

UPPER MORELAND TOWNSHIP
Regular Meeting
December 1, 2025 at 7:00 p.m.
AGENDA ITEMS ARE SUBJECT TO CHANGE

INSTRUCTIONS TO JOIN:

Go to Zoom.us. Click "Join a Meeting" Webinar ID: 917 5771 7982 Password: 182130
Join by Phone: Dial 1-929-205-6099 Webinar ID: 917 5771 7982 Password: 182130

***Residents requiring special accommodations:
please call the Township during normal business hours at 215-659-3100 x1058 or x1057***

- I. **Call Meeting to Order**
- II. **Moment of Silent Meditation/Pledge of Allegiance**
- III. **Roll Call**
- IV. **Presentations:**
 - Township Building Renovation Project Presentation by GKO

PUBLIC HEARING #1975

PUBLIC HEARING #1975 - To receive public comments regarding the Conditional Use Application for 601 Davisville Road submitted by Fred Beans of Doylestown, to reuse the existing building for an automotive repair and service facility with ancillary office and storage areas.

REGULAR MEETING

- V. **Public Comments – Non-Agenda Items Only**
- VI. **Treasurer's Activity Report – November 2025**
- VII. **Approval of Meeting Minutes – November 10, 2025 (attachment)**
- VIII. **Committee Recommendations**
 - A. **Community Development Committee – November 24, 2025** – The Committee recommends the Board of Commissioners take action on the following:
 - 1. Code Enforcement
 - 2. Land Development/Subdivision Applications
 - a. **Motion to approve** Conditional Use Decision and Order for 601 Davisville Road submitted by Fred Beans of Doylestown to reuse the existing building for an automotive repair and service facility with ancillary office and storage areas.
 - b. **Motion to approve Resolution R-2025-22** – Granting Preliminary/Final Land Development Application to Upper Moreland Township to alter the existing Township Municipal Complex. (attachments)
 - c. **Motion to approve Resolution R-2025-23** – Granting the request for three (3) amusement devices at the property located at 425 W. Moreland Road (attachments)

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3. Other Items

- a. The December 15, 2025 Community Development Committee Meeting.

B. **Public Health & Safety Committee – November 24, 2025** – The Committee recommends the Board of Commissioners take action on the following:

1. The December 15, 2025 Public Health & Safety Committee meeting.

C. **Finance & Administrative Committee – November 24, 2025** – The Committee recommends the Board of Commissioners take action on the following:

1. **Annual 2026 Budget** – The Upper Moreland Township's 2026 Budget related items (click: [2026 Budget](#) to view entire budget):

- a. **Motion to approve Ordinance No. 1768** – Authorizing the 2026 Tax Levy (attachment).
- b. **Motion to approve Resolution R-2025-24** – Establishing the Rate of 2026 Refuse Fee (attachment).
- c. **Motion to approve Ordinance No. 1769** – Adopting the 2026 Township Budget (attachment).
- d. **Motion to approve Resolution R-2025-25** – Adopting the 2026-2030 Capital Improvement Budget (attachment).

2. Appointments/Reappointments:

- a. The appointment of **Angeline Thomas** on the **Human Relations Commission** to fill a vacancy left by Sharia Wallace and serve the remaining three-year term to expire on December 31, 2027.

3. List of Bills Payable (attachment) – The Committee recommends the approval of:

General Funds Checks:

Beginning Check No.: 146015

Ending Check No.: 146280

General: \$ 1,445,468.79

Debt: \$ 1,683.07 (Check No. 146071, 146140)

Capital: \$ -----

Total: \$ 1,447,151.86

Voids: 146215, 146219

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Escrow Fund Checks:

Beginning Check No.: 9964
Ending Check No.: 9982

Total: \$ 12,177.01
Voids: 0

Liquid Fuel Fund Checks:

Beginning Check No.: 3224
Ending Check No.: 3229

Total: \$ 33,514.35
Voids: 0

4. Other Items

- a. **Motion to approve Resolution R-2025-26** – Establishing the rate of contribution to the Police Pension Fund (attachment).
- b. **Motion to approve Ordinance No. 1770** – Approving the 2026 Schedule of the Board of Commissioners' Meetings (attachment).
- c. **Motion to approve** the 2026 Engagement Services and Fees of the Township Solicitor, Kilkenny Law LLC (attachments).
- d. **Motion to approve** the 2026 Professional Services Fee Schedule of the Township Engineer, Gilmore and Associates, Inc. (attachments).

5. New Business

- a. **Motion to approve** Authorization to go out to bid for Township building renovations.
- b. The December 15, 2025 Finance and Administrative Committee meeting.

D. **Parks & Recreation Committee – November 24, 2025** – The Committee recommends the Board of Commissioners consider the following:

1. The December 15, 2025 Parks and Recreation Committee meeting.

IX. Commissioner Comments:

A. Upcoming Township Meetings (based on Township calendar):

Date	Subject	Location	Time
12/11/2025	Zoning Hearing Board	Council Room	7 pm
12/15/2025	Community Development Public Health & Safety Committee Finance & Administrative Committee Parks and Recreation Committee	Council Room	7 pm
12/17/2025	Democratic Committee	Council Room	7 pm

UPPER MORELAND TOWNSHIP

Regular Meeting

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AGENDA ITEMS ARE SUBJECT TO CHANGE

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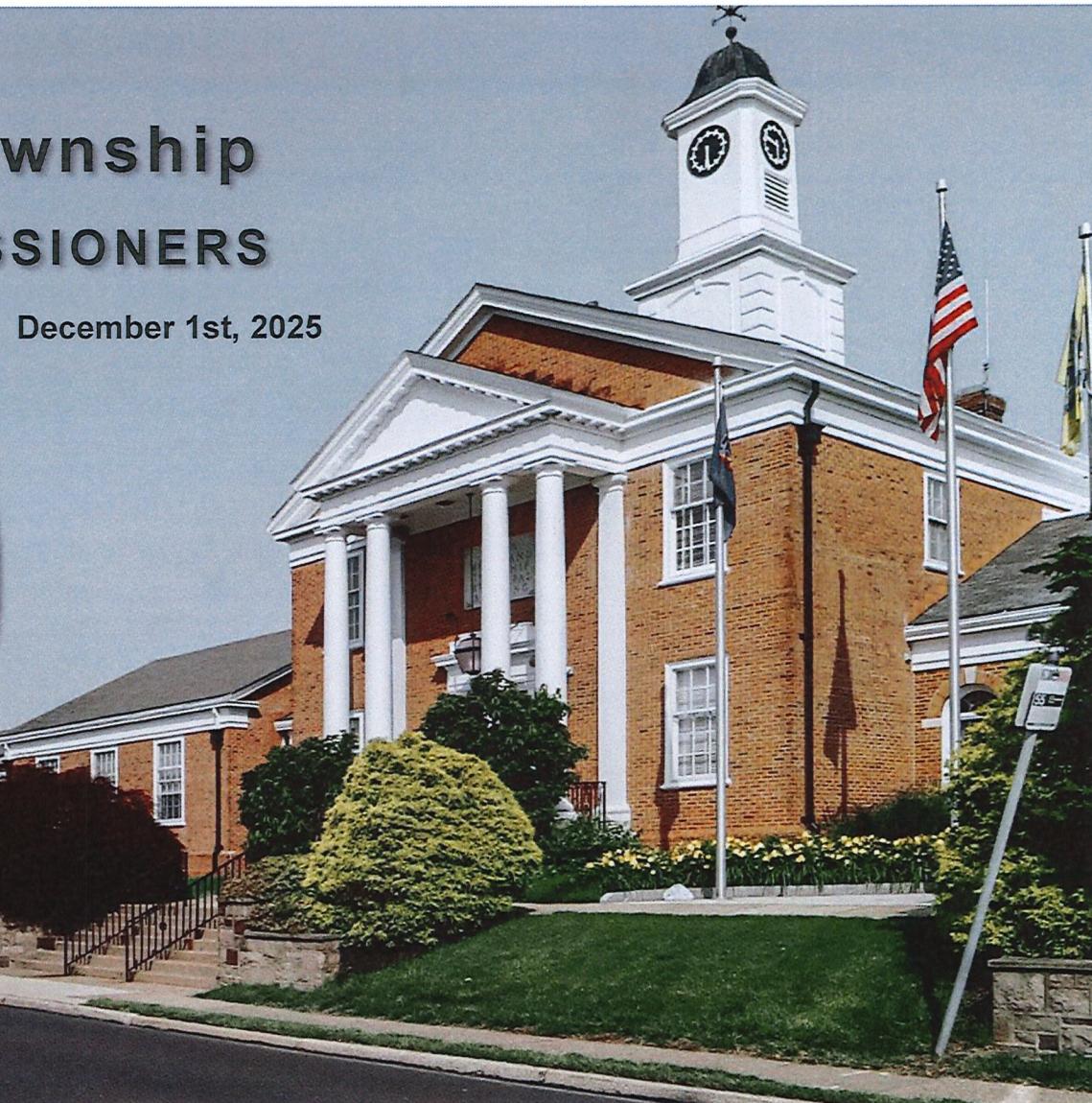
12/18/2025	Advisory Planning Agency	Council Room	5 pm
12/24/2025	Township Building Closed at Noon – Holiday – Christmas Day Observed		
12/25/2025	Township Building Closed – Holiday – Christmas Day Observed		
12/31/2025	Township Building Closed at Noon – Holiday – New Years Day Observed		

X. Adjournment

Upper Moreland Township

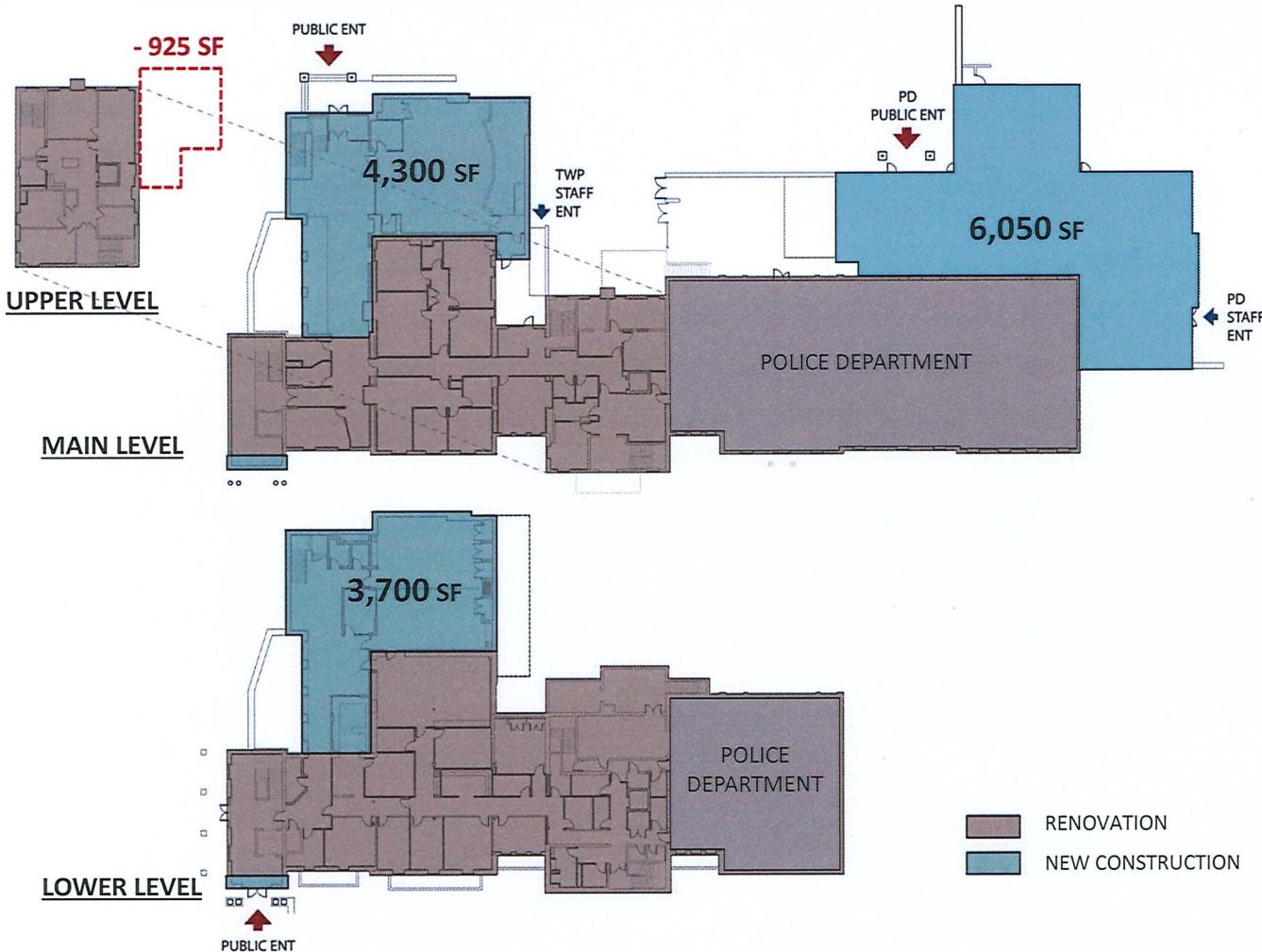
THE BOARD OF COMMISSIONERS

December 1st, 2025

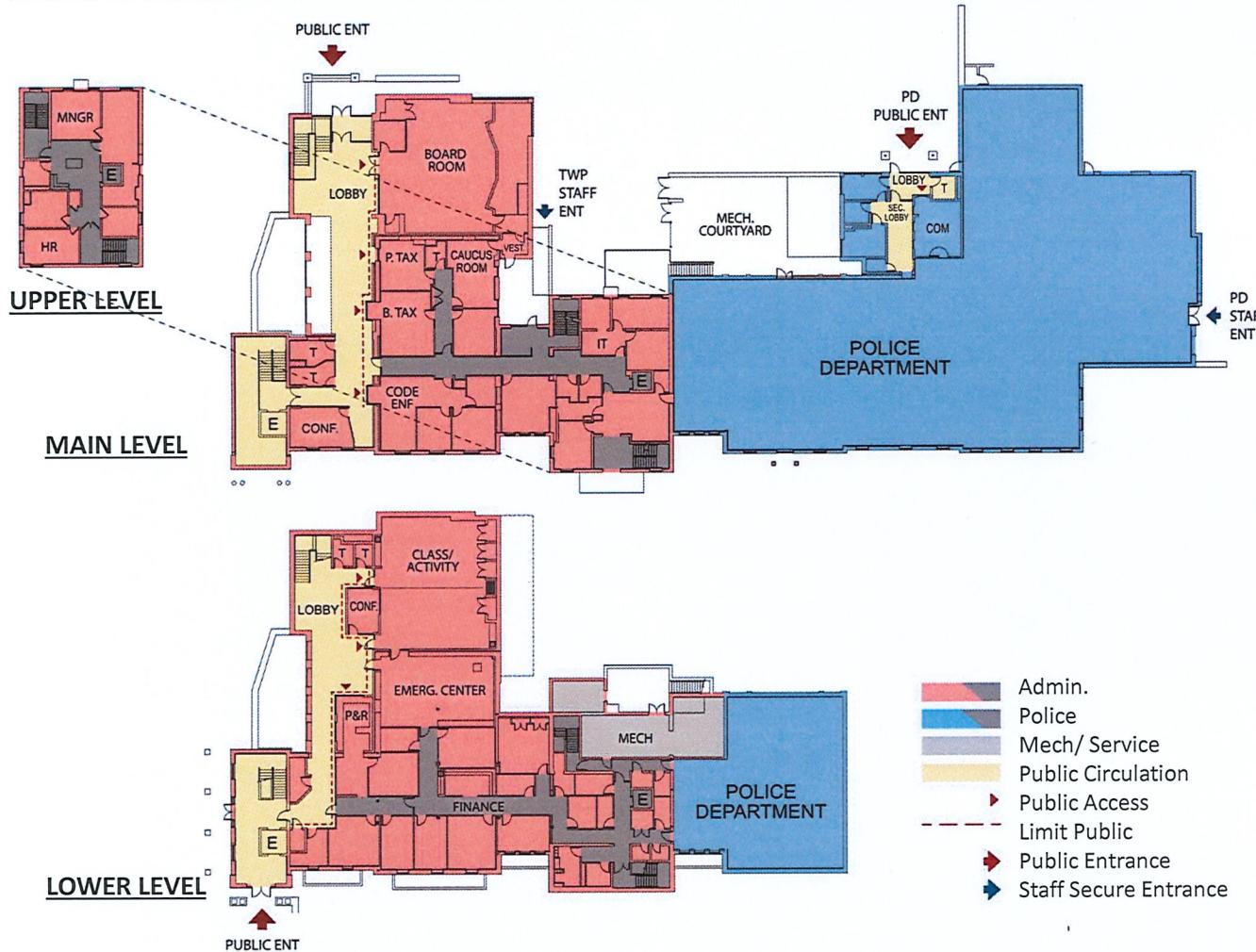


UPPER MORELAND TOWNSHIP – PROPOSED PLAN

GKO
ARCHITECTS



UPPER MORELAND TOWNSHIP – PROPOSED PLAN



Township Admin.

- Public Lobby on West side of Bldg.
- New Entrances off Park & Center Avenues.
- Utilize the exist. Stair Tower & Elevator.
- 2-story Lobby w/ Natural light to lower level.

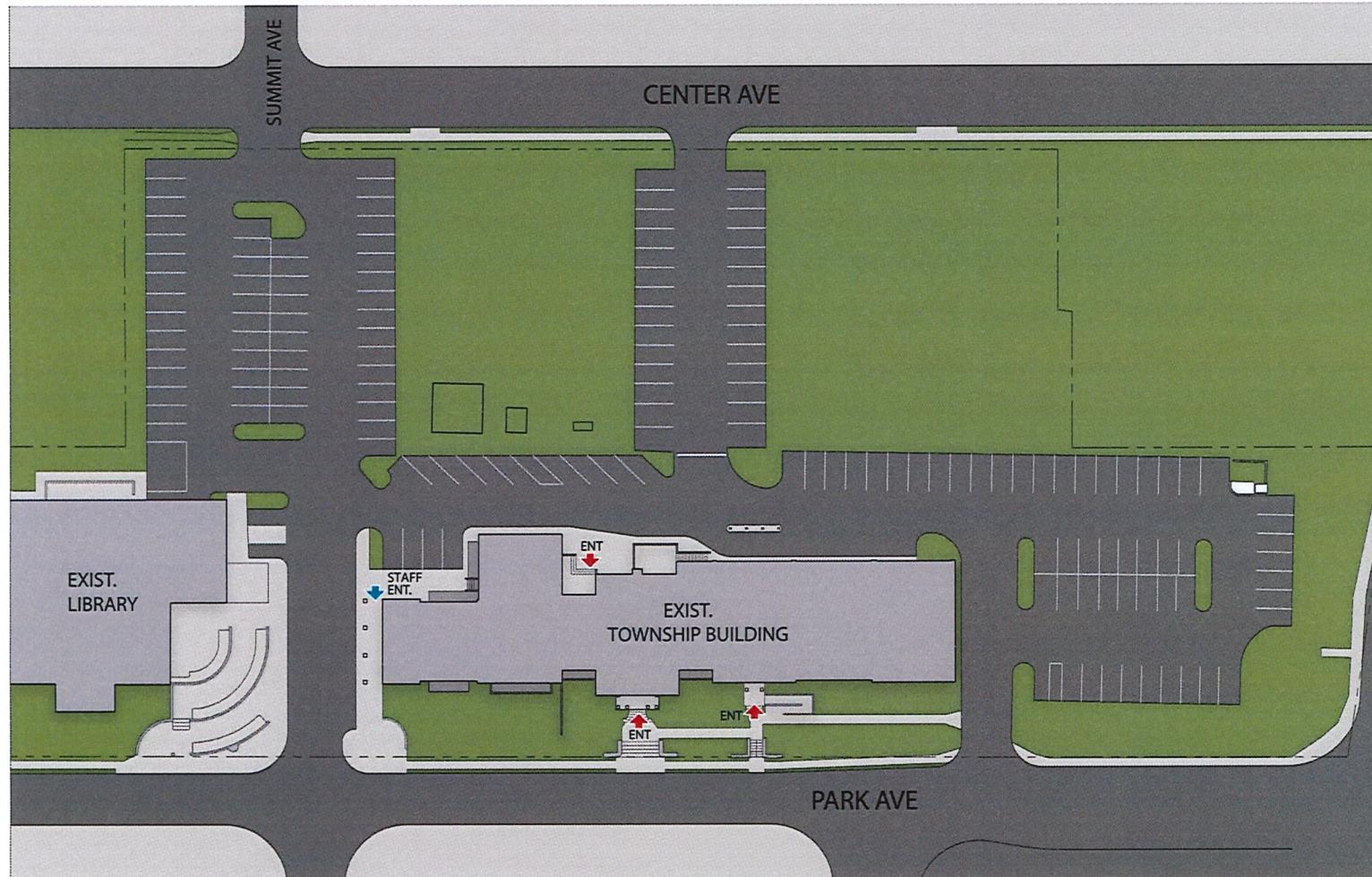
Police Department

- Entrance Moved to Center Avenue Side of the Building.
- Improved/ Expanded Spaces.

