHRISTMAS LUNCHEON G	60.00	04-384-100-	60.00	60.00
04*9965	ALEX LEVY, PETTY CASHIER	AMERICAN MUSIC THEATER 12/02/2	168.00	04-384-100-	168.00	168.00
04*9966	CURRAN TRAVEL, INC.	DEPOSIT AMERICAN THEATER	6,816.00	04-384-100-	6,816.00	6,816.00
04*9967	JANET LYNCH	REFUND CRUISE DEPOSIT	250.00	04-384-100-	250.00	250.00
04*9968	PERKIOMEN TOURS	DEPOSIT 09/30/25 TRIP	100.00	04-384-100-	100.00	100.00
04*9969	CALVIN PRESSLEY	PAYMENT GAC ENTERTAINMENT	350.00	04-384-100-	350.00	350.00
04*9970	CAROL HARTMAN	GAC GIFT	150.00	04-384-100-	150.00	150.00
04*9971	DONNA GRAF	REIMBURSEMENT GAC GIFT	59.98	04-384-100-	59.98	59.98
04*9972	JENNIFER HARTIGAN	GAC GIFT	150.00	04-384-100-	150.00	150.00
04*9973	PENN'S PEAK, LLC	DEPOSIT GAC TRIP	100.00	04-384-100-	100.00	100.00
04*9974	PHILIP McGRATH	GAC GIFT	75.00	04-384-100-	75.00	75.00
04*9975	SPENCER CARTIER	GAC GIFT	75.00	04-384-100-	75.00	75.00
04*9976	CAROL HARTMAN	REIMBURSE GAC LUNCHEON GIFTS	63.89	04-384-100-	63.89	102.81
		REIMBURSEMENT HUNTERDON HILLS	16.00	04-384-100-	16.00	
		REIMBURSEMENT AMT SNACKS	22.92	04-384-100-	22.92	
04*9977	COMMONWEALTH NATIONAL GOLF CLUB	GAC LUNCHEON	1,485.40	04-384-100-	1,485.40	1,485.40
04*9978	LORI MOMORELLA	REIMBURSEMENT LUNCHEON GIFTS	60.00	04-384-100-	60.00	60.00
04*9979	PATRICIA HUDSON	REIMBURSE LUNCHEON GIFT	55.85	04-384-100-	55.85	55.85
04*9980	PATRICIA KEGEL	REIMBURSEMENT LUNCHEON GIFTS	58.97	04-384-100-	58.97	58.97
04*9981	RICHARD & ARLENE GHEEN	REIMBURSEMENT LUNCHEON GIFT	60.00	04-384-100-	60.00	60.00
04*9982	VEREINIGUNG ERZGEBIRGE	DEPOSIT 05/20/26	500.00	04-384-100-	500.00	2,000.00
		DEPOSIT 03/24/26	500.00	04-384-100-	500.00	
		DEPOSIT 02/24/26	500.00	04-384-100-	500.00	
		DEPOSIT 01/27/26	500.00	04-384-100-	500.00	
23*146071	RICOH USA, INC.	11/15/2025 - 12/14/2025	45.55	23-471-600-	45.55	45.55
23*146140	RICOH USA, INC.	NOVEMBER 2025	1,637.52	23-471-600-	1,637.52	1,637.52
35*3224	CENIVIVA'S PAVING & CONCRETE	08/25-08/28/25 PLEASANT HILL,	3,680.00	35-439-210-	3,680.00	4,600.00
		090525 REINIGER ROAD	920.00	35-439-210-	920.00	
35*3225	PECO ENERGY - PAYMENT PROCESSING	6017423111 LUMINAIRES	23,392.46	35-434-361-	23,392.46	23,392.46
35*3226	SHERWIN WILLIAMS CO.	STREET SIGN MATERIALS	280.05	35-433-245-	280.05	280.05
35*3227	ELLIOTT & FRANTZ, INC.	HAMM ROLLER	5,500.00	35-439-210-	5,500.00	1,833.33
		CREDIT OPEN RENTAL	-3,666.67	35-439-210-	-3,666.67	
35*3228	PECO ENERGY - PAYMENT PROCESSING	8654361222 10/03/25-11/03/25	1,069.50	35-434-361-	1,069.50	1,069.50
35*3229	PECO ENERGY - PAYMENT PROCESSING	2535420100 10/15-11/13/25	2,339.01	35-434-361-	2,339.01	2,339.01

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
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GRAND TOTAL OF CHECKS = 1,492,843.22

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION NO. R-2025-26

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF UPPER MORELAND AUTHORIZING THE RATE OF CONTRIBUTION TO THE POLICE PENSION FUND BY MEMBERS SHALL BE FIVE PERCENT (5%) OF TOTAL WAGES FOR THE CALENDAR YEAR BEGINNING JANUARY 1, 2026, AND ENDING DECEMBER 31, 2026.