Considerations

- Maintains existing mechanical room and transformer location.
- Natural light to most Township Staff Spaces.

UPPER MORELAND TOWNSHIP – EXISTING SITE



153 Parking Spaces:
(single lot with no separation)

Township:

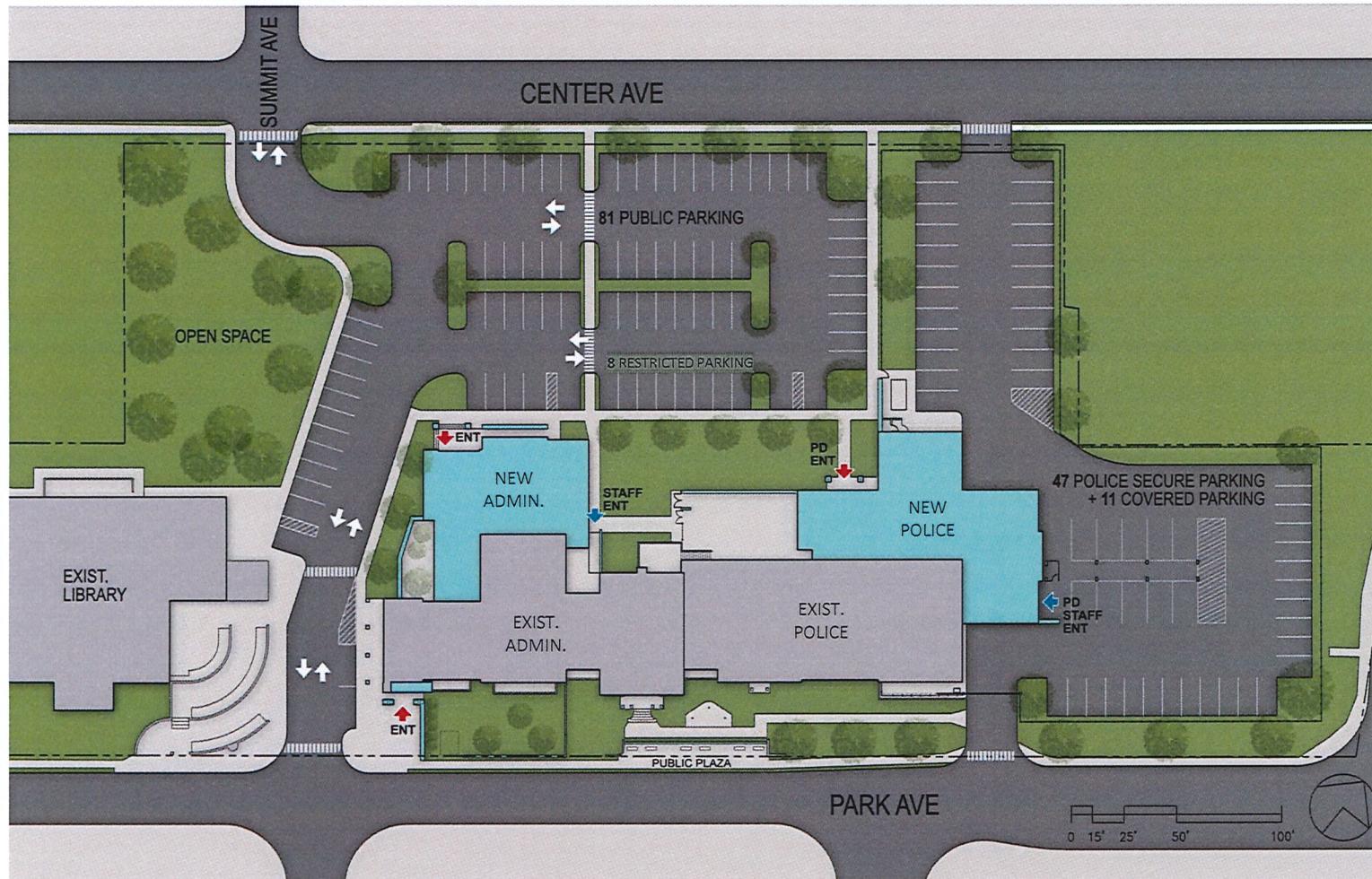
Township Staff	22
Township Vehicles	4
Library Staff	5
Total	31

Police :

Command Admin.	3
Detectives	5
Patrol (@ shift change)	14
Community Police	5
Civilians:	3
Police Owned Vehicles	27
Total	57

Addl. Visitor Spaces: 65

UPPER MORELAND TOWNSHIP – PROPOSED SITE



- Secure Police Lot w/ direct access to Center & Park Avenues.
- Open Space in front of Library. (Future Park/Playground)
- Eliminated second entrance off Center Ave to reduce Pass-Through Traffic.
- Parking for **143** cars
 - 81 Public
 - 8 Restricted
 - 54 Police (11 covered)

UPPER MORELAND TOWNSHIP EXTERIOR IMAGE

GKC
ARCHITECTS



UPPER MORELAND TOWNSHIP EXTERIOR IMAGE

GKO
ARCHITECTS



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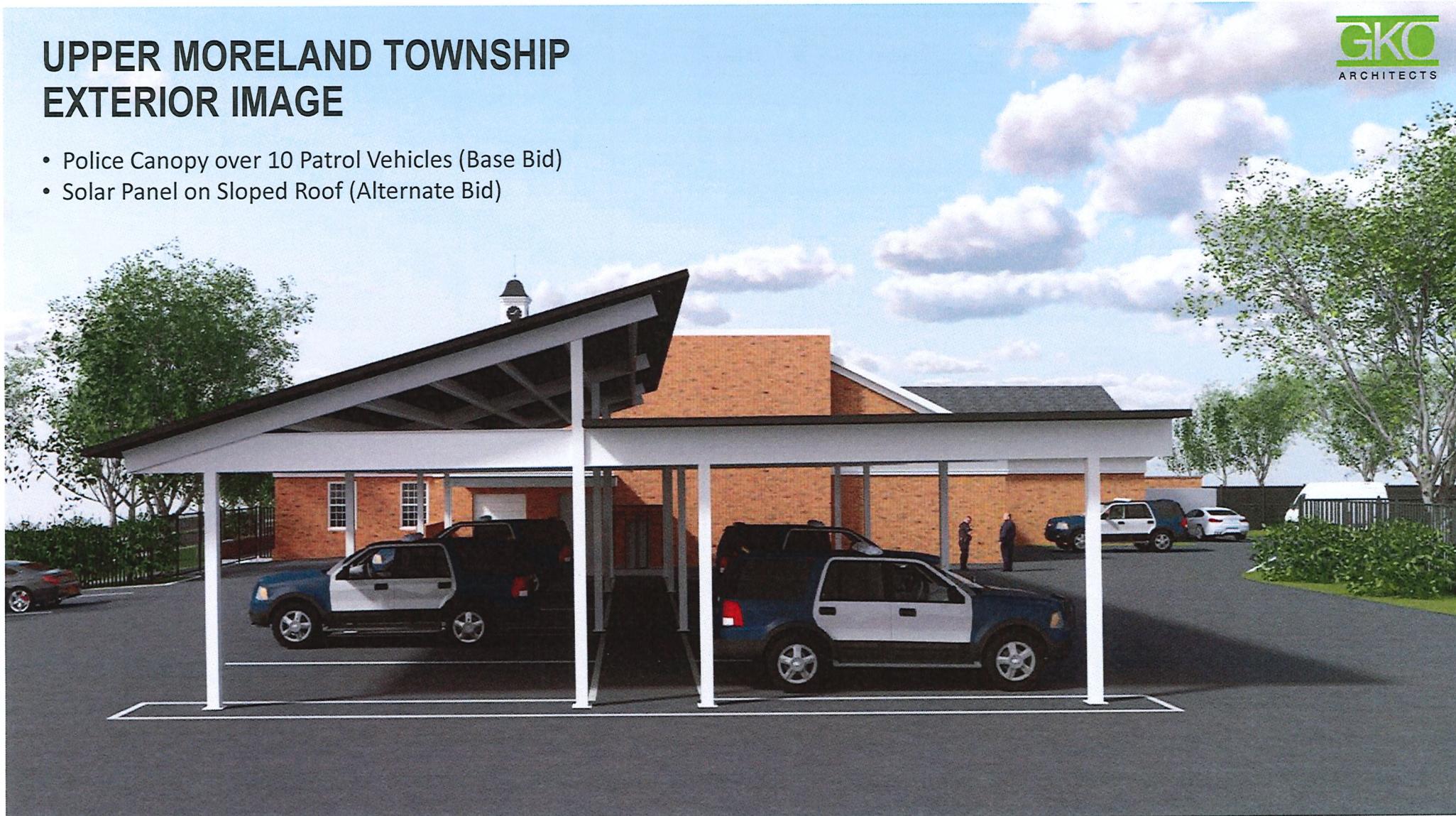
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UPPER MORELAND TOWNSHIP EXTERIOR IMAGE

- Police Canopy over 10 Patrol Vehicles (Base Bid)
- Solar Panel on Sloped Roof (Alternate Bid)

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POSSIBLE ALTERNATES TO BE INCLUDED IN BID

- Solar Panel over Police Canopy
- New Public Entrance off the Park Avenue
- Decorative Fence Between Public Parking and Police Secure Parking.
- Bird Glass on Large Panes.
- Paving - Township can pave with their own staff - Want to see cost for GC to decide.

UPPER MORELAND TOWNSHIP EXTERIOR IMAGE – ALTERNATE BID

- New Public Entrance.

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UPPER MORELAND TOWNSHIP EXTERIOR IMAGE – ALTERNATE BID

- Decorative Fence between Public Parking and Police Secure Parking

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INTERIOR IMAGE – LOBBY



- Transaction counters to Property Tax, Business Tax, Code Enforcement and Parks & Rec (on Lower Level).
- Access Boardroom Off the Lobby

INTERIOR IMAGE – LOBBY



- Two-story public lobby with access to Township Departments, Board Room, Meeting Rooms and Activity Rooms.

INTERIOR IMAGE – BOARD ROOM



INTERIOR IMAGE – BOARD ROOM



GKO

UPPER MORELAND TOWNSHIP – 2024 vs 2025

		Existing	Previous 2024 Project	Current 2025 Project
ADMIN	UPPER	3,255	3,255	2,330 (-925)
	MAIN	7,545	15,500	11,820
	LOWER	8,610	11,180	12,060
	TOTAL	19,410sf	29,935sf	26,210sf
			10,525+	6,800+
POLICE	UPPER	0	4,505	0
	MAIN	7,615	10,307	13,660
	LOWER	2,570	5,770	2,850
	TOTAL	10,185sf	20,582sf	16,510sf
			10,397+	6,325+
TOTAL		29,595	50,517	42,720
			20,922+	13,125+

UPPER MORELAND TOWNSHIP – BUDGET



Row #	Item	Concept Budget Regrouped			DD Budget			60% CD Budget			COMMENTS	
		Option 3										
		Gross SF	Cost/SF	Total Cost	Gross SF	Cost/SF	Total Cost	Gross SF	Cost/SF	Total Cost		
1	Additions and Renovations	43,275	\$ 394.52	\$ 17,072,900	42,200	\$ 430.45	\$ 18,165,000	42,200	\$ 539.96	\$ 18,019,400		
2	New Additions Construction	14,455	\$ 540.00	\$ 7,805,700	13,600	\$ 552.21	\$ 7,510,000	13,600	\$ 539.86	\$ 7,342,500		
3	GC Additions	14,455	\$ 320.00	\$ 4,625,600	13,600	\$ 363.60	\$ 4,945,000	13,600	\$ 364.19	\$ 4,953,000		
4	EC Additions	14,455	\$ 110.00	\$ 1,590,050	13,600	\$ 86.76	\$ 1,180,000	13,600	\$ 73.75	\$ 1,003,000		
5	MC Additions	14,455	\$ 80.00	\$ 1,156,400	13,600	\$ 73.90	\$ 1,005,000	13,600	\$ 71.81	\$ 976,600		
6	PC Additions	14,455	\$ 30.00	\$ 433,650	13,600	\$ 27.94	\$ 380,000	13,600	\$ 30.14	\$ 409,900		
7	Existing Facility Renovations	28,820	\$ 321.55	\$ 9,267,200	28,600	\$ 372.55	\$ 10,655,000	28,600	\$ 373.32	\$ 10,676,900	\$325/SF for Heavy Reno and \$210/SF for Light Reno in Concept Budget DD Budget based on Hard Takeoffs and Unit Costs	
8	GC Renovations	28,820	\$ 103.89	\$ 2,994,200	28,600	\$ 151.57	\$ 4,335,000	28,600	\$ 151.96	\$ 4,346,100	Includes New Elevator in Reno Space	
9	EC Renovations	28,820	\$ 107.89	\$ 3,109,400	28,600	\$ 93.18	\$ 2,665,000	28,600	\$ 89.91	\$ 2,571,500		
10	MC Renovations	28,820	\$ 79.85	\$ 2,301,200	28,600	\$ 92.31	\$ 2,640,000	28,600	\$ 94.69	\$ 2,708,000		
11	PC Renovations	28,820	\$ 29.92	\$ 862,400	28,600	\$ 30.24	\$ 865,000	28,600	\$ 31.51	\$ 901,300		
12	Phasing Allowance for Temporary MV Transformer		N/A		N/A		N/A		N/A			
13	Elevator Install		Included Above		Included Above		Included Above		Included Above			
14	Environmental Abatement of Existing Building		No Cost Included		\$ 150,000		\$ 150,000		\$ 150,000		Added Allowance for Environmental Abatement to DD Budget	
15	Site Improvements		\$ 3,220,000		\$ 4,055,000		\$ 3,792,200					
16	GC Site Improvements		\$ 3,000,000		\$ 2,965,000		\$ 2,787,200					
17	EC Site Improvements		\$ 220,000		\$ 615,000		\$ 570,000		DD Budget includes 12 Parking Lot Light Poles and 28 Architectural Light Poles			
18	Canopy in Police Secure Parking		No Cost Included		\$ 475,000		\$ 435,000		SOLAR PANEL (\$90000) INCLUDED			
19	Subtotal		\$ 20,292,900		\$ 22,220,000		\$ 21,811,600					
20	Design/Estimating Contingency		~5.0%	\$ 1,015,000	~2.0%	\$ 444,000		~2.0%	\$ 436,000		Reduced based on Greater Level of Design Information	
21	Escalation Factor Assume 5% Annual Inflation		9-Months = 3.73%	\$ 756,300	6-Months = 2.47%	\$ 548,700	6-Months = 2.47%	\$ 538,600			Assume 1st Quarter 2026 Bid	
22	TOTAL ESTIMATED CONSTRUCTION COSTS			\$ 22,064,200		\$ 23,212,700		\$ 22,786,200				
23	Soft Costs & Contingency											
24	A/E Fee			\$ 1,289,800		\$ 1,352,900		\$ 1,329,400			Sliding Scale Percentage of Construction plus \$30k allowance for reimbursables	
25	Civil Engineering and Land Development Approvals			\$ 200,000		\$ 150,000		\$ 150,000			Allowance for Gilmore's Fee and LD Requirements	
26	Abatement Consultant			\$ 10,000		\$ 10,000		\$ 10,000			Allowance	
27	Construction Management Fees			\$ 481,275		\$ 481,275		\$ 481,275			Lump Sum Fee Plus \$20k allowance for reimbursables	
28	Geotechnical Investigation			\$ 30,000		\$ 30,000		\$ 30,000			Allowance	
29	Site Survey and Utility GPR Investigations			\$ 25,000		\$ 25,000		\$ 25,000			Allowance	
30	Construction Testing			\$ 40,000		\$ 40,000		\$ 40,000			Allowance	
31	Testing, Adjusting and Balancing			\$ 40,000		\$ 40,000		\$ 40,000			Allowance	
32	Approvals, Permits, and Inspections - 1.0% Allowance			\$ 221,000		\$ 232,000		\$ 228,000			Allowance	
33	Utility Fees - Water, Sewer, Gas, Power, Comms			\$ 100,000		\$ 100,000		\$ 100,000			Allowance	
34	Furniture			\$ 350,000		\$ 350,000		\$ 350,000			Allowance for All New Furniture Throughout Verify Scope with Owner	
35	Fitness Room Equipment			\$ 80,000		\$ 80,000		\$ 80,000			Allowance	
36	Owner Furnished Appliances, TVs, WAP's, Cameras, and Technology			\$ 250,000		\$ 250,000		\$ 356,600			Allowance	
37	Owner Furnished A/V systems (including A/V engineering Fee)							\$ 370,400				
38	Builder's Risk Insurance - 0.5%			\$ 110,000		\$ 116,000		\$ 114,000			Allowance	
39	Legal Fees			\$ 25,000		\$ 25,000		\$ 25,000			Allowance	
40	Emergency Responder Amplifier System			\$ 40,000		\$ 40,000		\$ 40,000			TBD if Required pending Survey at End of Construction	
41	Office Space Rental			\$ 540,000		\$ 540,000		\$ 540,000			18 months at \$30k per month	
42	Staff Relocation Costs			\$ 30,000		\$ 30,000		\$ 30,000			Allowance	
43	Total Project Soft Costs			\$ 3,862,075		\$ 3,892,175		\$ 4,339,675			Includes 18 mo. rental @ \$30K/mo.	
44	Construction Contingency - 5%			\$ 1,103,000		\$ 1,161,000		\$ 1,140,000				
45	NO COST INCLUDED for Financing			\$ -		\$ -		\$ -			Not Included per UMT direction	
46	TOTAL SOFT COSTS & CONTINGENCY			\$ 4,965,075		\$ 5,053,175		\$ 5,479,675				
47	TOTAL ESTIMATED PROJECT COSTS			\$ 27,029,275		\$ 28,265,875		\$ 28,265,875				

EST.CONSTRUCTION COST:
\$22,786,200

SOFT COST & 5% CONTINGENCY
\$5,479,675

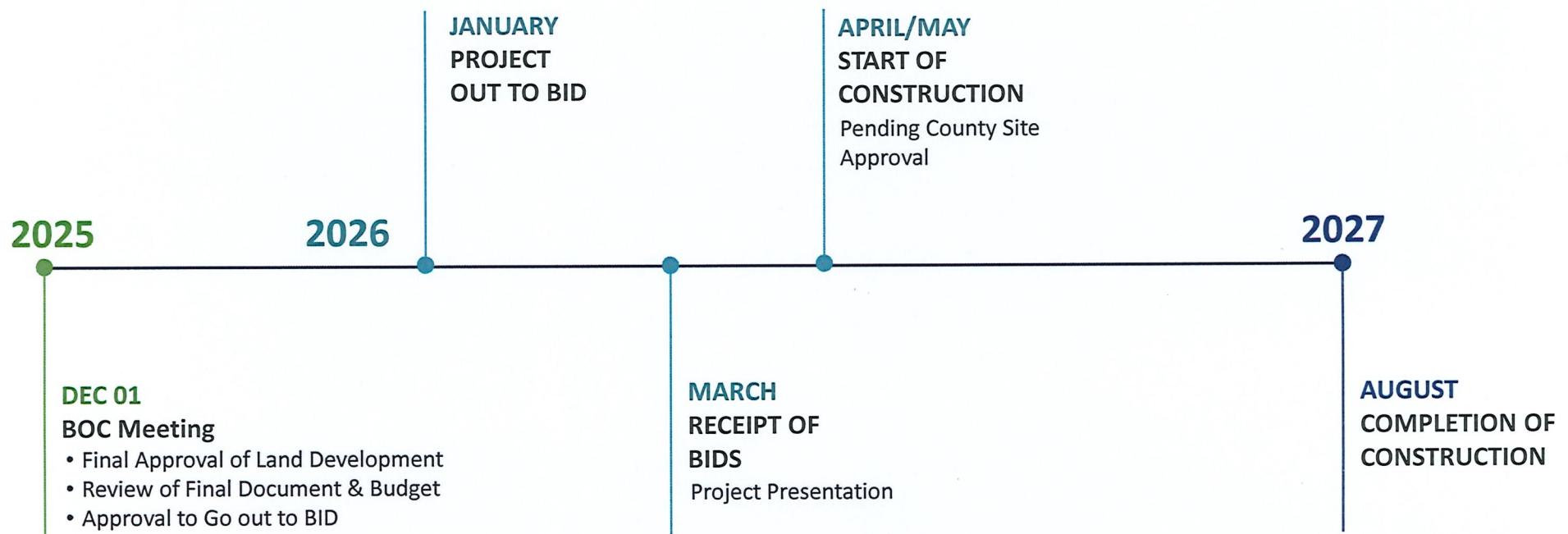
EST. PROJECT COSTS:
\$28,265,875

*All Alternate Items are
Included in the Budget

LAND DEVELOPMENT APPROVAL STATUS

- **Upper Moreland Advisory Planning Agency**
 - Presented on **Nov 20, 2025**
 - Favorable feedback received
- **Community Development Committee**
 - Presented on **Nov 24, 2025**
 - Favorable feedback received
- **Board of Commissioners (BOC)**
 - Approval anticipated on **Dec 1, 2025**
- **Montgomery County Conservation District (MCCD)**
 - Initial review comments received
 - **Review meeting scheduled for Dec 11, 2025**
 - Possible minor basin adjustments; no major design changes expected
- **Remaining Approvals**
 - **BOC approval** (Dec 1)
 - **MCCD approval** (following Dec 11 meeting)

UPPER MORELAND TOWNSHIP – NEXT STEPS





QUESTIONS & DISCUSSION



TOWNSHIP of UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215

Telephone (215) 659-3100 / Fax (215) 659-7363



TREASURER'S ACTIVITY REPORT

November, 2025

GENERAL FUND:	EXPENDITURES	RECEIPTS	BALANCE
General Fund	\$ 2,607,669.25	\$ 2,185,331.24	\$698,564.21
Treasurer's Fund			\$100.00
Highway Fund			\$75.00
Secretary Fund			\$150.00
Finance Department			\$500.00
			<hr/> \$699,389.21

OTHER FUNDS:

Escrow Fund	\$ 12,177.01	\$ 14,603.00	\$512,506.72
Debt Fund	\$ 1,683.07	\$ 5,164.39	\$1,844,988.34

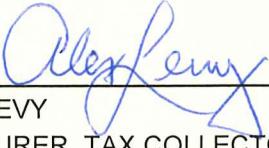
P.L.G.I.T. ACCOUNTS:

U.M. Twp. General Fund	\$ 1,816,230.81	\$ 1,457,087.81	\$5,868,102.01
Capital Reserve For Equip.	\$ -	\$ 791.34	\$253,955.59
Fire Truck Fund	\$ -	\$ 1.28	\$412.30
Liquid Fuels Fund	\$ 33,514.35	\$ 2,213.93	\$401,398.94
American Rescue Plan Act	\$ -	\$ 5,012.44	\$1,608,574.54
2021 Bond	\$ -	\$ 4.34	\$1,311.62
2022 Bond	\$ -	\$ 1,792.30	\$539,390.75
2025 Bond	\$ 483,651.40	\$ 14,689.51	\$4,170,105.50

NOTE: This monthly Treasurer's Report is a summary of receipts and expenditures only.

A complete Financial Statement is available for public review in the Township's

Finance Office.


ALEX LEVY
TREASURER, TAX COLLECTOR

November 2025 -- Treasurer's Report

**Upper Moreland Township
Board of Commissioners - Regular Meeting
November 10, 2025 Meeting Minutes**

Board of Commissioners Members: Commissioner and President, Clifton "Kip" McFatridge; Commissioner and Vice President Cheryl Lockard; Commissioners Jared Jacobs, Demond Mullen, Benjamin Olszewski, Nicholas O. Scull, Charles M. Whiting.

I. **Call to Order:** The Regular Meeting of the Board of Commissioners of Upper Moreland Township was called to order by Commissioner and Board President Clifton "Kip" McFatridge.

II. **Moment of Silent Meditation/Pledge of Allegiance**

III. **Roll Call:** Commissioner and Board President McFatridge, Commissioner and Board Vice President Lockard, Commissioners Scull, Mullen, Olszewski, Jacobs and Whiting. Also present were: Patrick T. Stasio, Township Manager and Alex Baumler, Township Solicitor.

IV. **Announcements:**

a. The Board of Commissioners met in an Executive Session prior to the start of tonight's meeting to discuss a labor issue.

V. **Presentations:**

a. District Justice Thomas P. Murt to conduct Oath of Office and Swearing-in of Police Officer Michael Daly

- District Justice Murt read the Oath of Office and swore in Officer Daly.
- The Board of Commissioners congratulated and welcomed Officer Daly.

b. **Motion to grant** Lieutenant James Kelly an honorable discharge from the Upper Moreland Township Police Department effective September 26, 2025

- Commissioner and Board President McFatridge congratulated and thanked Lieutenant Kelly personally and on behalf of the Board of Commissioners for his all his work and service to the Township.

PUBLIC HEARING

PUBLIC HEARING #1975 - To receive public comments regarding the Conditional Use Application for 601 Davisville Road submitted by Fred Beans of Doylestown, to reuse the existing building for an automotive repair and service facility with ancillary office and storage areas.

- Commissioner Lockard motioned, seconded by Commissioner Olszewski and the Board of Commissioners approved by a vote of 7-0 to open Public Hearing #1975.
- Public Hearing #1975 was heard and recorded.
- A copy of the applicants exhibits (A1-A7) will be included in the transcript.
- Commissioner Lockard motioned, seconded by Commissioner Olszewski and the Board of Commissioners voted 7-0 to continue Public Hearing #1975 on December 1, 2025.
- A copy of tonight's transcript will be emailed to the Board of Commissioners.

REGULAR MEETING

VI. **Public Comments – Non-Agenda Items Only:**

- Cindy Rosenberg, resident of Huntingdon Valley, thanked the board for the welcoming policy personally and on behalf of Indivisible Greater Jenkintown. Mrs. Rosenberg also thanked Chief Bendig. She believes the statement was presented in an inclusive way and is proud to be part of our Township.

**Upper Moreland Township
Board of Commissioners - Regular Meeting
November 10, 2025 Meeting Minutes**

- Commissioner McFatridge thanked Mrs. Rosenberg for all of her work.
- Caitlyn Santos, resident, echoed the thanks of Cindy Rosenberg and to Chief Bendig for the work on the welcoming policy.
- Jeremy Rosenberg also thanked the Board and Chief Bendig for their work on the welcoming policy.

VII. Treasurer's Activity Report – October 2025:

- Commissioner Lockard motioned, seconded by Commissioner Olszewski and the Board of Commissioners approved by a vote of 7-0.

VIII. Approval of Meeting Minutes – October 6, 2025 Regular Meeting:

- Commissioner Lockard motioned, seconded by Commissioner Mullen and the Board of Commissioners approved by a vote of 7-0.

IX. Committee Recommendations

A. Community Development Committee – October 20, 2025 – Commissioner Mullen reviewed the following:

1. Code Enforcement – Nothing to report.
2. Land Development/Subdivision Applications
 - a. **Motion to approve Resolution R-2025-21** – Granting approval for waiver requests of a Subdivision Application for a 3-lot subdivision at 2400 Pioneer Road
 - Commissioner Mullen motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.
3. Other Items
 - a. **Motion to approve** authorization to advertise bids for the Mill Creek Dam Repairs
 - Commissioner Mullen motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.

B. Public Health & Safety Committee – October 20, 2025

1. **Motion to approve** County Request for Bicycle Lanes along Terwood Road (York Road – Davisville Road)
 - Mr. Stasio explained that PennDOT informed the County which informed the Township that Terwood Road will be repaved at some point. PennDOT offered to add bicycle lanes on Terwood Road, extending from York Road to Davisville Road. There will be a bicycle lane in each direction, and the existing two-way vehicle travel and center turning lane will be retained. PennDOT will bear the full cost of the improvements. The Township will be responsible for an estimated annual maintenance cost of \$250.
 - Commissioner Whiting motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.

C. Finance & Administrative Committee – October 20, 2025 – The Committee recommends the Board of Commissioners take action on the following:

1. Appointments/Reappointments
 - a. The reappointment of **Charles Jones** on the **Parks and Recreation Advisory Council** to serve a new two-year term to expire on October 2, 2027.
 - Commissioner Olszewski motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.

**Upper Moreland Township
Board of Commissioners - Regular Meeting
November 10, 2025 Meeting Minutes**

2. List of Bills Payable:

- Commissioner Olszewski motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a 7-0 vote.

3. Other Items – Nothing to report.

4. New Business

- a. **Motion to approve** \$2,500 donation to the local food bank

- Commissioner Lockard stated during the 2026 budget meetings, the Board discussed making a donation to a food bank and agreed that it is important to make a donation in both 2025 and 2026. The donations will be made to the Willow Grove Baptist Church.
- Commissioner Scull stated that there is no food bank located in Upper Moreland; therefore, the donation is being made to the Willow Grove Baptist Church in Abington.
- Commissioner Olszewski motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.

D. Parks & Recreation Committee – October 20, 2025:

- 1. **Motion to approve** and authorize the Director of Parks and Recreation to submit a Tree City USA application
 - Commissioner Scull motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.
- 2. **Motion to approve** 2026 Arbor Day Proclamation (attachment)
 - Commissioner Scull motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 7-0.

X. Commissioner Comments:

- Commissioner McFatridge congratulated everyone that won in the election.
- Commissioner McFatridge noted that the Township lost Lieutenant Kelly, whose input greatly contributed to improving the Township. He was a significant asset, and Commissioner McFatridge wished him well.

A. Upcoming Township Meetings (based on Township calendar):

Date	Subject	Location	Time
11/18/2025	Shade Tree Commission Parks and Recreation Advisory Council	Council Room	6 pm
11/19/2025	Democratic Committee	Council Room	7 pm
11/20/2025	Advisory Planning Agency	Council Room	5 pm
11/24/2025	Community Development Committee Public Health & Safety Committee Finance & Administrative Committee Parks and Recreation Committee	Council Room	7 pm
11/27/2025	Township Building Closed – Holiday – Thanksgiving Observance		
11/28/2025	Township Building Closed – Holiday – Thanksgiving Observance		
12/1/2025	Regular Meeting of the Board of Commissioners – Including the Adoption of the 2026 Budget	Council Room	7 pm
12/2/2025	Historical Commission	Council Room	7 pm

**Upper Moreland Township
Board of Commissioners - Regular Meeting
November 10, 2025 Meeting Minutes**

12/3/2025	Environmental Advisory Council	Caucus Room	7 pm
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XI. **Visitor Comments** – Nothing to report.

XII. **Adjournment:** There being no further business to discuss, the meeting was adjourned at 8:23 p.m.

Respectfully submitted by Tina Simone.

TOWNSHIP OF UPPER MORELAND

Montgomery County, Pennsylvania
117 Park Avenue, Willow Grove, PA 19090-3215
Telephone (215) 659-3100 / Fax (215) 659-7363

COMMISSIONERS

KIP McFATRIDGE
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OFFICIALS

PATRICK T. STASIO
Township Manager
JOHN D. BATES
Assistant Township Manager/Director of Finance
ALEX H. LEVY
Township Treasurer
SEAN P. KILKENNY, ESQ.
Township Solicitor

Agenda Summary

Community Development Committee Meeting – September 28, 2025

Public Hearing – November 10, 2025

Public Hearing (Continued from November 10, 2025) – December 1, 2025

Board of Commissioners Regular Meeting – December 1, 2025

Agenda Item: **Public Hearing No. 1975 - Conditional Use Application for 601 Davisville Road**

Prepared By: Paul Purtell, Director of Code Enforcement

Attachments: Decision and Order

Background/Analysis: The applicant, Fred Beans of Doylestown, is proposing to reuse the existing building for an automotive repair and service facility with ancillary office and storage areas.

Fiscal Impact/Source: Permit fees, Business Privilege Tax and Earned Income Tax.

Alternatives: N/A

Staff Recommendation: The Committee recommends the Board of Commissioners approve the Decision and Order for the Conditional Use application for 601 Davisville Road at the Regular Meeting on December 1, 2025.

**BEFORE THE
BOARD OF COMMISSIONERS
OF UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

IN RE: Fred Beans Auto Group

APPLICATION NO.: Conditional Use # 25-0001

PREMISES: 601 Davisville Road, Willow Grove, PA 19090

APPLICATION: Conditional Use: B-3 Automobile Service Use for auto repair facility with accessory office and part storage in the CC-Commercial Core Zoning District.

**MEMBERS PRESENT:
AT CU HEARING**

Clifton McFatridge, President
Cheryl Lockard, Vice President
Jared Jacobs, Commissioner
Demond Mullen, Commissioner
Nicholas Scull, Commissioner
Benjamin Olszewski, Commissioner
Charles M. Whiting, Commissioner

DECISION AND ORDER

FINDINGS OF FACT

1. This conditional use application (the “Application”) involves the tract identified as Montgomery County Tax Parcel No. 59-00-04579-00-6, located at 601 Davisville Road, Willow Grove, PA, 19090 (the “Property”), located in the CC-Commercial Core Zoning District and concerns the redevelopment of the Property.
2. The Property is a 6.18-acre parcel, which is improved with an approximately an 79,000 square foot, one story masonry industrial building, contains 144 off-street parking spaces and is accessible via Davisville Road from a single full movement driveway.
3. The record owner of the Property is Kachel Associates, LP. The Applicant is Fred Beans Auto Group, the equitable owner of the Property as evidenced by that certain agreement for sale between Kachel Associates, LP and Fred Beans Auto Group dated May 29, 2025 (the “Applicant”).
4. The Property is currently occupied by two primary users; Kachel Associates operates an office furniture manufacturer and dealer known as Premier Environments, which occupies approximately 50,000 square feet and Y2K9 Dog Sports Club, Inc, a canine training facility, which occupies approximately 20,400

square feet. The other current occupants of the building are Gottscho, a package and printing company (3,000 square feet) and Spadone Machine, LLC, an equipment supplier for tire, rubber and plastic industries (1,100 square feet).

5. On September 19, 2025, the Applicant submitted an application for conditional use approval pursuant to Section 350-83 and the Table of Uses of the Upper Moreland Township Zoning Ordinance to permit a B-3 Automobile Service Use.
6. Notice of the public hearing on the instant Application before the Board of Commissioners which was held on November 10, 2025, was advertised in the local newspaper of record, the Intelligencer, on October 26, 2025, and November 2, 2025.
7. A public hearing was held on the instant application at the Upper Moreland Township Municipal Building on November 10, 2025 and December 1, 2025 (the “Hearings”).
8. As detailed in the plans prepared by Woodrow Associates, Inc. and James Necker Architecture, the conditional use application proposes 17,465 square feet of the Property to be used as an automotive service center, 5,401 square feet to be used as office space, and 38,880 square feet to be used as an automobile parts warehouse. The Application also proposes expanding the existing parking lot, consisting of 144 parking spaces, to provide additional off-street parking as well as vehicle storage spaces. Finally, the application proposes exterior modifications to improve the existing loading facilities at the front of the building and the creation of vehicle entrances for the repair shop along the rear of the building. The remaining 20,225 square feet of the existing building will continue to be occupied by Y2K9 Dogs Sports Club. The Property will be served by public water and sewer.
9. Pursuant to the Zoning Map the Property is located in the CC- Commercial Core Zoning District. Section 350-83 of the Upper Moreland Township Zoning Ordinance sets forth the permitted uses in the CC-Commercial Core Zoning District, as set forth in Attachment 2 Table of Uses. The Table of uses permits a B-3 Automobile Service Use by conditional use.
10. An Automobile Service Use is defined in Section 350-19 of the Zoning Ordinance as A place of business serving minor auto-related needs, including but not limited to: motor vehicle sales, car rental, minor repairs, retail sales, such as auto parts, tire store, gas station, electrical vehicle charging station, and car wash. Such use shall include the general repair of automobiles, trucks, and the like; specialty repair of vehicles, body, and fender work; and spray painting in conjunction with repair.
 - (a) Tractor trailers and abandoned vehicles shall not be stored on the premises.
 - (b) All repair work shall be performed within a building.

(c) All storage, including parts, tires, refuse, and similar articles, shall be stored within a building or fully enclosed area.
(d) The sale of vehicles shall be prohibited.
(e) Retail sales of parts and supplies shall be accessory to the principal use.
(f) Parking spaces for repair vehicles may be reduced to eight feet by 16 feet and may be stacked up to three cars deep, without aisleways, provided no variances for parking have been granted for the use.

11. At the November 10, 2025, Hearing, the following Exhibits were introduced and admitted by the Township and the Applicant:

T-1 Copy of the Application for Conditional Use dated September 19, 2025.
T-2 Copy of the Proof of Publication of the Public Hearing Advertisement which ran in the Intelligencer newspaper on October 26, 2025, and November 2, 2025.
T-3 Photographs supplying proof of posting of the Property.
T-4 Gilmore & Associates Engineering Review Letter dated November 4, 2025.
T-5 Bowman Consulting Group Traffic Engineering Review Letter dated November 4, 2025.
T-6 Review Letter of the Montgomery County Planning Commission dated October 7, 2025.
T-7 Advisory Planning Agency Minutes dated October 16, 2025.

A-1 Deed for 601 Davisville Road.
A-2 Agreement of Sale.
A-3 Application & Addendum.
A-4 Aerial Image.
A-5 Existing Conditions/Survey Plan.
A-6 Layout/Architectural Plan.
A-7 Rendered Improvements Plan.

12. The Applicant was represented by Craig R. Lewis, Esq., of Kaplin Stewart.

13. Robert Jordan, P.E., Vice President-Product Manager from Woodrow & Associates, Inc, testified at the Hearing on the Applicant's behalf. (See N.T. 11/10/2025). Mr. Jordan was accepted by the Board of Commissioners as an expert in the field of civil engineering and land planning.

14. James Necker, of James Necker Architect, the Applicant's Architect, was sworn in and available to provide testimony at the Hearing on the Applicant's behalf. (See N.T. 11/10/25).

15. Anthony Geonetti, Director of Real Estate for Fred Beans Auto Group was also sworn in and available to provide testimony at the Hearing on the Applicant's behalf. (See N.T. 11/10/25).

16. There were no residents or persons holding an interest within the designated zone of interest relative to the Property that were granted party status to the application.
17. Resident Fred Rosenberg offered public comment concerning the towing of damaged automobiles to the Property and Resident Kaitlyn Santos offered public comment regarding Applicant's obligations to properly dispose of environmental contaminates commonly associated with automobile repair and service.

CONCLUSIONS OF LAW

1. Pursuant to the Zoning Map the Property is located in the CC- Commercial Core Zoning District. Section 350-83 of the Upper Moreland Township Zoning Ordinance sets forth the permitted uses in the CC-Commercial Core Zoning District, as set forth in Attachment 2 Table of Uses. The Table of uses permits a B-3 Automobile Service Use by conditional use.
2. An Automobile Service Use is defined in Section 350-19 of the Zoning Ordinance as A place of business serving minor auto-related needs, including but not limited to: motor vehicle sales, car rental, minor repairs, retail sales, such as auto parts, tire store, gas station, electrical vehicle charging station, and car wash. Such use shall include the general repair of automobiles, trucks, and the like; specialty repair of vehicles, body, and fender work; and spray painting in conjunction with repair.
 - (a) Tractor trailers and abandoned vehicles shall not be stored on the premises.
 - (b) All repair work shall be performed within a building.
 - (c) All storage, including parts, tires, refuse, and similar articles, shall be stored within a building or fully enclosed area.
 - (d) The sale of vehicles shall be prohibited.
 - (e) Retail sales of parts and supplies shall be accessory to the principal use.
 - (f) Parking spaces for repair vehicles may be reduced to eight feet by 16 feet and may be stacked up to three cars deep, without aisleways, provided no variances for parking have been granted for the use.
3. There are no additional delineated specific criteria contained in the Upper Moreland Township Zoning Ordinance for an Automobile Service Use.
4. The general criteria contained in Section 350-204 of the Zoning Ordinance require the Board of Commissioners to consider the following relative to the proposed conditional use:
 - (1) Consistency with the goals, objectives, and recommendations of the Township and County Comprehensive Plans.
 - (2) Nuisance/safety analysis. The use shall not generate excessive noise, noxious odors, air pollution or lighting, or result in pedestrian conflict or other safety hazards to people or property. Artificial light shall be directed away from adjacent property and

buildings. Artificial lighting shall be located to avoid shining into habitable room windows off-site. Outdoor uses and accessory facilities shall only be permitted where the noise generated by the use will have a minimal impact on nearby residential uses and where hazards are contained on the site to the maximum extent possible.

(3) Traffic impact. The existing road system must be able to accommodate the peak traffic generated by the proposed use in a safe and efficient manner. The Board of Commissioners may request a traffic impact study.