DULY adopted by the members of the Board of Commissioners of the Township of Upper Moreland this 1st day of December **2025**.

ATTEST:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Patrick T. Stasio, Secretary

Clifton McFatridge, President

UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

ORDINANCE NO. 1770

BE IT ENACTED AND ORDAINED that the yearly calendar for the Board of Commissioners of Upper Moreland Township shall be as follows:

2026 COMMISSIONERS' MEETINGS

ALL MEETINGS LISTED ON THE CALENDAR SHALL BEGIN PROMPTLY AT 7:00 P.M. AND SHALL BE ADJOURNED NO LATER THAN 11:00 P.M. ANY UNFINISHED BUSINESS SHALL BE CARRIED OVER TO THE APPROPRIATE MEETING THE FOLLOWING MONTH.

JANUARY			JULY		
Day	Date		Day	Date	
M	5	Reorganization Meeting	M	6	Regular Meeting
M	12	Regular Meeting	M	20	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec
M	19	HOLIDAY (Martin Luther King, Jr.)			
M	26	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec			
FEBRUARY			AUGUST		
M	2	Regular Meeting	M	3	Regular Meeting
M	9	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec	M	17	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec
M	16	HOLIDAY (Presidents' Day)			
MARCH			SEPTEMBER		
M	2	Regular Meeting	M	7	HOLIDAY (Labor Day)
M	16	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec	M	14	Regular Meeting
			M	21	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec
APRIL			OCTOBER		
M	6	Regular Meeting	M	5	Regular Meeting
M	20	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec	Pennsylvania Municipal League Conference		
			M	19	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec
MAY			NOVEMBER		
M	4	Regular Meeting	TU	3	ELECTION DAY
M	11	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec	S	7	2026 Budget Workshop
TU	19	PRIMARY ELECTION	M	9	Regular Meeting
M	25	HOLIDAY (Memorial Day)	M	16	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec
JUNE			DECEMBER		
M	8	Regular Meeting	M	7	Regular Meeting (including the adoption of the 2027 Township Budget)
M	22	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec	M	21	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec

ADOPTED this 1st day of December 2025

ATTEST:

UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS

Patrick T. Stasio, Secretary

Clifton McFatridge, President

TOWNSHIP of UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215

Telephone (215) 659-3100 / Fax (215) 659-7363

COMMISSIONERS

KIP McFATRIDGE

President

CHERYL LOCKARD

Vice President

JARED JACOBS

DEMOND MULLEN

BENJAMIN W. OLSZEWSKI

NICHOLAS O. SCULL

CHARLES M. WHITING



OFFICIALS

PATRICK T. STASIO

Township Manager

JOHN D. BATES

Assistant Township Manager/

Director of Finance

ALEX H. LEVY

Township Treasurer

SEAN P. KILKENNY, ESQ.

Township Solicitor

Agenda Summary

Finance and Administration Committee Meeting – November 24, 2025

Board of Commissioners Regular Meeting – December 1, 2025

Agenda Item:	Kilkenny Law LLC 2026 Engagement Fee
Prepared by:	Patrick Stasio, Township Manager
Attachments:	Engagement letter
Background/Analysis:	The Township's solicitor, Kilkenny Law LLC, has provided the Township with an engagement letter for 2026 legal services with an hourly rate of \$175.00. This is a \$5.00 per hour increase from the current rate.
Fiscal Impact/Source:	A small increase in our legal fees
Alternatives:	N/A
Staff Recommendation:	The Committee recommends the Board of Commissioners approve the Solicitor's rate increase for legal services at the Regular Meeting on December 1, 2025.

Equal Opportunity Employer

VISIT US ON THE WEB @ www.uppermoreland.org



519 Swede Street • Norristown, PA 19401
(484) 679-8150

SEAN P. KILKENNY, ESQUIRE
Direct Dial: 484-679-8153
sean@skilkennylaw.com

September 12, 2025

Patrick Stasio, Township Manager
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

Re: Engagement Letter for Legal Services

Dear Mr. Stasio,

Please allow this letter to express our interest in serving as Township Solicitor of Upper Moreland Township for calendar year 2026. In accordance with the applicable provisions of the Pennsylvania Rules of Professional Conduct, this letter is intended to set forth our agreement concerning our representation of you. Furthermore, this letter will confirm the terms upon which law firm will serve as legal counsel to you and provide information about our fees.

For all work undertaken during 2026, the Township will pay Kilkenny Law, LLC One Hundred Seventy-Five Dollars (\$175.00) per hour.

After (1) one calendar year, the Board of Commissioners will review these rates and may consider applicable adjustments in compensation based on inflation or merit as it may see fit. We may, from time to time, recommend that specialized litigation or labor matters be referred to outside counsel upon a majority vote of the Board of Commissioners.