5. Applicant, as the equitable owner of the Property, as evidenced by that certain agreement for sale between Kachel Associates, LP and Fred Beans Auto Group dated May 29, 2025, possesses standing to apply for the conditional use. *See 53 P.S. § 10107.*

6. A conditional use applicant bears the burden of establishing that the proposed conditional use satisfies the criteria in the municipality's zoning ordinance. *Kretschman Farm, LLC v. Twp. of New Sewickly*, 131 A.3d 1044, 1053 (Pa. Commwlth. Ct. 2016).

7. "The fact that a use is permitted as a conditional use evidences a legislative decision that the particular type of use is consistent with the zoning plan and presumptively consistent with the health, safety and welfare of the community." *In re Cutler Group, Inc.*, 880 A.2d 39, 42 (Pa. Commw. Ct. 2005).

8. A township's governing body is the factfinder at conditional use proceedings, charged with the responsibility of determining credibility and the weight to assign the evidence. *Kretschmann Farm*, 131 A.3d at 1053.

9. If a conditional use applicant persuades a township's board of commissioners that the application complies with the zoning ordinance, a presumption arises that the proposed use is consistent with the general welfare of the community; the burden then shifts to objectors to rebut the presumption by proving that there is a high degree of probability the proposed use will adversely affect the welfare of the community in a way not normally expected from the type of use, and that those impacts would pose a substantial threat to the health and safety of the community. *See Kretschmann Farm*, 131 A.3d at 1053; *In re Cutler Group, Inc.*, 880 A.2d at 43; *Allegheny Tower Assocs., LLC v. City of Scranton Zoning Hearing Bd.*, 152 A.3d 1118, 1125 (Pa. Commw. Ct. 2017).

10. "Pointedly, a conditional use application must be granted unless objectors present sufficient evidence that the proposed use has a detrimental effect on the public health, safety and welfare." *Kretschmann Farm*, 131 A.3d at 1053.

11. The Applicant presented evidence, including uncontradicted expert testimony, demonstrating compliance with the requirements of Sections 350-83 and 350-204 of the Zoning Ordinance.

12. There was no objector who presented credible testimony or evidence to the Board of Commissioners that the proposed use would detrimentally affect the public health, safety and welfare of the Township.

13. Therefore, absent sufficient evidence presented by objectors that the proposed use has a detrimental effect on the public health, safety and welfare of the Township, the Board must grant the Applicant's requested conditional use.

**BEFORE THE
BOARD OF COMMISSIONERS
OF UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

IN RE: Fred Beans Auto Group

APPLICATION NO.: Conditional Use # 25-0001

PREMISES: 601 Davisville Road, Willow Grove, PA 19090

APPLICATION: Conditional Use: B-3 Automobile Service Use for auto repair facility with accessory office and part storage in the CC-Commercial Core Zoning District.

**MEMBERS PRESENT:
AT CU HEARING**

Clifton McFatridge, President
Cheryl Lockard, Vice President
Jared Jacobs, Commissioner
Demond Mullen, Commissioner
Nicholas Scull, Commissioner
Benjamin Olszewski, Commissioner
Charles M. Whiting, Commissioner

ORDER

AND NOW, this 1st day of December, 2025, upon consideration of Applicant Fred Beans Auto Group's conditional use application # 24-0001 and evidence and testimony presented by the Applicant at the November 10, 2025 and December 1, 2025, Conditional Use Hearings, the Upper Moreland Township Board of Commissioners hereby grants Applicant conditional use approval to Tax Parcel No. 59-00-04579-00-6 located at 601 Davisville Road, Willow Grove, PA, 19090, the parcel comprising the Property, to use a portion of the existing building for a B-3 Automobile Service Use for auto repair facility with accessory office and part storage, as well as stormwater management and related improvements, subject to the following conditions:

1. The Use shall comply with the testimony and evidence presented by the Applicant at the November 10, 2025, and December 1, 2025, Conditional Use Hearings.
2. The Applicant shall not enter into a contractual agreement for the towing of damaged vehicles to be deposited on the Property for repair. If the Applicant desires to enter into a contract for towing services in the future, Applicant shall be obligated to first apply for and receive amended conditional use approval from the Board of Commissioners prior to entering into any such agreement.

3. All remaining consultant concerns shall be resolved to the satisfaction of the Township.

ATTEST:

**UPPER MORELAND TOWNSHP
BOARD OF COMMISSIONERS**

Patrick Stasio, Secretary

Clifton McFatridge, President

Upper Moreland Township
APPLICATION FOR APPROVAL OF PLAN

RECEIVED

OCT 21 2025

UPPER MORELAND
CODE ENFORCEMENT

Submission date: 10/21/25 Application number _____

To the Board of Commissioners of Upper Moreland Township:

The undersigned hereby makes application for approval of a plan type as indicated below, under the provisions of the Code of Upper Moreland Township, Chapter 300, *Subdivision and Land Development*, and any supplements and amendments thereto.

Furthermore, the applicant hereby waives the requirement under Act 247, as amended, that the Subdivision and/or Land Development plan be acted upon within ninety (90) days from date of submission.

(Signature)
Signature of Applicant

(Signature)
Signature of Land Owner

Title of Plan Submitted: Upper Moreland Twp LD Plan

A. Plan Type:

Minor Subdivision
 Preliminary Major Subdivision
 Final Major Subdivision
 Preliminary Major SD&LD

Minor Land Development - Preliminary / Final
 Preliminary Major Land Development
 Final Major Land Development
 Final Major SD&LD

B. Plan Identification

Plan Dated: 8/29/25 Engineer: Gilmore & Assoc.

Plan Proposes: Brief narrative of the proposed activity. Commercial/Industrial/Institutional applications to include building square footage and specific uses; Residential applications to include number of lots and amount of dwelling unit types:

Renovations & additions to Upper Moreland Twp.
municipal complex

C. Property Identification:

Address/Location 117 Park Ave, WG, PA. 19090

(Continued on next page)

TOWNSHIP OF UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215
Telephone (215) 659-3100 / Fax (215) 659-7363

COMMISSIONERS

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Township Manager
JOHN D. BATES
Assistant Township Manager/Director of Finance
ALEX H. LEVY
Township Treasurer
SEAN P. KILKENNY, ESQ.
Township Solicitor

Agenda Summary

Community Development Committee Meeting – November 24, 2025 Board of Commissioners Regular Meeting – December 1, 2025

Agenda Item: **117 Park Avenue Township Land Development Application**

Prepared By: Paul Purtell, Director of Code Enforcement

Attachments: **Resolution R-2025-22**

Background/Analysis: Upper Moreland Township is proposing alterations to the existing municipal building and complex. Improvements will include interior alterations, building expansion to both the administration and police department, reconfiguration of the parking areas, new stormwater management facilities and other site improvements for safety and building access.

Fiscal Impact/Source: N/A

Alternatives: N/A

Staff Recommendation: The Committee recommends the Board of Commissioners approve Resolution R-2025-22 at the December 1, 2025 Regular Meeting.

TPN: 59-00-14053-00-9 Block #: _____ Unit #: _____

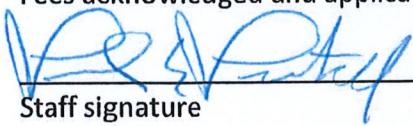
D. Applicant Identification:

Applicant: Pat Stasio - UMT Manager
Address: 117 Park Ave, WGS, PA. 19090
Phone: 267-607-1056 Email (required): pstasio@uppermoredand.org
Land Owner: Upper Moreland Twp
Address: —
Phone: — Email (required): —
Engineer: Jim Hersh - Gilmore & Assoc.
Address: 401 Plymouth Rd., Ste 150, Plymouth Meeting, PA. NJ 19462
Phone: 267-337-7170 Email (required): j.hersh@gilmore-assoc.com
Attorney: —
Address: —
Phone: — Email (required): —

Office Use Only

Fees received from applicant: Application fee: —
Review Escrow: —
Total: —

Fees acknowledged and application accepted as complete:


Staff signature

10/21/25

Date



Upper Moreland
Township
117 Park Avenue
Willow Grove, PA
19090

Land Development

LD25-0037

Date Printed: 10/21/2025

Summary

Type: Land Development

Submittal Date: 10/21/2025

Description of Work:

Upper Moreland Township and Police Building Renovations

Applicant/Mail to:

Upper Moreland Township
117 Park Ave
Willow Grove, PA 19090

Property Information

Address:	117 Park Ave , (590014053018)	Tax ID:	590014053018
Owner:	Upper Moreland Township	Phone:	

Fee Details

Payment Information	Payment Type	Amount
	AMOUNT PAID	\$0.00
	BALANCE DUE	\$0.00

Additional Information

Decision Date:

Decision Description:

Hearing Date:

Hearing Time:

Public Hearing No:

Planning Commission 247 Submission Portal

[Municipal 247 Submission Portal Instructions](#)Welcome Elda Maggeo Upper Moreland emaggeo@uppermoreland.orgScott France, AICP
Executive Director[New Proposal](#)[Proposals In Progress](#)[Submitted Proposals](#)**Proposal Entry**[Proposal](#)[Plan](#)[Parcel](#)[Land Use](#)[Upload Documents](#)**Remarks**[Review / Payment](#)**Confirmation of Submission**

Montgomery County Planning Commission has received the proposal. Please record the following information for future reference.

General Information**Proposal Number:** 108001**Applicant:** Upper Moreland Township**Proposal Name:** Upper Moreland Township and Police Building Renovations[Home](#)

P.O. Box 311, Norristown, PA 19404-0311 610-278-3722

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October 10, 2025

File No. 23-02039.01

Upper Moreland Township Board of Commissioners
117 Park Avenue
Willow Grove, PA 19090

Reference: Upper Moreland Township and Police Building Renovations
 Land Development Waiver Requests

Dear Commissioners:

In consideration of the Upper Moreland Township and Police Building Renovations project, please see below a list of requested waivers from the Stormwater Management Ordinance (Chapter 287) and the Subdivision and Land Development Ordinance (Chapter 300):

1. 287-23.A(2)(b) – Requires that one hundred percent of existing impervious area, when present, be considered meadow in the model for existing conditions. The proposed project is designed to meet the NPDES requirement to model 20% of the existing impervious area as meadow.
2. 287-25.A – Requires peak rate reductions in accordance with Table 287-25.1. The site currently contains no conventional stormwater management best management practices (BMPs), but the proposed project is designed to meet the NPDES requirement to show no increase in peak rates from existing conditions. Peak rates will be reduced in all storm events, and by approximately 40% in the 1-year storm event. They will be reduced by a minimum of 10% through the 50-year storm event, and by approximately 7% in the 100-year storm event.
3. 300-15.B – Requires that Park Avenue have a minimum cartway width of 30 feet. The development does not propose improvements along Park Avenue and will not result in an increase in traffic to Park Avenue. Additionally, this waiver was granted for the Willow Grove Shopping Center Retail Building project, where additional widening was deemed unnecessary by the Commissioners.
4. 300-19.A(7) – Requires an 8-inch reveal on all curbing in accordance with the specifications set forth in Chapter 295 Article 1. The proposed project proposes a 6-inch reveal on curbing to aid in handicap and pedestrian accessibility throughout the site.
5. 300-43.D(1)(d) – A minimum of one shade tree shall be planted in each parking lot island. A shade tree cannot be planted in three of the islands located in the parking lot between the Township Building and Center Avenue due to the incorporation of sidewalks and accessible ramps for increased pedestrian connectivity and accessibility to the through the site. Shade trees are provided along the perimeter of the parking lot in this area to provide shade.
6. 300-45.A & 300-45.B – These sections require replacement trees be planted on-site to offset the removal of existing trees and Heritage Trees removed during construction. The landscape plan proposes 9 replacement trees where 22 are required by Ordinance for trees 8 inches to 23 inches in caliper. Available planting area on site is the primary constraint reducing the ability to comply with the Ordinance. The Township may consider planting trees in open space or park areas in other parts of the Township to make up the Ordinance deficiency on this site.
7. 300-50.B – Requires a preliminary plan for all subdivisions in the Township. We request that the application be considered by the Commissioners as joint Preliminary/Final.
8. 300-52.C(1) – Requires that all Land Development plans show detailed survey information for an area of 400 feet surrounding the project. Sufficient detail is shown on the plans for the proposed improvements and if additional off-site survey is required for utility tie ins, that information will be obtained as necessary.

As always, if you have any questions or require additional information, please do not hesitate to contact our office.

Sincerely,

A handwritten signature in black ink, appearing to read 'James J. Hersh'.

James J. Hersh, P.E.
Vice President
Gilmore & Associates, Inc.

401 Plymouth Road | Suite 150 | Plymouth Meeting, PA 19462-1653 | Phone: 610-489-4949 | Fax: 610-489-8447

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION NO. R-2025-22

A RESOLUTION GRANTING PRELIMINARY/FINAL LAND DEVELOPMENT APPROVAL WITH CONDITIONS TO UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA FOR EXPANSION AND UPDATES TO THE MUNICIPAL COMPLEX ON THE PARCEL LOCATED AT 117 PARK AVENUE, WILLOW GROVE, UPPER MORELAND TOWNSHIP.

WHEREAS, Upper Moreland Township, Montgomery County, Pennsylvania (“Applicant” or “Township”) filed an application with Upper Moreland Township requesting approval with certain waivers (the “Land Development Application”) to expand and update the Township Municipal Complex property located at 117 Park Avenue, Willow Grove, PA (the “Project); and

WHEREAS, the Applicant has submitted the following in support of the Land Development Application: “Land Development Plan for Upper Moreland Township-Renovations and Additions for Township Building and Police Building”, prepared by Gilmore & Associates, Inc., dated August 29, 2025, last revised October 10, 2025, consisting of Sheets 1 to 16 of 16 (the “Plans”). The Plans are attached hereto as **Exhibit “A”** and incorporated herein by reference; and

WHEREAS, the Applicant is the title holder of record to ten (10) parcels of land located at Center Avenue and Park Avenue in the Township which are collectively referred to as the Township Municipal Complex which consists of the Upper Moreland Township Library, Administration Building, Police Department, parking areas and open space (the “Municipal Complex” or “Property”); and

WHEREAS, the parcels of land comprising the Municipal Complex are further identified as Montgomery County, Pennsylvania Tax Parcel Numbers: 59-00-14047-00-6 (17 Park Avenue), 59-00-14050-00-3 (27 Park Avenue), 59-00-14053-00-9 (119 Park Avenue), 59-00-02773-00-3 (30 Center Avenue), 59-00-02776-00-9 (100 Center Avenue), 59-00-02779-00-6 (102 Center Avenue), 59-00-02782-00-3 (104 Center Avenue), 59-00-02785-00-9 (114 Center Avenue), 59-00-02788-00-6 (116 Center Avenue) and 59-00-02791-00-3 (118 Center Avenue); which were previously split zoned with the majority located in the R-4 Residential Zoning District and the remainder located in the INST-Institutional and TC-1 Town Center Zoning Districts; and

WHEREAS, the Upper Moreland Township Board of Commissioners on June 5, 2023, via Upper Moreland Township Ordinance No. 1742, adopted a zoning map change to re-zone all parcels of land comprising the Municipal Complex to the TC-1 Town Center Zoning District; and

WHEREAS, the Applicant proposes an expansion and updates to the Municipal Complex that would include an approximately 8,000 square foot addition to the Township administrative portion at the main and lower levels of the building and an approximately 6,000-square foot

addition to the police department at the main level. The proposed changes to the Municipal Complex would include a reconfiguration of public entrances, with accessible entrances on both the Cedar Avenue and Park Avenue sides of the building. Additional improvements include pedestrian connections to the municipal building from Center Avenue, accessible public entrances, and open space and trees around the municipal building and along the streets. The site will continue to be served by public water and sewer; and

WHEREAS, the Applicant has requested waivers from requirements set forth in Chapters 287 “Stormwater Management” and 300 “Subdivision and Land Development” of the Upper Moreland Township Code of Ordinances, more fully referenced in Paragraph 4 below; and

WHEREAS, the Township Engineer and Township Landscape Architect have submitted Applicant’s Preliminary/Final Land Development Plans and have requested certain waivers from Chapters 287 “Stormwater Management” and 300 “Subdivision and Land Development” of the Upper Moreland Township Code of Ordinances as set forth in the waiver request letter dated October 10, 2025; and

WHEREAS, The Township Traffic Engineer has reviewed Applicant’s Preliminary/Final Land Development Plans and has recommended their approval, subject to the conditions and comments set forth in the review letter dated November 13, 2025, attached hereto as **Exhibit “B”** and incorporated herein by reference; and

WHEREAS, The Montgomery County Planning Commission has reviewed Applicant’s Preliminary/Final Land Development Plans and has recommended their approval, subject to the comments set forth in the review letter dated November 7, 2025, attached hereto as **Exhibit “C”** and incorporated herein by reference; and

WHEREAS, The Township Advisory Planning Agency has reviewed Applicant’s Preliminary/Final Land Development Plans and has recommended their approval, as set forth in the minutes of the Agency dated November 20, 2025, attached hereto as **Exhibit “D”** and incorporated herein by reference; and

WHEREAS, based on Applicant’s presentation of the Project on November 24, 2025, the Upper Moreland Township Community Development Committee has recommended Conditional Preliminary/Final Approval of the Applicant’s Preliminary/Final Land Development Plans; and

WHEREAS, the Upper Moreland Township Board of Commissioners has determined that based on the testimony, and reviews of Township Consultants, Applicant has satisfactorily established that Conditional Preliminary/Final Land Development Approval will not be contrary to the public interest.

NOW, THEREFORE, BE IT RESOLVED, by the Upper Moreland Township Board of Commissioners that the Applicant’s Preliminary/Final Land Development Plans are hereby

granted Conditional Preliminary/Final Land Development Approval, subject to the satisfaction of the following conditions by the Applicant:

1. Except as modified herein, Applicant shall comply with all other applicable Township Ordinances, County, Commonwealth and Federal statutes, rules, and regulations, and obtain all applicable permits and approvals including but not limited to, obtaining the approval of the fire marshal, UMHJSA permit, Aqua of Pennsylvania permit, Montgomery County Conservation District permits, and PA DEP permits.

2. Applicant shall strictly comply with all applicable Americans with Disabilities Act accessibility standards as promulgated by the Department of Justice and the International Code Council, A117.1-2017, for the construction of accessible facilities, including, but not limited to handicapped parking spaces on the Property.

3. Unless waived by the Board of Commissioners, the Applicant shall comply with all conditions and comments set forth in the Township's consultants review letters.

4. Further, the Board of Commissioners takes the following action as to the Applicant's request for waivers from the requirements of Chapter 287 "Stormwater Management" and Chapter 300 "Subdivision and Land Development" of the Upper Moreland Township Code of Ordinances:

A. §287-23.A(2)(b): From the requirement that one hundred percent of existing impervious area, when present, be considered meadow in the model for existing conditions. The proposed project is designed to meet the NPDES requirement to model 20% of the existing impervious area as meadow.

Granted Denied

B. §287-25.A: From the requirement that peak rate reductions be calculated in accordance with Table 287-25.1. The site currently contains no conventional stormwater management best management practices, but the proposed project is designed to meet the NPDES requirement to show no increase in peak rates from existing conditions. Peak rates will be reduced in all storm events, and by approximately 40% in the 1-year storm event. The rates will also be reduced by a minimum of 10% through the 50-year storm event, and by approximately 7% in the 100-year storm event.

Granted Denied

C. §300-15.B: From the requirement that Park Avenue have a minimum cartway width of 30 feet. The development does not propose improvements along Park Avenue and will not result in an increase in traffic to Park Avenue. This waiver would mirror the waiver granted to the Willow Grove Retail Building project

where additional widening of Park Avenue was deemed unnecessary by the Commissioners.

Granted Denied

D. §300-19.A(7): From the requirement for an 8-inch reveal on all curbing in accordance with the specifications set forth in Chapter 295, Article I. The proposed project proposes a 6-inch reveal on curbing to aid in handicap and pedestrian accessibility throughout the site.

Granted Denied

E. §300-43.D(1)(d): From the requirement that a minimum of one shade tree shall be planted in each parking island lot. A shade tree cannot be planted in three of the islands located in the parking lot between the Township building and Center Avenue due to the incorporation of sidewalks and accessible ramps for increased pedestrian connectivity and accessibility to the through site. Shade trees are provided along the perimeter of the parking lot in this area to provide shade.

Granted Denied

F. §300-45.A & B: From the requirements of these sections that replacement trees be planted onsite to offset the removal of existing trees and Heritage Trees removed during construction. The landscape plan proposes 9 replacement trees where 22 are required by the SALDO for trees 8 inches to 23 inches in caliper. Available planting area onsite is the primary constraint reducing the ability to comply with the SALDO. The Township may consider planting trees in open space or park areas in other parts of the Township to make the deficiency on this site.

Granted Denied

G. §300-50.B: From the requirement for a preliminary plan for all subdivisions in the Township. The Applicant requests that the application be considered by the Board of Commissioners as joint Preliminary/Final.

Granted Denied

H. §300-52.C(1): From the requirement that all land development plans show detailed survey information for an area of 400 feet surrounding the project. Sufficient detail is shown on the plans for the proposed improvements and if additional off-site survey is required for utility tie-ins that information will be obtained as necessary.

Granted Denied

5. Unless construction has begun in accordance with the Plans, this Resolution will expire in two years from the date of this Resolution, unless extended in writing by the Township.

6. This Conditional Preliminary/Final Land Development Approval does not and shall not authorize the construction of improvements or buildings exceeding those shown on the Plans. Furthermore, this Conditional Preliminary/Final Land Development Approval shall be rescinded automatically upon the Applicant's or the Applicant's agent's failure to accept, in writing, all conditions herein imposed within ten (10) days of receipt of this Resolution, such acceptance to be evidenced by the Applicant's or the Applicant's agent's signature below.

7. By approving this Resolution, the Applicant is signifying acceptance of the conditions contained herein.

DULY PRESENTED AND ADOPTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, in a public meeting held this 1st day of December, 2025.

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS:**

ATTEST:

Patrick Stasio, Township Manager

By: _____
Clifton McFatridge, President

In the event that the executed Resolution is not delivered to the Township within ten (10) days of receipt, it shall be deemed that the Applicant does not accept these conditions, and approvals conditioned upon its acceptance are revoked, and the application is considered denied for the reasons set forth above.

Date: _____

ACCEPTED BY:

APPLICANT

UPPER MORELAND TOWNSHIP

Name:
Title:

EXHIBITS

EXHIBIT A

LAND DEVELOPMENT PLAN

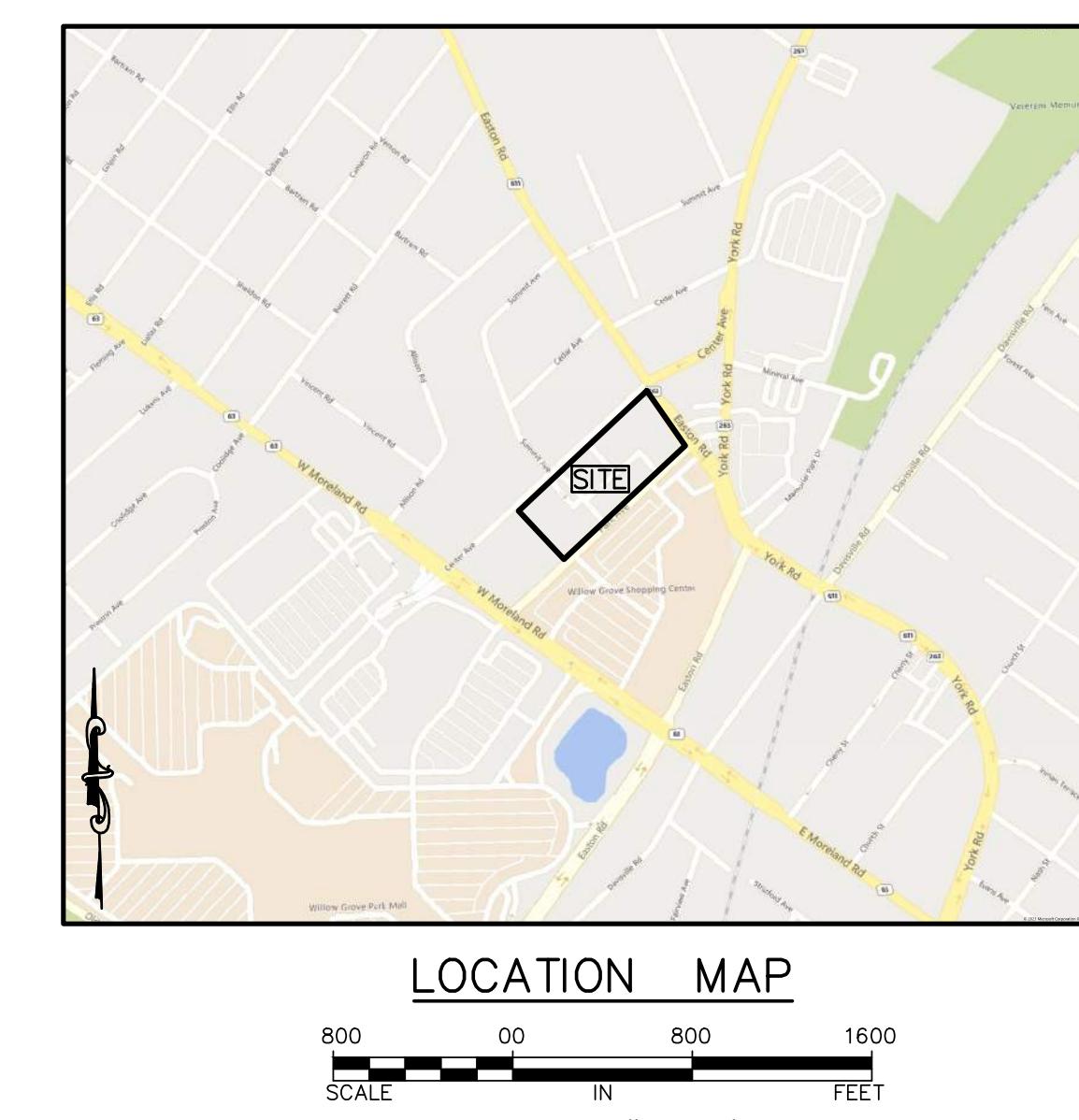
FOR
UPPER MORELAND TOWNSHIP

RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

SHEET LIST TABLE

SHEET NO.	SHEET TITLE
COVER	COVER SHEET
1	EXISTING FEATURES AND DEMOLITION PLAN
2	RECORD PLAN
3	EROSION AND SEDIMENT CONTROL PLAN
4	POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN
5	GRADING PLAN
6	UTILITY PLAN
7	LANDSCAPE PLAN
8	LIGHTING PLAN
9	EROSION AND SEDIMENT CONTROL DETAILS AND NOTES 1
10	EROSION AND SEDIMENT CONTROL DETAILS AND NOTES 2
11	POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS
12	POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS AND NOTES
13	CONSTRUCTION DETAILS AND NOTES 1
14	CONSTRUCTION DETAILS AND NOTES 2
15	LIGHTING DETAILS AND NOTES



OWNER/APPLICANT:

UPPER MORELAND TOWNSHIP
117 PARK AVENUE
WILLOW GROVE, PA 19090
(215) 659-3100

PROJECT LOCATION:

117 PARK AVENUE
WILLOW GROVE, PA 19090
UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY

TAX PARCEL:

59-00-14053-00-9

PENNSYLVANIA ONE CALL SYSTEM, INC.

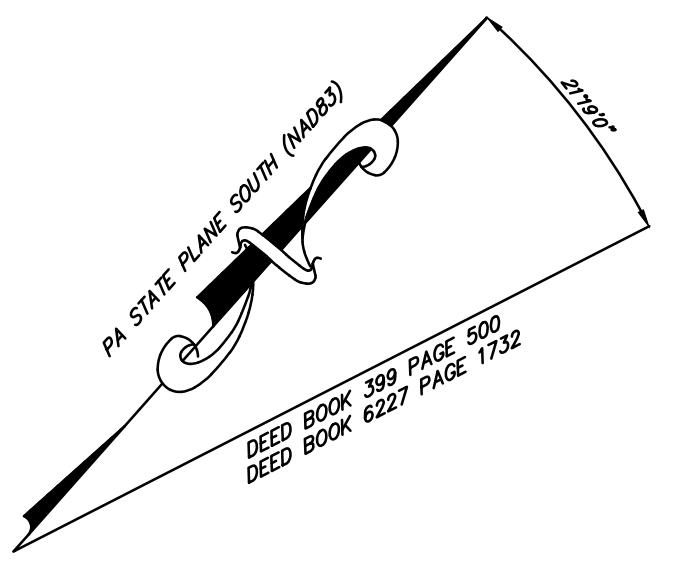
926 Iris Run Road
West Mifflin, Pennsylvania
15122-1078



LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD OBSERVATIONS AND THE SITE. NO DRAVINGS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS. THEREFORE, ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES ARE LOCATED BY FIELD SURVEY. SIGHTS ARE CONSIDERED AS ACCURATE, COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
FOR DRAVINGS THAT ARE NOT 811
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BLAST OR DEMOLISH

SERIAL NO. 20230661537



GENERAL SURVEY NOTES:

- PROPERTY AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF UPPER MORELAND, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA.
- THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN MARCH, 2023, AND THE REFERENCED INFORMATION LISTED HEREON. IT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- SUBJECT TO COVENANTS, RESTRICTIONS AND/OR EASEMENTS EITHER WRITTEN OR IMPLIED.
- VERTICAL DATUM IS NAVD88 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- HORIZONTAL DATUM IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD 83) ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- A COUNTERWISE ROTATION OF 21°19'00" IS REQUIRED TO CONVERT FROM THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH (PCPS) TO THE REFERENCED DEED BEARING SYSTEM.

REFERENCES:

- TAX MAP FOR THE TOWNSHIP OF UPPER MORELAND, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA.
- PLAN ENTITLED "PLAN OF LOTS OF SAMUEL KEIGHTLY" DATED MAY 2, 1898, PREPARED BY JOSEPH W. HUNTER, ENGINEER & SURVEYOR OF JUNKERTOWN, PA, AND RECORDED IN THE MONTGOMERY COUNTY RECORDER OF DEEDS IN PLAN BOOK 399 PAGE 500
- PLAN ENTITLED "COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF HIGHWAYS DRAWINGS FOR CONSTRUCTION, APPROPRIATION AND CONDEMNATION OF RIGHT-OF-WAY, ROUTE NO. 151, SECTION 13 IN MONTGOMERY & BUCKS COUNTY", DATED OCTOBER 31, 1956, PREPARED BY BERGER ASSOCIATES, INC.
- DEED BOOKS AS NOTED.

ABBREVIATIONS

BC	BOTTOM OF CURB	MIN	MINIMUM
BW	BOTTOM OF WALL	MISC	MISCELLANEOUS
C.O.	CLEAN OUT	N/A	NOT APPLICABLE
CONC	CONCRETE	NO./#	NUMBER
CPP	CORRUGATED PLASTIC PIPE	PG	PAGE
DB	DEED BOOK	PVC	POLYVINYL CHLORIDE
DEP	DEPRESSED	R	RADIUS OR RISER
dia	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DWS	DETECTABLE WARNING SURFACE	SAN	SANITARY
EA	EACH	SF	SQUARE FOOT OR SQUARE FEET
EL/ELE	ELEVATION	STMH	STORM MANHOLE
ELEC	ELECTRIC	TBD	TO BE DETERMINED
EX/EXIST	EXISTING	T.B.R.	TO BE REMOVED
FF/FFE	FINISHED FLOOR ELEVATION	TC	TOP OF CURB
FT	FOOT OR FEET	TEL	TELEPHONE
HDPE	HIGH DENSITY POLYETHYLENE	TG	TOP OF GRATE ELEVATION
INL	INLET	T.M.P.	TAX MAP PARCEL
INV	INVERT ELEVATION	TW	TOP OF WALL
LF	LINEAR FOOT OR LINEAR FEET	TYP	TYPICAL
MAX	MAXIMUM	W	WATER OR WIDE

LEGEND

EXISTING	
—	EDGE OF PAVE
—	LEGAL RIGHT-OF-WAY
—	PROPERTY LINE
—	EASEMENT
—	MAJOR CONTOURS
—	MINOR CONTOURS
—	SPOT ELEVATION
—	FENCE LINE
—	SANITARY SEWER LINE
—	STORM LINE
—	OVERHEAD ELECTRIC LINE
—	UNDERGROUND ELECTRIC LINE
—	WATER LINE
—	GAS LINE
—	STORM MANHOLE
—	SANITARY MANHOLE
—	ELECTRIC MANHOLE
—	WATER MANHOLE
—	GAS VALVE
—	WATER VALVE
—	ELECTRIC METER
—	GAS METER
—	WATER METER
—	SIGN
—	UTILITY POLE
—	GUY WIRE
—	FIRE HYDRANT
—	IRON PIN FOUND
—	CONCRETE MONUMENT FOUND
—	LIGHT FIXTURE
—	SHRUB
—	CONIFEROUS TREE
—	DECIDUOUS SHADE TREE

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

401 PLYMOUTH ROAD, SUITE 150, PLYMOUTH MEETING, PA 19462 (610) 984-9495 • www.gilmoreassoc.com

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10/10/2025 PRELIM/FINAL SUBMISSION

LAND DEVELOPMENT PLAN
RENOVATIONS AND ADDITIONS FOR
TOWNSHIP AND POLICE BUILDING
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

EXISTING FEATURES AND DEMOLITION PLAN

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT NO.: 23-02039

OWNERS INFO: UPPER MORELAND TOWNSHIP 117 PARK AVENUE WILLOW GROVE, PA 19090 (215) 659-3100

MUNICIPAL NO.: N/A

TAX MAP PARCEL NO.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC.

TOTAL LOTS: 1

DATE: 8/28/2025

SCALE: 1"-30'