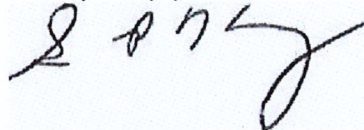
We will keep you advised of the time devoted to all matters. Our normal practice is to bill clients on a monthly basis. The Township will not be billed for secretarial time nor will the Township be charged for any travel between our offices and the Township Building. All invoices from our office will specify dates, nature or service, and members of our firm involved in the representation. Our bills also contain amounts designated as costs. These expenses include filing fees, process server fees, transcripts, postage charges, computer research charges, overnight delivery charges, large copy and/or fax jobs, long distance charges and similar expenses. We generally advance minor expenses but typically ask clients to advance larger disbursements such as court reporter fees for depositions, travel expenses and the like.

If you choose to discontinue using this firm's services, we will provide any files in our possession upon request. If you do not make a request to take custody of any files, we will retain the file for what we consider to be a reasonable period; at the expiration of which, your file will be disposed of without further notice to you. Our current policy is to dispose of all files seven (7) years after termination of our engagement or completion of the matter, and you agree that we may do so.

Our firm is committed to providing legal services promptly and efficiently and in accordance with the highest legal and ethical standards. On behalf of the firm, I wish to thank the Township for offering us this opportunity to be of service.

If the Board of Commissioners consents to our representation under the terms outlined in this letter, we would request that you and the President of the Board of Commissioners countersign this letter and return it to us.

Very truly yours,

A handwritten signature in black ink, appearing to read 'S. Kilkenney', written over a light blue rectangular background.

SEAN KILKENNY

AGREED AND ACCEPTED:

President of the Board of Commissioners

Patrick Stasio, Township Manager

Date

TOWNSHIP of UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215

Telephone (215) 659-3100 / Fax (215) 659-7363

COMMISSIONERS

KIP McFATRIDGE

President

CHERYL LOCKARD

Vice President

JARED JACOBS

DEMOND MULLEN

BENJAMIN W. OLSZEWSKI

NICHOLAS O. SCULL

CHARLES M. WHITING



OFFICIALS

PATRICK T. STASIO

Township Manager

JOHN D. BATES

Assistant Township Manager/

Director of Finance

ALEX H. LEVY

Township Treasurer

SEAN P. KILKENNY, ESQ.

Township Solicitor

Agenda Summary

Finance and Administration Committee Meeting – November 24, 2025

Board of Commissioners Regular Meeting – December 1, 2025

Agenda Item:	Gilmore & Associates, Inc. 2026 Professional Services Fee Schedule
Prepared by:	Patrick Stasio, Township Manager
Attachments:	2026 Professional Services Fee Schedule
Background/Analysis:	<p>Gilmore & Associates have adjusted their hourly rate schedule to reflect the ongoing competitive labor market in the industry, as well as the increases seen in operating costs as a result of inflation.</p> <p>The rates are an approximate increase of 3% from 2025.</p>
Fiscal Impact/Source:	No material impact as the Township continues to budget for engineering costs
Alternatives:	N/A
Staff Recommendation:	The Committee recommends the Board of Commissioners approve the service fee increase at the Regular Meeting on December 1, 2025.

Equal Opportunity Employer

VISIT US ON THE WEB @ www.uppermoreland.org



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

2026 PROFESSIONAL SERVICES FEE SCHEDULE
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA

TITLE	RATE
Principal III	\$ 165.00
Principal II	\$ 160.00
Principal I	\$ 155.00
Consulting Professional V	\$ 150.00
Consulting Professional IV	\$ 145.00
Consulting Professional III	\$ 140.00
Consulting Professional II	\$ 135.00
Consulting Professional I	\$ 130.00
Design Technician V	\$ 125.00
Design Technician IV	\$ 120.00
Design Technician III	\$ 115.00
Design Technician II	\$ 110.00
Design Technician I	\$ 105.00
Construction Representative III	\$ 128.00
Construction Representative II	\$ 117.00
Construction Representative I	\$ 112.00
Survey Crew	\$ 200.00
Project Assistant	\$ 90.00

Listed Rates – All Rates listed above are hourly rates based upon straight time for a 40-hour, 5-day week and are charged on actual time expended. When requested/required to provide professional services in excess of 40 hours during the normal work week, non-exempt staff shall be charged 1.5 times the standard rate for those hours worked in excess of the normal 40 hours. Construction Representative Services requested on weekends shall be charged at the same overtime rate with a minimum of 4 hours charged.

Client Invoicing – Gilmore & Associates, Inc. invoices on a monthly basis and payment for services rendered are due within 30 days.

Proprietary Information – This Professional Services Fee Schedule is proprietary information issued by Gilmore & Associates, Inc. for review only by the recipient of this document. The information contained herein shall not be shared, reviewed or discussed with others than those receiving this original document.

Special Consulting Services – Rates vary by type of service and level of experience. Rate Schedules will be provided upon request.