DRAWN BY: BMS

CHECKED BY: JH

SHEET NO.: 1 OF 15

<p>OWNER CERTIFICATION OF ACKNOWLEDGEMENT:</p> <p>COMMONWEALTH OF PENNSYLVANIA SS. COUNTY OF MONTGOMERY:</p> <p>ON THE <u> </u> DAY OF <u> </u>, 20<u> </u> BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN MONTGOMERY COUNTY, PERSONALLY APPEARED CLIFTON MCFARTRIDGE, WHO ACKNOWLEDGED HIMSELF TO BE THE PRESIDENT OF THE UPPER MORELAND TOWNSHIP BOARD OF COMMISSIONERS, AND THAT AS SUCH, BEING AUTHORIZED TO DO SO, HE EXECUTED THE FOREGOING PLAN BY SIGNING THAT THE SAID ENTITY IS THE REGISTERED OWNER OF THE DESIGNATED LAND, AND ALL NECESSARY APPROVALS OF THE PLAN HAVE BEEN OBTAINED AND ARE ENDORSED THEREON; THAT SAID ENTITY DESIRES THAT THE FOREGOING PLAN BE RECORDED ACCORDING TO LAW.</p> <p>WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR AFORESAID.</p> <p>(SIGNATURE OF OFFICER) NOTARY PUBLIC MY COMMISSION EXPIRES:</p> <p>(TITLE) (CORPORATE SEAL)</p> <p>RECORDED IN THE OFFICE OF RECORDER OF DEEDS OF MONTGOMERY COUNTY, NORRISTOWN, PENNSYLVANIA IN PLAN BOOK <u> </u>, PAGE <u> </u>, ON THE <u> </u> DAY OF <u> </u>, 20<u> </u>.</p>		<p>PROFESSIONAL LAND SURVEYOR'S CERTIFICATION:</p> <p>I, <u>RUSSELL CROSS, P.L.S.</u>, A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA, SURVEYOR NO. <u> </u> DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE EXISTING FEATURES, TOPOGRAPHY, AND METES AND BOUNDS SHOWN ON THE PLANS, DRAWINGS, AND SURVEYS ARE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS IN JULY OF 1996 (OR AS SUBSEQUENTLY ADOPTED). A FIELD SURVEY WAS PERFORMED UNDER MY IMMEDIATE SUPERVISION, AND ALL MONUMENTS AND/OR LOT PINS SHOWN, EXIST AS INDICATED OR SHALL BE PLACED AS SHOWN, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.</p> <p>(SIGNATURE OF REGISTERED PROFESSIONAL LAND SURVEYOR) (REGISTRATION NUMBER)</p>																																													
<p>RECODER OF DEEDS:</p> <p>RECORDED THIS <u> </u> DAY OF <u> </u>, 20<u> </u> IN THE OFFICE OF THE RECORDING OF DEEDS, ETC. AND FOR THE COUNTY OF MONTGOMERY IN NORRISTOWN, PENNSYLVANIA IN PLAN BOOK <u> </u>, PAGE <u> </u>.</p> <p>RECORDED</p>		<p>ZONING INFORMATION:</p> <p>ZONING DISTRICT: TOWN CENTER (TC-1)</p> <p>PROPOSED USE: GOVERNMENT ADMINISTRATION USES (ALLOWED BY RIGHT)</p> <p>TC-1 ZONING INFORMATION</p> <table border="1"> <thead> <tr> <th>STANDARD</th> <th>TC-1 REQUIRED</th> <th>EXISTING</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>MIN LOT SIZE</td> <td>2,000 SF</td> <td>178,985 SF</td> <td>178,985 SF</td> </tr> <tr> <td>MIN LOT WIDTH</td> <td>25 FT</td> <td>450 FT</td> <td>450 FT</td> </tr> <tr> <td>BUILD-TO-LINE</td> <td>N/A⁽²⁾</td> <td>21.6 FT</td> <td>21.6 FT</td> </tr> <tr> <td>MIN SIDE YARD</td> <td>35.8 FT</td> <td>30.8 FT</td> <td></td> </tr> <tr> <td>MAX IMPERVIOUS COVERAGE</td> <td>90%</td> <td>60.20%</td> <td>70.16%</td> </tr> <tr> <td>MAX BUILDING HEIGHT</td> <td>45 FT⁽³⁾</td> <td>(107.374 SF)</td> <td>(120.000 SF)</td> </tr> <tr> <td>BUILDING STEPBACK</td> <td>6 FT⁽⁴⁾</td> <td>N/A</td> <td>45 FT</td> </tr> <tr> <td>MAX BUILDING FOOTPRINT</td> <td>15,000 SF</td> <td>15,345 SF⁽⁵⁾</td> <td>25,498 SF⁽⁶⁾</td> </tr> </tbody> </table> <p>⁽¹⁾ BUILDINGS SHALL BE BUILT TO THE SIDEWALK OR SET BACK A MAXIMUM OF 15 FEET FROM THE SIDEWALK FOR PURPOSES OF A PLAZA, SQUARE, COURTYARD, OR OUTDOOR DINING. NO PARKING SHALL BE LOCATED IN THIS AREA.</p> <p>⁽²⁾ THERE SHALL BE NO SIDE YARD SETBACK REQUIRED FOR BUILDINGS THAT SHARE A PARTY WALL, THE SETBACK BETWEEN BUILDINGS SHALL BE A MINIMUM OF 10 FEET (5 FEET PER EACH BUILDING) WHEN NOT SHARING A PARTY WALL.</p> <p>⁽³⁾ BUILDINGS WITH ONE OR TWO OCCUPIED STORIES OVER 90% OF THE BUILDING AREA, MAXIMUM HEIGHT DOES NOT INCLUDE ADDITIONAL HEIGHT OF UNOCCUPIED PITCHED ROOF AREA OR SCREENING OF ROOFTOP MECHANICAL SYSTEMS.</p> <p>⁽⁴⁾ BUILDINGS HIGHER THAN 2 STORIES SHALL HAVE A 6 FOOT STEPBACK BETWEEN 10 FEET AND 40 FEET ABOVE GROUND LEVEL.</p> <p>⁽⁵⁾ EXISTING NON-CONFORMING</p>		STANDARD	TC-1 REQUIRED	EXISTING	PROPOSED	MIN LOT SIZE	2,000 SF	178,985 SF	178,985 SF	MIN LOT WIDTH	25 FT	450 FT	450 FT	BUILD-TO-LINE	N/A ⁽²⁾	21.6 FT	21.6 FT	MIN SIDE YARD	35.8 FT	30.8 FT		MAX IMPERVIOUS COVERAGE	90%	60.20%	70.16%	MAX BUILDING HEIGHT	45 FT ⁽³⁾	(107.374 SF)	(120.000 SF)	BUILDING STEPBACK	6 FT ⁽⁴⁾	N/A	45 FT	MAX BUILDING FOOTPRINT	15,000 SF	15,345 SF ⁽⁵⁾	25,498 SF ⁽⁶⁾								
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<p>APPROVAL OF THE TOWNSHIP BOARD OF COMMISSIONERS:</p> <p>APPROVED BY THE BOARD OF COMMISSIONERS OF UPPER MORELAND TOWNSHIP THIS <u> </u> DAY OF <u> </u>, 20<u> </u></p> <p>PRESIDENT ATTEST:</p> <p>TOWNSHIP SECRETARY TOWNSHIP ENGINEER</p>		<p>GENERAL SURVEY NOTES:</p> <ol style="list-style-type: none"> PROPERTY AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF UPPER MORELAND, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN MARCH, 2023, AND THE REFERENCED INFORMATION LISTED HEREON. IT WAS PREPARED WITHOUT THE BENEFIT OF A TITTLE REPORT. SUBJECT TO COVENANTS, RESTRICTIONS AND/OR EASEMENTS EITHER WRITTEN OR IMPLIED. VERTICAL DATUM IS NAVD88 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM. HORIZONTAL DATUM IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD83) ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM. A CLOCKWISE ROTATION OF 21°19'00" IS REQUIRED TO CONVERT FROM THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PPCS) TO THE REFERENCED DEED BEARING SYSTEM. 																																													
<p>PROFESSIONAL ENGINEER'S CERTIFICATION:</p> <p>I, <u>BRIAN M. STUDER, P.E.</u>, A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, ENGINEER NO. PE092980, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE INFORMATION CONTAINED IN THE ACCOMPANYING PLANS, SPECIFICATIONS AND REPORTS, HAS BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH THE ZONING AND SUBDIVISION AND LAND DEVELOPMENT ORDINANCES, AS AMENDED; ALL SUCH SUBDIVISION AND LAND DEVELOPMENT WAIVERS AND ZONING VARIANCES GRANTED, AS LISTED ON THE RECORD PLAN REQUIREMENTS; AND BUILDING, WATER, SEWER, AND ALL OTHER APPLICABLE ORDINANCES AND REGULATIONS OF UPPER MORELAND TOWNSHIP, AS LAST AMENDED.</p> <p>(SIGNATURE OF REGISTERED PROFESSIONAL ENGINEER) (REGISTRATION NUMBER)</p>		<p>LEGEND</p> <table border="1"> <tr> <td style="text-align: center;">EXISTING</td> <td style="text-align: center;">PROPOSED</td> </tr> <tr> <td></td> <td></td> </tr> </table>		EXISTING	PROPOSED																																										
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<p>PARKING INFORMATION:</p> <p>POLICE ARE CURRENTLY SITUATED IN EXISTING TOWNSHIP BUILDING AND ARE BEING RELOCATED TO SEPARATE PROPOSED POLICE STATION ON PROPERTY. THERE IS NO SHORTAGE OF PARKING CURRENTLY EXPERIENCED ON-SITE AND NO INCREASE IN PARKING DEMAND EXPECTED.</p> <p>EXISTING SPACES: 149 SPACES</p> <p>PROPOSED SPACES: 147 SPACES</p>		<p>REFERENCES:</p> <ol style="list-style-type: none"> TAX MAP FOR THE TOWNSHIP OF UPPER MORELAND, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA. PLAN ENTITLED "PLAN OF LOTS OF SAMUEL KEIGHTLY" DATED MAY 2, 1898, PREPARED BY JOSEPH W HUNTER, ENGINEER & SURVEYOR OF JUNKERTOWN, PA, AND RECORDED IN THE MONTGOMERY COUNTY RECORDER OF DEEDS IN PLAN BOOK 390, PAGE 500 PLAN ENTITLED "COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF HIGHWAYS, DRAWINGS FOR CONSTRUCTION, APPROPRIATION AND CONDEMNATION OF RIGHT-OF-WAY, ROUTE NO. 151, SECTION 13 IN MONTGOMERY & BUCKS COUNTY," DATED OCTOBER 31, 1956, PREPARED BY BERGER ASSOCIATES, INC. 4. DEED BOOKS AS NOTED. 																																													
<p>LAND DEVELOPMENT PLAN</p> <p>RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING</p> <p>UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA</p>		<p>ABBREVIATIONS</p> <table border="1"> <tr> <td>CONC</td> <td>CONCRETE</td> <td>MISC</td> <td>MISCELLANEOUS</td> </tr> <tr> <td>DB</td> <td>DEED BOOK</td> <td>N/A</td> <td>NOT APPLICABLE</td> </tr> <tr> <td>DEP</td> <td>DEPRESSED</td> <td>NO. / #</td> <td>NUMBER</td> </tr> <tr> <td>DWS</td> <td>DETECTABLE WARNING SURFACE</td> <td>NTS</td> <td>NOT TO SCALE</td> </tr> <tr> <td>EA</td> <td>EACH</td> <td>EX/EXIST</td> <td>EXISTING</td> </tr> <tr> <td>EA</td> <td>EACH</td> <td>EX/EXIST</td> <td>EXISTING</td> </tr> <tr> <td>EX/EXIST</td> <td>EXISTING</td> <td>FT</td> <td>FOOT OR FEET</td> </tr> <tr> <td>FT</td> <td>FOOT OR FEET</td> <td>LF</td> <td>LINEAR FOOT OR LINEAR FEET</td> </tr> <tr> <td>LF</td> <td>LINEAR FOOT OR LINEAR FEET</td> <td>MAX</td> <td>MAXIMUM</td> </tr> <tr> <td>MAX</td> <td>MAXIMUM</td> <td>MIN</td> <td>MINIMUM</td> </tr> <tr> <td>T.M.P.</td> <td>TAX MAP PARCEL</td> <td>TYP.</td> <td>TYPICAL</td> </tr> </table>		CONC	CONCRETE	MISC	MISCELLANEOUS	DB	DEED BOOK	N/A	NOT APPLICABLE	DEP	DEPRESSED	NO. / #	NUMBER	DWS	DETECTABLE WARNING SURFACE	NTS	NOT TO SCALE	EA	EACH	EX/EXIST	EXISTING	EA	EACH	EX/EXIST	EXISTING	EX/EXIST	EXISTING	FT	FOOT OR FEET	FT	FOOT OR FEET	LF	LINEAR FOOT OR LINEAR FEET	LF	LINEAR FOOT OR LINEAR FEET	MAX	MAXIMUM	MAX	MAXIMUM	MIN	MINIMUM	T.M.P.	TAX MAP PARCEL	TYP.	TYPICAL
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<p>RECORD PLAN</p> <p>EASTON ROAD (S.R. 263)</p> <p>(S.R. 263 NAME PER REC. NO. 122)</p> <p>LAND DEVELOPMENT PLAN</p> <p>RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING</p> <p>UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA</p>		<p>GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES</p> <p>401 PLYMOUTH ROAD, SUITE 150, PLYMOUTH MEETING, PA 19462 (610) 984-9495 • www.gilmoreassoc.com</p> <p>© 2025 GILMORE & ASSOCIATES, INC. ALL RIGHTS RESERVED</p> <p>ONLY THOSE PLANS INCORPORATING THE PROFESSIONAL SEAL SHOULD BE CONSIDERED OFFICIAL AND RELEASABLE. THIS PLAN IS PREPARED FOR RECORDING AND PROVISION IS MADE FOR THE RECORDING OF THIS PLAN. NO PART OF THIS PLAN IS TO BE COPIED, REPRODUCED, OR USED IN WHOLE OR IN PART WITHOUT THE CONSENT OF GILMORE & ASSOCIATES, INC. ALL RIGHTS RESERVED</p> <p>10/10/2025 PRELIM/FINAL SUBMISSION</p>																																													
<p>MCPC USE ONLY</p> <p>MCPC NO. _____</p> <p>MUNICIPAL FILE NO. N/A</p> <p>PROCESSED AND REVIEWED, REPORT PREPARED BY MONTGOMERY COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.</p> <p>CERTIFIED ON THIS DATE _____</p> <p>DATE: 8/28/2025 SCALE: 1"-30'</p> <p>DRAWN BY: BMS CHECKED BY: JH</p> <p>FOR THE DIRECTOR MONTGOMERY COUNTY PLANNING COMMISSION</p>		<p>SHEET NO.: 2 OF 15</p>																																													



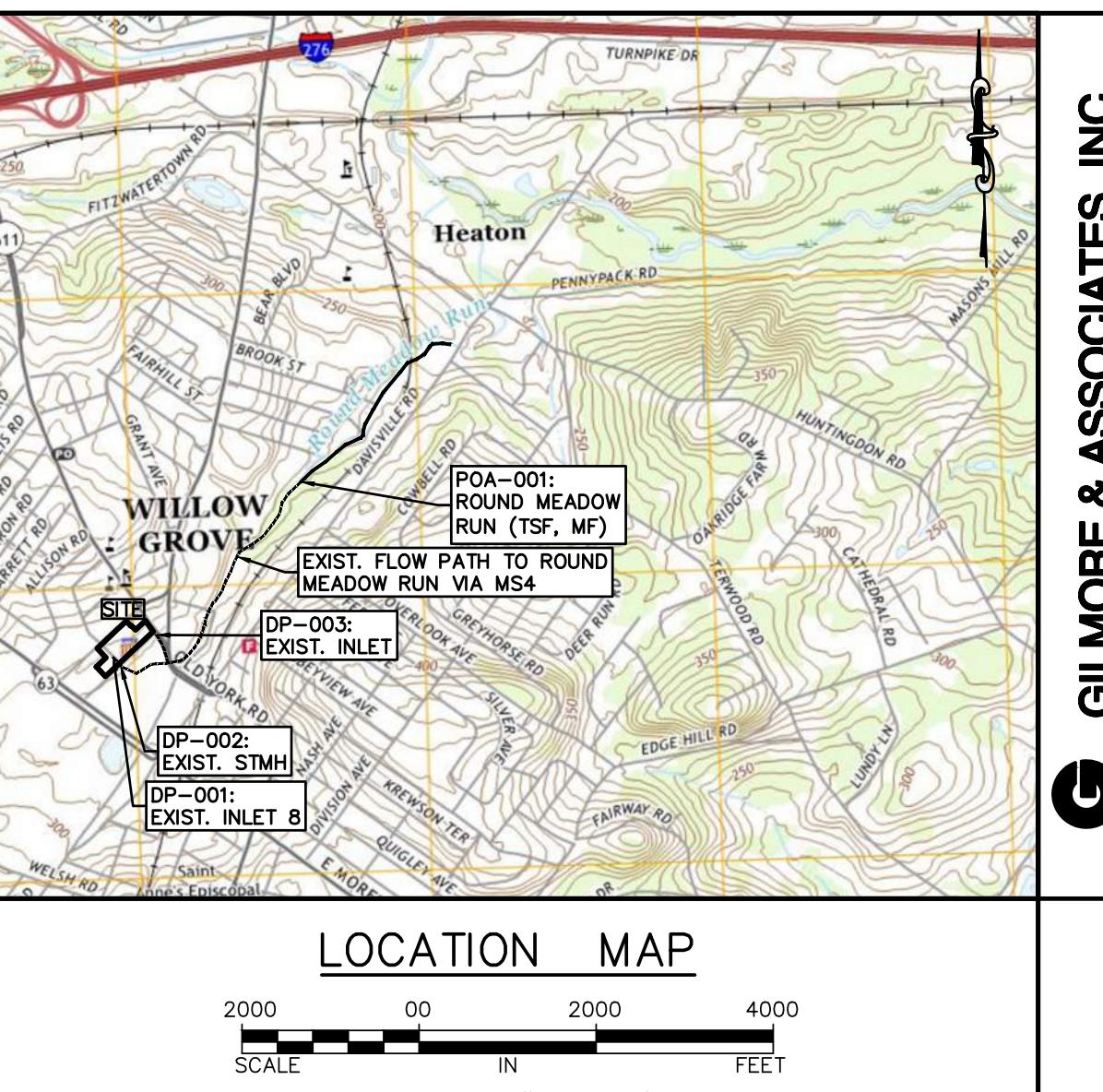
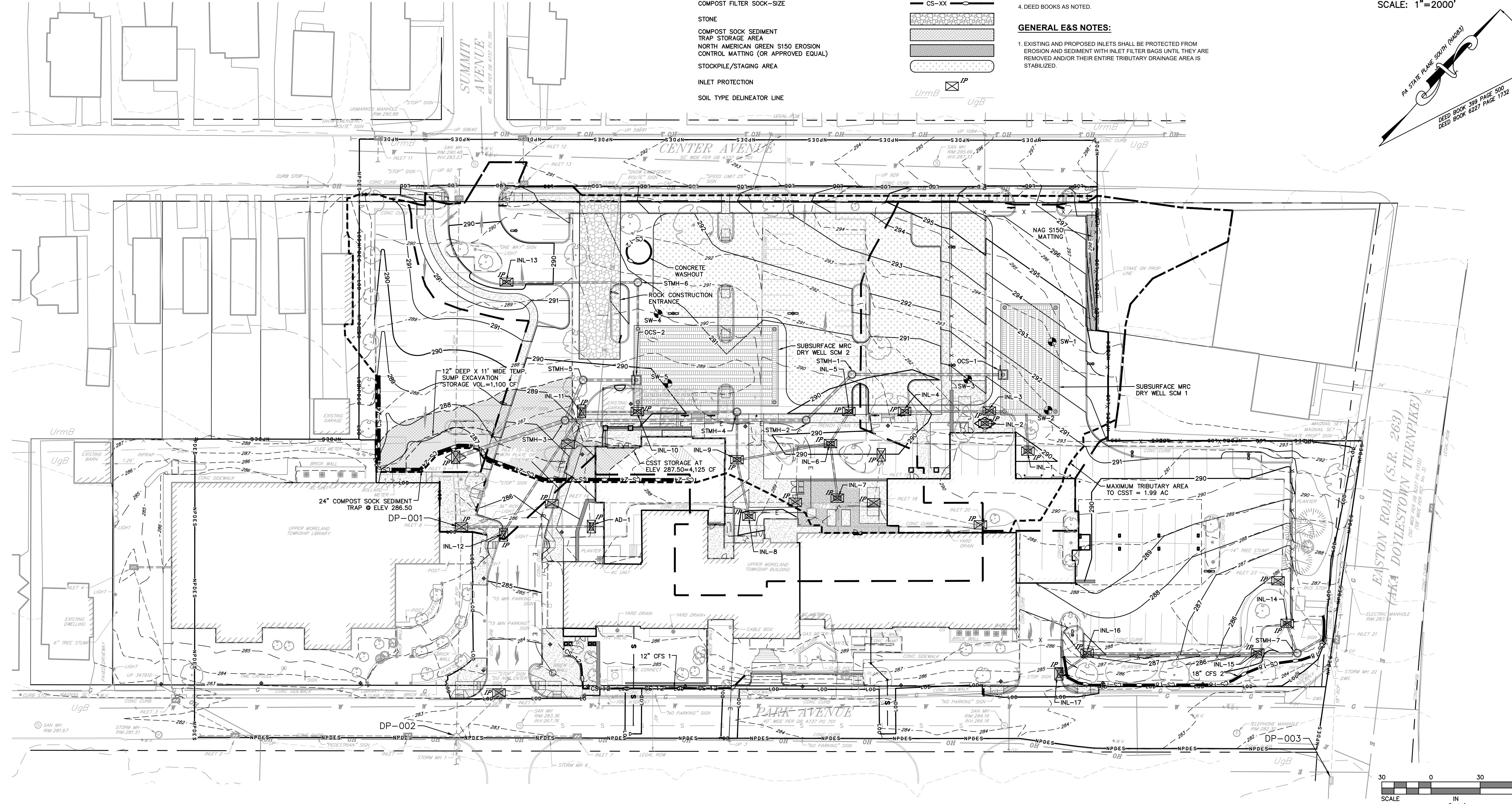
LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATIONS MADE ON THE SITE. NO INVESTIGATION WAS PERFORMED IN THE PREPARATION OF THESE DRAWINGS; THEREFORE, ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES ARE SHOWN ON FIELD SURVEYS. SIGHTS CONSIDERED AS TRUE AND ACCURATE, COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
FOR DRAWS AND DIRECTIONS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BLAST OR DEMOLISH

SERIAL NO. 20230661537

INFILTRATION AND TEST PIT EXPLORATION TABLE										SOIL LIMITATIONS		
TEST PIT	EXIST. GROUND ELEV.	BOTTOM OF PIT ELEV.	INF. TEST 1 ELEV.		INF. TEST 1 RATE		INF. TEST 2 ELEV.		INF. TEST 2 RATE	SOIL LIMITATIONS		
			1	2	1	2	1	2		ROCK	GROUND WATER	WATER SEEPS
SW-1	294.00	281.00	295.00	0.00	295.00	0.00	NE	NE	283.00			
SW-2	293.00	281.00	295.00	4.50	295.00	1.50	NE	NE	283.00			
SW-3	292.50	282.50	284.50	0.00	284.50	0.00	NE	NE	280.00			
SW-4	290.00	278.00	282.00	0.00	282.00	0.00	NE	NE	280.00			
SW-5	288.50	277.50	282.00	0.00	282.00	0.00	NE	NE	278.50			

NE = NOT ENCOUNTERED



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LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD OBSERVATIONS AND THE SITE. NO DRAVINGS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS. THEREFORE, ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES ARE SHOWN. FIELD SURVEYS SHALL BE CONDUCTED AS AND ACCURATE, COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.

ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50. GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

SERIAL NO. 20230661537

ABBREVIATIONS

BC	BOTTOM OF CURB	MIN	MINIMUM
BMP	BEST MANAGEMENT PRACTICE	N/A	NOT APPLICABLE
BW	BOTTOM OF WALL	NO. #	NUMBER
C.O.	CLEAN OUT	OC	ON CENTER
CONC	CONCRETE	OCS	OUTLET CONTROL STRUCTURE
CPP	CORRUGATED PLASTIC PIPE	OPMH	OBSEVATION PORT MANHOLE
DEP	DEPRESSED	PC	PLUMBING CONTRACTOR
Ø/DIA	DIAETER	PERF	PERFORATED
EA	EACH	PR	PROPOSED
EC	ELECTRICAL CONTRACTOR	PVC	POLYVINYL CHLORIDE
EL/ELE	ELEVATION	RCP	REINFORCED CONCRETE PIPE
ELEC	ELECTRIC	S	SLOPE
EX/EXIST	EXISTING	SAN	SANITARY
FF/FE	FINISHED FLOOR ELEVATION	SCH	SCHEDULE
FT	FOOT OR FEET	SF	SQUARE FOOT OR SQUARE FEET
GC	GENERAL CONTRACTOR	SSB	SUBSURFACE BASIN
H	HIGH	STMH	STORM MANHOLE
HDPE	HIGH DENSITY POLYETHYLENE	TBD	TO BE DETERMINED
IN/HR	INCHES PER HOUR	TC	TOP OF CURB
INF	INFILTRATION	TEL	TELEPHONE
INL	INLET	TG	TOP OF GRATE ELEVATION
INV	INVERT ELEVATION	TW	TOP OF WALL
LF	LINEAR FOOT OR LINEAR FEET	TYP	TYPICAL
LOD	LIMIT OF DISTURBANCE	UD	UNDER DRAIN
MAX	MAXIMUM	W	WATER OR WIDE

LEGEND

EXISTING	PROPOSED
CURB	EDGE OF PAVE
BMP	LEGAL RIGHT-OF-WAY
BW	PROPERTY LINE
C.O.	EASEMENT
CONC	MAJOR CONTOURS
CPP	MINOR CONTOURS
DEP	SPOT ELEVATION
Ø/DIA	FENCE LINE
EA	SANITARY SEWER LINE
EC	STORM LINE
EL/ELE	OVERHEAD ELECTRIC LINE
ELEC	UNDERGROUND ELECTRIC LINE
EX/EXIST	UNDERGROUND TELECOMM LINE
FF/FE	WATER LINE
FT	GAS LINE
GC	STORM MANHOLE
H	SANITARY MANHOLE
HDPE	ELECTRIC MANHOLE
IN/HR	WATER MANHOLE
INF	MANHOLE FOR UNKNOWN UTILITY
INL	GAS VALVE
INV	WATER VALVE
LF	SIGN
LOD	UTILITY POLE
MAX	GUY WIRE
	FIRE HYDRANT
	LIGHT FIXTURE
	CONIFEROUS TREE
	DECIDUOUS SHADE TREE
	STONE

GENERAL SURVEY NOTES:

- PROPERTY AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF UPPER MORELAND, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA.
- THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN MARCH, 2023, AND THE REFERENCED INFORMATION LISTED HEREON. IT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- SUBJECT TO COVENANTS, RESTRICTIONS AND/OR EASEMENTS EITHER WRITTEN OR IMPLIED.
- VERTICAL DATUM IS NAVD88 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- HORIZONTAL DATUM IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD 83) ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- A COUNTERCLOCKWISE ROTATION OF 21°19'00" IS REQUIRED TO CONVERT FROM THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH (PPCS) TO THE REFERENCED DEED BEARING SYSTEM.
- GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR ALL PROPOSED STORM SEWER IMPROVEMENTS ON THE SITE UP TO 4 FEET OUTSIDE THE BUILDING, AS WELL AS DOWNSPOUTS AND DOWNSPOUT BOOT CONNECTIONS.
- ELECTRICAL CONTRACTOR (EC) IS RESPONSIBLE FOR SITE LIGHTING AND TRENCHING OF THE ELECTRICAL LINES AND COMMUNICATION LINES. THIS INCLUDES COORDINATION WITH MECHANICAL CONTRACTOR, PLUMBING CONTRACTOR, GENERAL CONTRACTOR, STORM DRAINAGE AND POLICE FUNCTIONS.
- ALL OTHER EXCAVATION AND/OR TRENCHING FOR THE WORK OF EACH CONTRACT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR FOR THEIR OWN WORK.

UTILITY NOTES:

- PLUMBING CONTRACTOR (PC) TO INSTALL PROPOSED NEW 3-INCH DOMESTIC WATER LINE SHOWN ON THE CIVIL SITE PLANS FROM THE EXISTING PIT TO THE BUILDING CONNECTION.
- PLUMBING CONTRACTOR (PC) IS RESPONSIBLE FOR ALL PROPOSED SANITARY SEWER IMPROVEMENTS FROM THE BUILDING UP TO 4 FEET OUTSIDE THE BUILDING.
- GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR ALL PROPOSED SANITARY SEWER IMPROVEMENTS ON THE SITE UP TO 4 FEET OUTSIDE THE BUILDING, AS WELL AS CONNECTIONS AT THAT POINT. GC TO CONTACT UPPER MORELAND-HATBORO JOINT SEWER AUTHORITY PRIOR TO PERFORMING WORK IN STREET(S) FOR INSPECTION.
- EXISTING SANITARY SEWER PIPE THAT WILL NO LONGER BE OPERATIONAL MAY BE ABANDONED IN-PLACE.
- GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR ALL PROPOSED STORM SEWER IMPROVEMENTS ON THE SITE UP TO 4 FEET OUTSIDE THE BUILDING, AS WELL AS DOWNSPOUTS AND DOWNSPOUT BOOT CONNECTIONS.
- EXISTING STORM SEWER PIPE AND OTHER DEMOLISHED/ABANDONED UTILITIES THAT ARE NO LONGER FUNCTIONAL/OPERATIONAL SHALL BE REMOVED AND DISPOSED OF. EXISTING SANITARY SEWER PIPE THAT WILL NO LONGER BE OPERATIONAL MAY BE ABANDONED IN-PLACE.

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

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LAND DEVELOPMENT PLAN
RENOVATIONS AND ADDITIONS FOR
TOWNSHIP AND POLICE BUILDING
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT No.: 23-02039

OWNERS INFO: UPPER MORELAND TOWNSHIP 117 PARK AVENUE WILLOW GROVE, PA 19090 (215) 659-3100

MUNICIPAL MAP NO.: N/A

TAX MAP PARCEL NO.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC.

TOTAL LOTS: 1

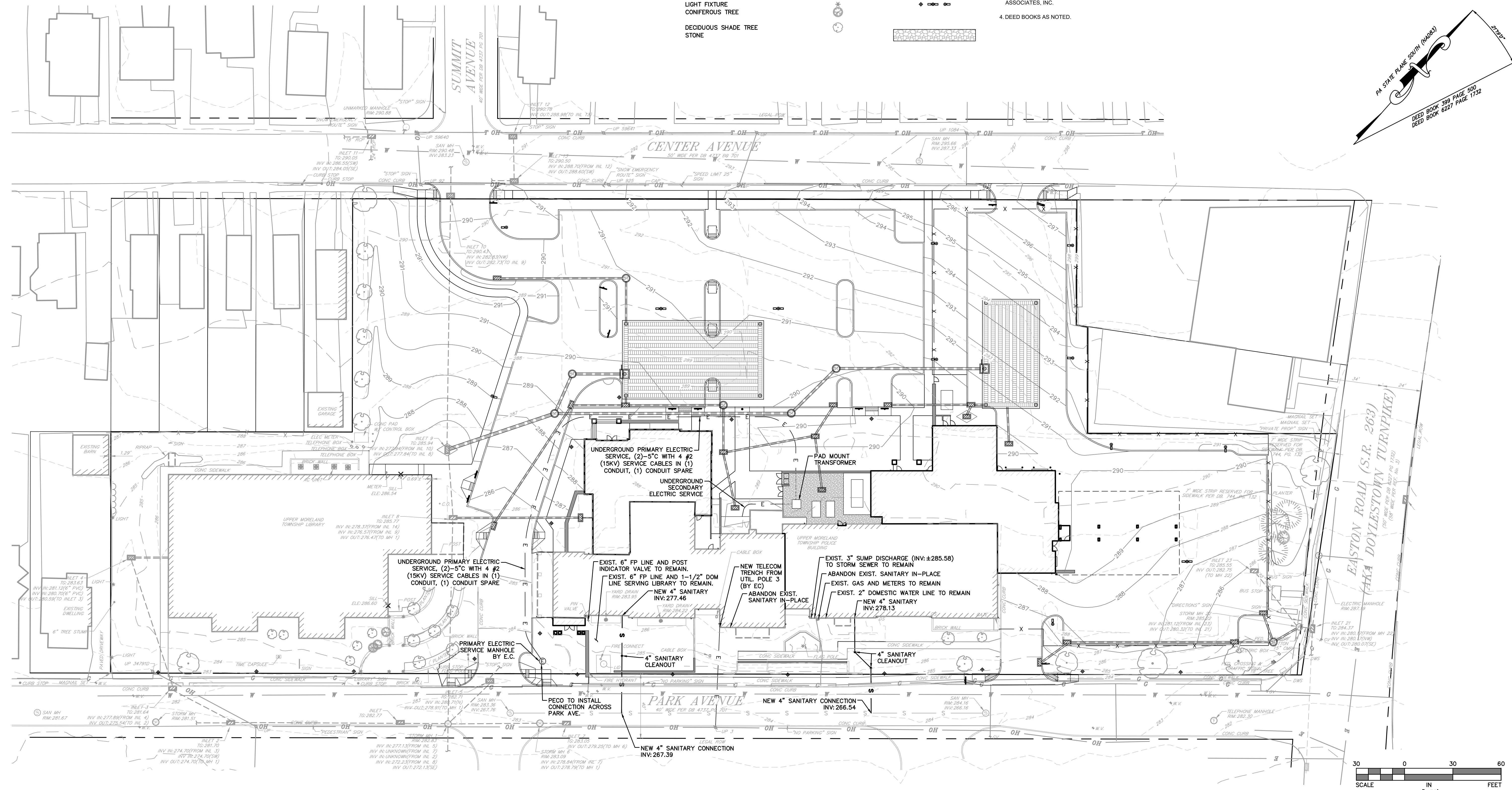
DATE: 8/28/2025

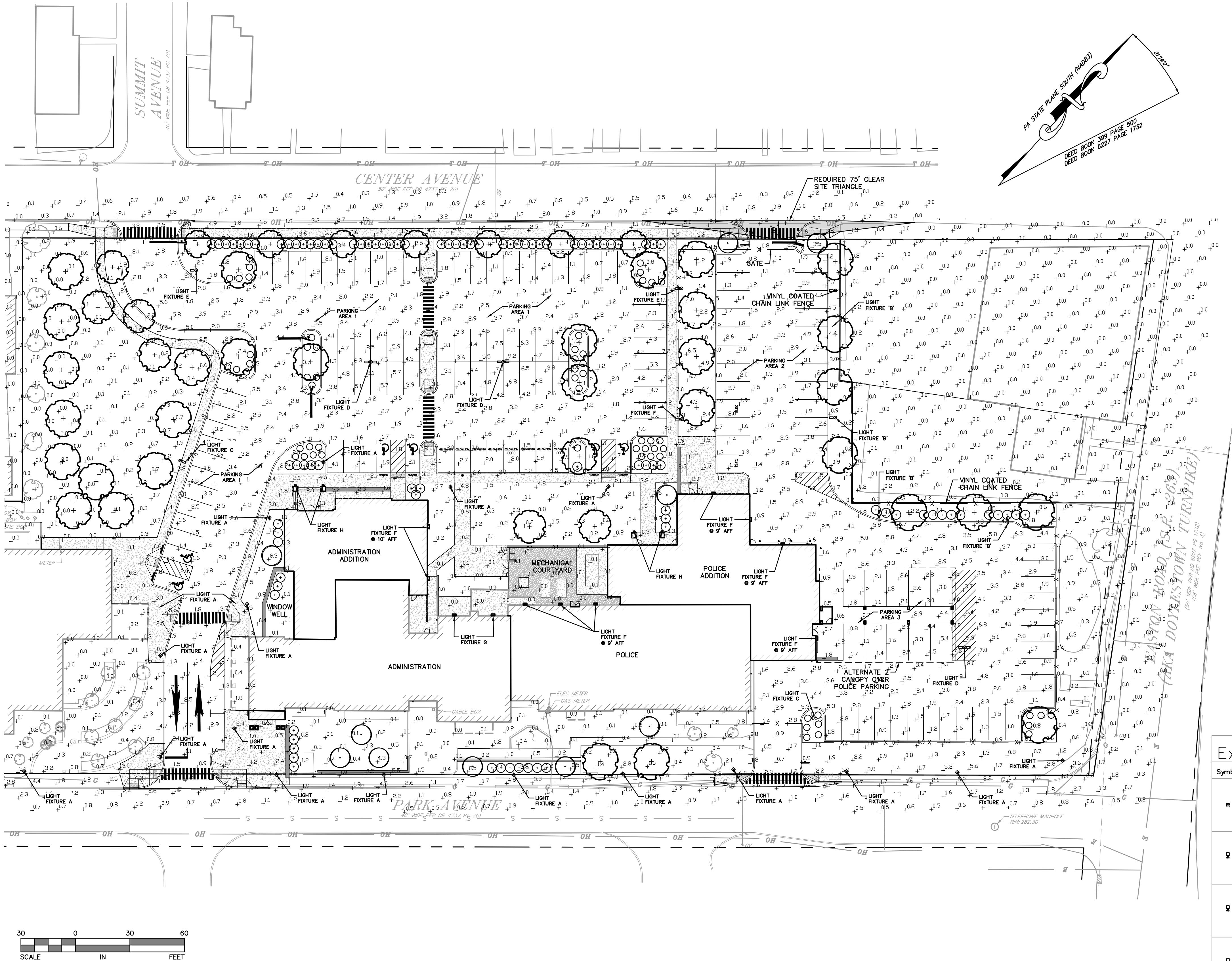
SCALE: 1"=30'

DRAWN BY: BMS

CHECKED BY: JH

SHEET NO.: 6 OF 15





PENNSYLVANIA ONE CALL SYSTEM, INC.
925 Irwin Run Road
West Mifflin, Pennsylvania
15122-1078



BEFORE YOU DIG ANYWHERE IN
PENNSYLVANIA CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BLAST OR DEMOLISH
SERIAL NO. 2023061537

GENERAL LIGHTING NOTES

1. THIS PLAN IS TO BE UTILIZED FOR SITE LIGHTING PURPOSES ONLY. ELECTRICAL ENGINEERING, INCLUDING, BUT NOT LIMITED TO CIRCUITRY, CONDUIT, WIRING, AND ASSOCIATED SPECIFICATIONS, IS NOT WITHIN THE SCOPE OF THIS DOCUMENT.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL.
3. SUBSTITUTION REQUESTS MUST BE APPROVED BY THE TOWNSHIP.
4. THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
5. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLAN AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
6. LIGHTING VALUES DEPICTED ON THIS PLAN WERE GENERATED USING VISUAL 2020R2 SOFTWARE.
7. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPES OF FIXTURES ONLY. POWER SYSTEM, CONDUITS, WIRING VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR ELECTRICAL LIGHTING CONTRACTOR. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, LAWS AND STATUTES.
8. CONTRACTOR SHALL BRING TO THE DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES OR OTHER STRUCTURES.
9. ALL PROPOSED LIGHT FIXTURES ARE TO BE NEW AND SHOULD BE INCLUDED WITH THE BASE BID.
10. CONTRACTOR SHALL PROVIDE TEMPORARY SITE LIGHTING AS NEEDED WHEN EXISTING SITE LIGHTING IS NO LONGER OPERATIONAL.
11. SITE LIGHTING TO BE BY ELECTRICAL CONTRACTOR.

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10/10/2025 PRELIM/FINAL SUBMISSION

LAND DEVELOPMENT PLAN RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING

UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

LIGHTING PLAN

Exterior Site Lighting Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING_1	✖	2.4 fc	9.8 fc	0.6 fc	16.3:1	4.0:1
PARKING_2	✖	2.7 fc	5.7 fc	1.6 fc	3.6:1	1.7:1
PARKING_3	✖	3.2 fc	9.9 fc	0.7 fc	14.1:1	4.6:1

NOTE: 'H' FIXTURE ILLUMINATION IS
NOT INCLUDED IN CALCULATED
VALUES SHOWN ON LIGHTING PLAN

Exterior Site Lighting Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
■	A	19	PHILIPS LUMEC	AT3x0.07x0.04x0.03 -35W32LED3K -G3-LE3F	AT Ancestral Post Top LED -OT/ XL Optima Post Top LED, 32 LED's, 3000K CCT, TYPE LE3F OPTIC, FLAT LENS	1	4048	0.9	37	12'
■	B	4	GARDOCO BY SIGNIFY	P26-A02-730-BLC	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE BLC OPTIC	1	10956	0.9	85.4	18'
■	C	2	GARDOCO BY SIGNIFY	P26-A02-730-T3M	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE T3M OPTIC	1	12865	0.9	85.4	18'
■	D	3	GARDOCO BY SIGNIFY	P26-A02-730-T3M	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE T3M OPTIC	1	14559	0.9	170.8	18'
■	E	3	GARDOCO BY SIGNIFY	P26-A02-730-T5M	P0045253 PureForm Family Upgrade Ph 2-P26, 40 LED's, 3000K CCT, 70 CRI, TYPE T5M OPTIC	1	15310	0.9	85.4	18'
■	F	9	GARDOCO BY SIGNIFY	PWS-P-A03-840-4	PureForm LED wall sconce PWS, 20 LED's, 4000K CCT, 80 CRI, TYPE 4 OPTIC	1	5448	0.9	34.4	9' & 10' ABOVE FINISHED FLOOR
■	G	2	GARDOCO BY SIGNIFY	PWS-P-A08-840-4	PureForm LED wall sconce PWS, 20 LED's, 4000K CCT, 80 CRI, TYPE 4 OPTIC	1	14732	0.9	91.5	20' ABOVE FINISHED FLOOR
○	H	4	PROGRESS LIGHTING	SEE SPEC. SHEET	ROUND SCONCE					7' ABOVE FINISHED FLOOR



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT NO.: 23-02039

OWNERS INFO: UPPER MORELAND TOWNSHIP
117 PARK AVENUE
WILLOW GROVE, PA 19090
(215) 659-3100

MUNICIPAL FILE NO.: N/A

TAX MAP PARCEL NO.: 59-00-14053-00-9

TOTAL AREA: 4.095 AC. TOTAL LOTS: 1

DATE: 8/28/2025 SCALE: 1"=30'

DRAWN BY: TPL CHECKED BY: JSG

SHEET NO.: 8 OF 15

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2:1 OR 1:1.
- THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
- UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE PERMITTEE AND CO-PERMITTEE SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED. PROPER AND COMPLETELY MAINTAINED SITES INCLUDES PREPAREDNESS OF ALL EROSION AND SEDIMENT CONTROL FACILITIES. SITES INCLUDES COMPLETE WRITTEN LOGS OF THOSE INSPECTIONS WHICH SHALL BE MADE AVAILABLE TO THE COUNTY CONSERVATION DISTRICT. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGARDING, RESeeding, AND RESTABILIZATION SHALL BE PERFORMED IMMEDIATELY.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, THE OWNER SHALL RECEIVE APPROVAL OF THE REVISIONS FROM THE COUNTY CONSERVATION DISTRICT.
- THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE APPROPRIATE CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL, AND/OR ROCK SPOTS AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
- ALL EROSION AND SEDIMENT WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE 1, WATER POLLUTION CONTROL, 102, EROSION CONTROL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO THE PROJECT SITE FOR GRADING AND ACQUISITION, BORROW TO CONSTRUCT THOSE BMPs, EROSION AND SEDIMENT BMPS, AND TO CONSTRUCT THE ROADWAY AND BERM BEFORE SITE DISTURBANCE BEGINS WITHIN THE TREATMENT AREAS OF THOSE BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
- THE PERMITTEE OR CO-PERMITTEE SHALL CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT TO DETERMINE IF A PRECONSTRUCTION CONFERENCE IS REQUIRED. THE PERMITTEE, CO-PERMITTEE, AND OTHERS UNDERTAKING THE EARTH DISTURBANCE ACTIVITY MUST ATTEND A PRECONSTRUCTION CONFERENCE WHEN REQUESTED BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE PERMITTEE OR CO-PERMITTEE MUST BRING A COPY OF THEIR APPROVED PERMIT, AND A COPY OF THE APPROVED PLAN FROM THE CONSERVATION DISTRICT, AND ALL ASSOCIATED DEPARTMENT APPROVALS/PERMITS WHICH MAY BE AVAILABLE AT THE CONFERENCE UPON REQUEST, ALSO AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES. ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.
- UPON COMPLETION OF THE STABILIZATION, PERIMETER SEDIMENT CONTROL BMPs AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE OR SHOULD A TEMPORARY CESSATION OF ACTIVITY OCCUR WHICH WILL LAST LONGER THAN 4 DAYS, THE OPERATOR SHALL STABILIZE DISTURBED AREAS BY THE ACTIVITIES, DRAINAGE, GROWING, PLANTING, AND SEEDING OF SELF CONTAINED AND IN-SITE WORK CREWS FOR CLEARING-GRUBBING AND SITE RESTORATION-STABILIZATION OPERATIONS.
- PLACE COMPOST FILTER SOCK DOWN-SLOPE OF THE PROPOSED TRENCHING ACTIVITIES. PLACE EXCAVATED MATERIALS ON THE UP-SLOPE SIDE OF THE TRENCH.
- TOPSOIL SHALL BE REMOVED AND STOCKPILED SEPARATELY FROM BACKFILL SOILS. TOPSOIL SHALL BE REPLACED UPON FINAL GRADING FOR STABILIZATION.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
- ON COMPLETION OF TRENCHING AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND STABILIZED IMMEDIATELY IN ACCORDANCE WITH THE SEEDING & MULCHING SCHEDULE.
- REMOVE COMPOST FILTER SOCK AND OTHER E&S CONTROL MEASURES AFTER AREA IS STABILIZED. ANY AREAS DISTURBED DURING THE REMOVAL OF E&S CONTROL MEASURES SHALL BE RESTABILIZED IMMEDIATELY.

HERBICIDAL APPLICATION AND CONTROL MEASURES:

THE APPLICATION OF HERBICIDE SHALL BE CONDUCTED PER MANUFACTURERS SPECIFICATIONS. RODEO® SHALL BE USED FOR APPLICATIONS WITHIN 100 FEET OF ANY WETLAND, POND, STREAM, ETC., OTHERS. THE USE OF RODEO® IS NOT PERMITTED. ALL APPLICATIONS OF RODEO® SHALL BE CONDUCTED BY A CONTRACTOR LICENSED BY THE PENNSYLVANIA DEPARTMENT OF AGRICULTURE. APPLICATION OF ANY HERBICIDE SHALL BE CONDUCTED AT A RATE AND FREQUENCY SPECIFIED BY THE MANUFACTURER. ALL SAFETY PRECAUTIONS SHALL BE CONDUCTED ACCORDING TO MANUFACTURERS RECOMMENDATIONS. STORAGE AND DISPOSAL PROCEDURES SHALL BE CONDUCTED ACCORDING TO MANUFACTURERS RECOMMENDATIONS. ALL MIXING AND APPLICATION PROCEDURES SHALL BE CONDUCTED ACCORDING TO MANUFACTURERS SPECIFICATIONS. AVOID OVER-SPRAY AND SPRAYING WHEN WINDS ARE IN EXCESS OF 5 MILES PER HOUR.

CLEAN FILL REQUIREMENTS:

- THE OPERATOR MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT ANY CLEAN FILL, ALL FILM MATERIAL MUST BE ASSOCIATED WITH THIS PROJECT QUALITIES AS CLEAN FILL. ALL FILM MATERIAL MUST BE USED IN ACCORDANCE WITH PADEP'S POLICY "MANAGEMENT OF FILL" DOCUMENT NUMBER 268-2182-773. A COPY OF THIS POLICY IS AVAILABLE ONLINE AT WWW.DEPWEB.STATE.PA.US.
- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM WASTE AND RECOGNIZABLE AS SUCH THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE). THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE GROUND BY THE COMMERCIAL UNLESS OTHERWISE NOTED.
- CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN PADEP'S POLICY "MANAGEMENT OF FILL".
- ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE PADEP FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE CONCENTRATION OF REGULATED SUBSTANCES IN THE FILL MATERIAL. THE FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT WWW.DEPWEB.STATE.PA.US.
- ENVIRONMENTAL DUE DILIGENCE: THE LANDOWNER/APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFIES AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIONS, SURVEYS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS, ANALYTICAL TESTING, AND OTHERS. INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE PROPERTY MAY NOT BE SUBJECT TO THE REQUIREMENT OF A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF PADEP'S POLICY "MANAGEMENT OF FILL".
- FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE MUNICIPAL OR RESIDUAL WASTE REGULATIONS. SEE CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS CAN BE FOUND AT WWW.DEPACODE.COM.
- ALL FILLS SHALL BE COMPAKTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SUPPING, EROSION OR EXCESS SATURATION.

UTILITY TRENCHING REQUIREMENTS:

- LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- WORK CROWS AND EQUIPMENT FOR TRENCHING PLACEMENT, PLUGGING, DRAINING CONSTRUCTION, AND BACKFILLING SHALL BE SELF CONTAINED AND SEPARATE FROM WORK CREWS FOR CLEARING-GRUBBING AND SITE RESTORATION-STABILIZATION OPERATIONS.
- PLACE COMPOST FILTER SOCK DOWN-SLOPE OF THE PROPOSED TRENCHING ACTIVITIES. PLACE EXCAVATED MATERIALS ON THE UP-SLOPE SIDE OF THE TRENCH.
- TOPSOIL SHALL BE REMOVED AND STOCKPILED SEPARATELY FROM BACKFILL SOILS. TOPSOIL SHALL BE REPLACED UPON FINAL GRADING FOR STABILIZATION.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
- ON COMPLETION OF TRENCHING AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND STABILIZED IMMEDIATELY IN ACCORDANCE WITH THE SEEDING & MULCHING SCHEDULE.
- REMOVE COMPOST FILTER SOCK AND OTHER E&S CONTROL MEASURES AFTER AREA IS STABILIZED. ANY AREAS DISTURBED DURING THE REMOVAL OF E&S CONTROL MEASURES SHALL BE RESTABILIZED IMMEDIATELY.

TOPSOIL APPLICATION:

GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENERED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE. AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN.

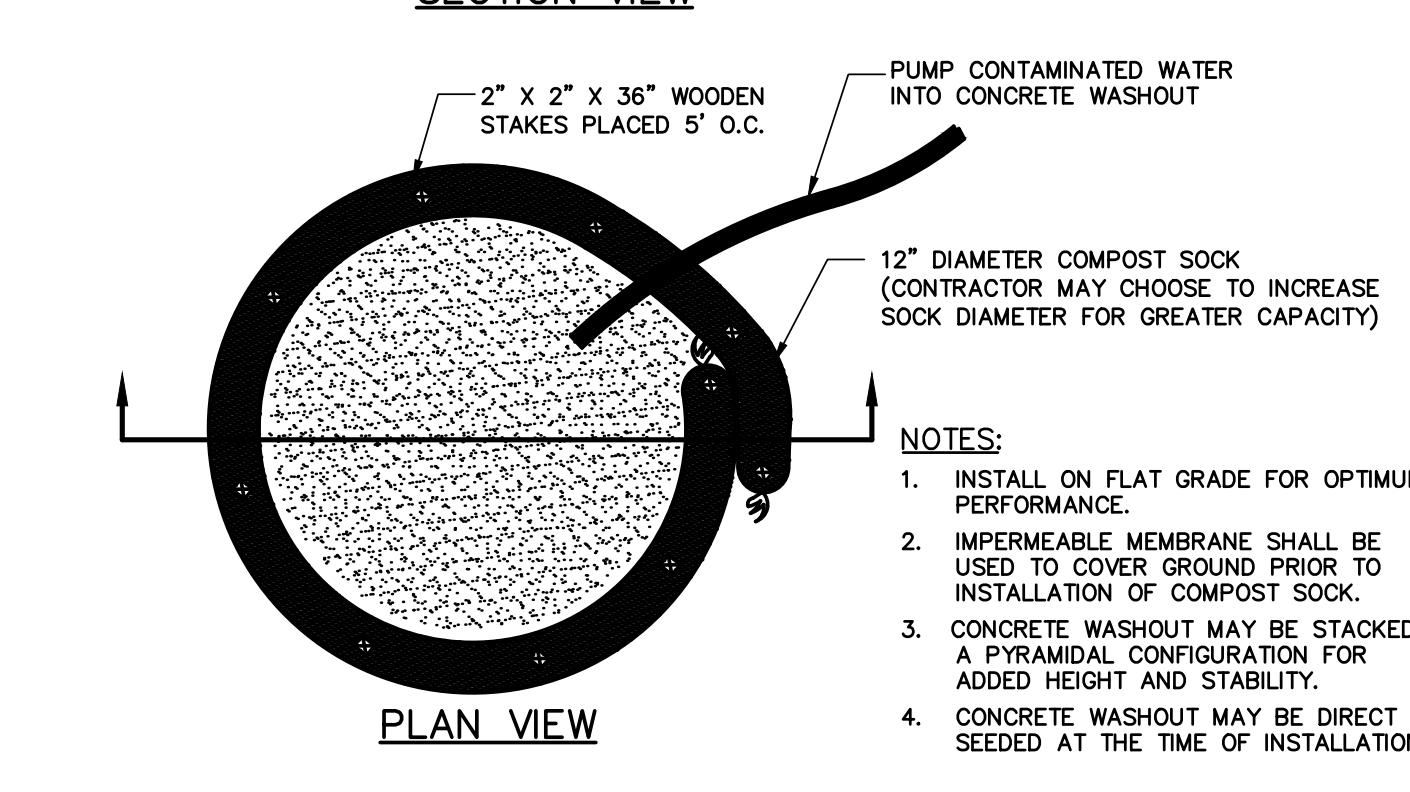
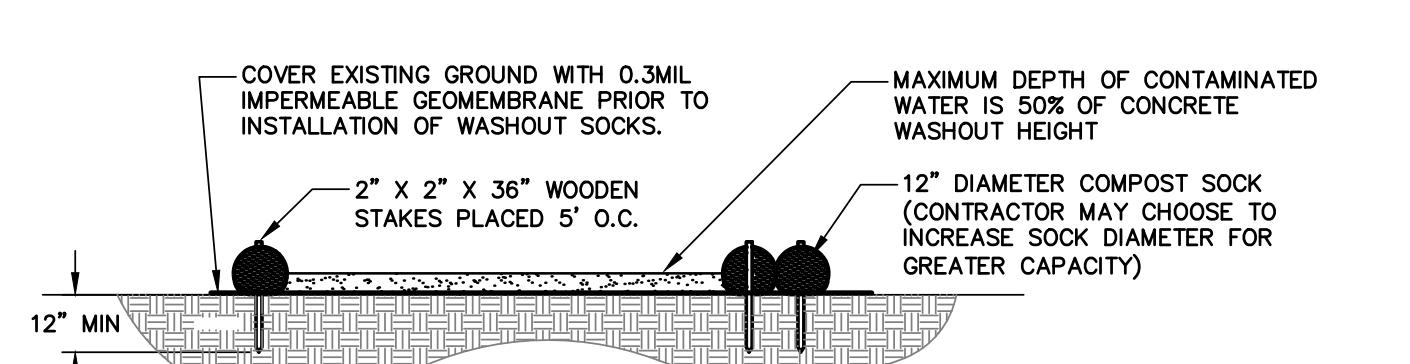
TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 TO 6 INCHES. TOPSOIL 2 INCHES OR FILL CROPS, SPREADERS SHOULD BE DONE IN SUCH A MANNER THAT SEEDS ARE NOT DISRUPTED. A MINIMUM OF 300 TONS PER ACRE MULCH PREPARATION OR TILLAGE IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS UNLESS SUCH DEPRESSIONS ARE PART OF THE PCSM PLAN.

TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETERMINAL TO PROPER GRADING AND SEEDED PREPARATION. COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHEREVER POSSIBLE PRIOR TO SEEDING.

CUBIC YARDS OF TOPSOIL REQUIRED FOR APPLICATION TO VARIOUS DEPTHS:

DEPTH (IN)	PER 1,000' FT	SQUARE FEET	PER ACRE
1	3.1	134	
2	6.2	268	
3	9.3	403	
4	12.4	537	
5	15.5	672	
6	18.6	806	
7	21.7	940	
8	24.8	1,074	

*TOPSOIL SHALL BE REPLACED TO A DEPTH EQUAL TO PREDEVELOPMENT DEPTHS OR A MINIMUM OF 6 INCHES.



NOTES: 1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.

2. IMPERMEABLE MEMBRANE SHALL BE USED TO COVER GROUND PRIOR TO INSTALLATION OF COMPOST SOCK.

3. CONCRETE WASHOUT MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY.

4. CONCRETE WASHOUT MAY BE DIRECT SEADED AT THE TIME OF INSTALLATION.

SEEDING AND PLANTING SPECIFICATIONS:**SITE PREPARATION:**

- IF TOPSOIL HAS BEEN SPREAD AND WEEDS AND OTHER INVASIVE PLANT GROWTH HAS BEEN PERMITTED TO GERMINATE, THEN AREAS SHALL BE TREATED WITH A SYSTEMIC HERBICIDE (GLIDEONE™ - RODEO®) ONE (1) MONTH PRIOR TO THE INSTALLATION OF THE SPECIFIED SEED MIXTURE. AFTER ONE (1) MONTH OF HERBICIDE APPLICATION, AREAS TO BE SEEDED SHALL BE TREATED AGAIN IF PERSISTENT WEEDS RE-GERMINATE.
- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM WASTE AND RECOGNIZABLE AS SUCH THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE). THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE GROUND BY THE COMMERCIAL UNLESS OTHERWISE NOTED.
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FIRST YEAR MAINTENANCE:
SEED MIXTURE SHALL BE INSPECTED FOR INVASIVE WEED SPECIES. IF WEED SPECIES APPEAR IN THE SEEDED AREA SPOT TREAT BY PULLING. ALLOW SEED MIXTURE TO REACH A HEIGHT OF 12-18 INCHES IN HEIGHT, MOW TO A HEIGHT OF APPROXIMATELY SIX (6) INCHES WITH A WEED EATER.

SECOND YEAR MAINTENANCE:
MOW ONCE IN SPRING AS CLOSE TO GROUND AS POSSIBLE. ALLOW PLANTS TO GROW TO FULL HEIGHT.

CONSECUTIVE FOLLOWING YEARS:
MOW EVERY OTHER YEAR AND SPOT TREAT INVASIVE PLANT SPECIES.

NOTES:
* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

SP = SPECIAL PROTECTION

NSP = NON-SPECIAL PROTECTION

NOTES:
1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE.

2. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

3. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

4. MOUNTABLE BERM AS NEEDED WHEN ACCESS SLOPES TOWARD ROAD (6 IN. MIN.)*

5. EARTH FILL

6. GEOTEXTILE FABRIC

7. MOUNTABLE BERM AS NEEDED WHEN ACCESS SLOPES TOWARD ROAD (6 IN. MIN.)*

8. PIPE AND GEOTEXTILE AS NECESSARY

9. EARTH FILL

10. GEOTEXTILE FABRIC

11. MOUNTABLE BERM AS NEEDED WHEN ACCESS SLOPES TOWARD ROAD (6 IN. MIN.)*

12. PIPE AND GEOTEXTILE AS NECESSARY

13. EARTH FILL

14. GEOTEXTILE FABRIC

15. MOUNTABLE BERM AS NEEDED WHEN ACCESS SLOPES TOWARD ROAD (6 IN. MIN.)*

16. PIPE AND GEOTEXTILE AS NECESSARY

17. EARTH FILL

18. GEOTEXTILE FABRIC

19. MOUNTABLE BERM AS NEEDED WHEN ACCESS SLOPES TOWARD ROAD (6 IN. MIN.)*

20. PIPE AND GEOTEXTILE AS NECESSARY

21. EARTH FILL

22. GEOTEXTILE FABRIC

23. MOUNTABLE BERM AS NEEDED WHEN ACCESS SLOPES TOWARD ROAD (6 IN. MIN.)*

24. PIPE AND GEOTEXTILE AS NECESSARY

25. EARTH FILL

FlexStorm Pure™

Inlet Filters

MODEL EX STANDARD WOVEN BAG
BAG SIZE SHALL MATCH INLET SIZE:
• 24" X 45 1/4" OPENING FOR TYPE M AND TYPE C

FlexStorm Pure inlet filters are the preferred choice for permanent inlet protection and stormwater runoff control. Constructed of stainless steel, FlexStorm Pure inlet filters will fit any drainage structure and are available with site-specific filter bags providing various levels of filtration.

Applications

- Gas stations
- Commercial
- Loading ramps
- Industrial
- Gas stations
- Parking lots
- Dock drains
- Maintenance

Features

- Custom stainless steel frames are configured to fit into any drainage structure
- Flow and bypass rates meet specific inlet requirements
- Works below grade with bypass to drain area if bag is full
- Installed and maintained by one worker, without additional equipment



FlexStorm Pure Inlet Filters Specification

Material and Performance

The filter is comprised of a stainless steel frame and a replaceable geotextile filter bag attached to the frame with a stainless steel locking band. The filter bag hangs suspended below the grate that shall allow full bypass flow to the drainage structure. The bag is completely filled with sediment. The standard woven polypropylene "PCP" filter bags are rated for 200 gpm/sqft with a removal efficiency of 92% for filtering a USDA Sandy Loam sediment load. The post-construction PCP filter bags are rated for 137 gpm/sqft and have been third-party tested at 99% TSS removal.

Installation

1. Remove the grate from the inlet.
2. Clean debris from the ledges of the inlet.
3. Place the inlet filter onto the load bearing ledges of the structure.
4. Replace the grate and confirm it is not elevated more than $\frac{1}{8}$ " (3 mm).

Frequency of Inspections

1. Inspection should occur following rain events greater than $\frac{1}{2}$ " (13 mm).
2. Filter inspections should occur a minimum of three times per year, and in snowfall affected regions, inspections prior to and after snowfall season.
3. Industrial application site inspections (loading ramps, wash racks & maintenance facilities) to be scheduled on a recurring basis no less than four times per year or as needed.

Maintenance Guidelines

1. Empty the filter bag manually or by industrial vacuum taking care not to damage the geotextile bag when more than half filled or during scheduled inspection period.
2. Remove compacted silt from sediment bag and flush with medium spray.
3. "PCP" style bags should be pressed or wrung to recover retained oils.
4. Oil skimmer pouches solidify and darken when saturated, indicating time for replacement.
5. Dispose of all oil-contaminated products and recovered oils in accordance with EPA guidelines. Oil skimmer pouches, since a solidifier, will not leach and can be disposed of directly.
6. Inspect and replace bag if torn or punctured.

Filter Bag Replacement

1. Remove the bag by loosening or cutting off clamping band.
2. Take the new correctly sized sediment bag and secure hose clamping band to the frame channel as previously removed.
3. Ensure bag is secure and there is no slack around perimeter.

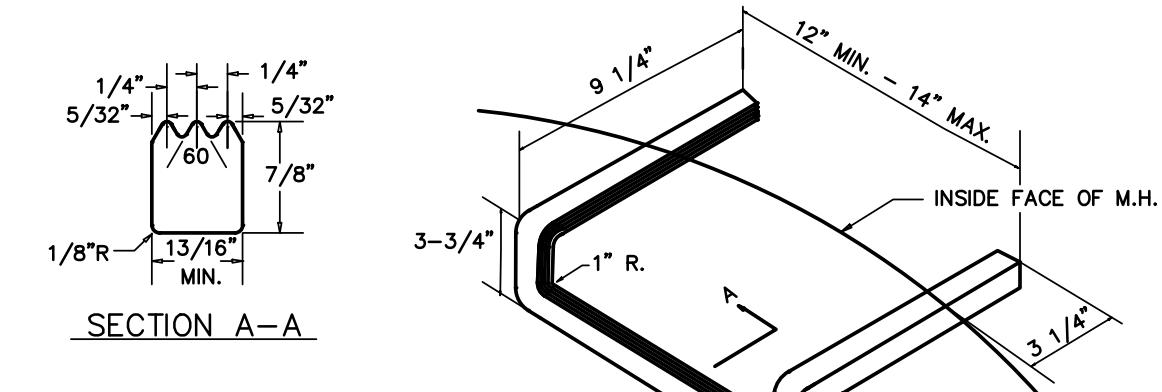
Build America, Buy America (BABA)

For any questions related to Build America, Buy America (BABA) Act compliance contact an ADS representative or email flexstorm@adspipe.com.



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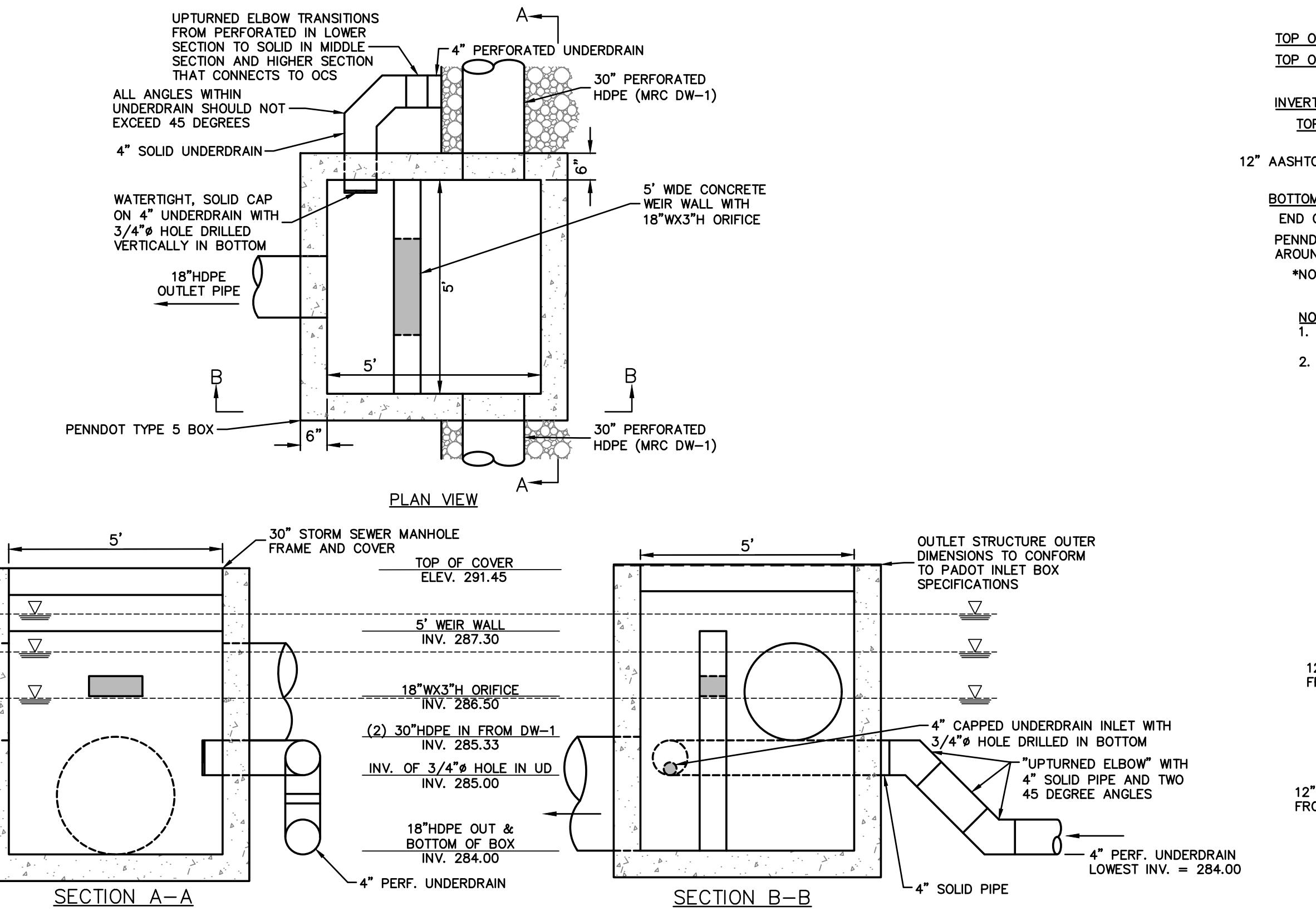
adspipe.com
800-821-6710



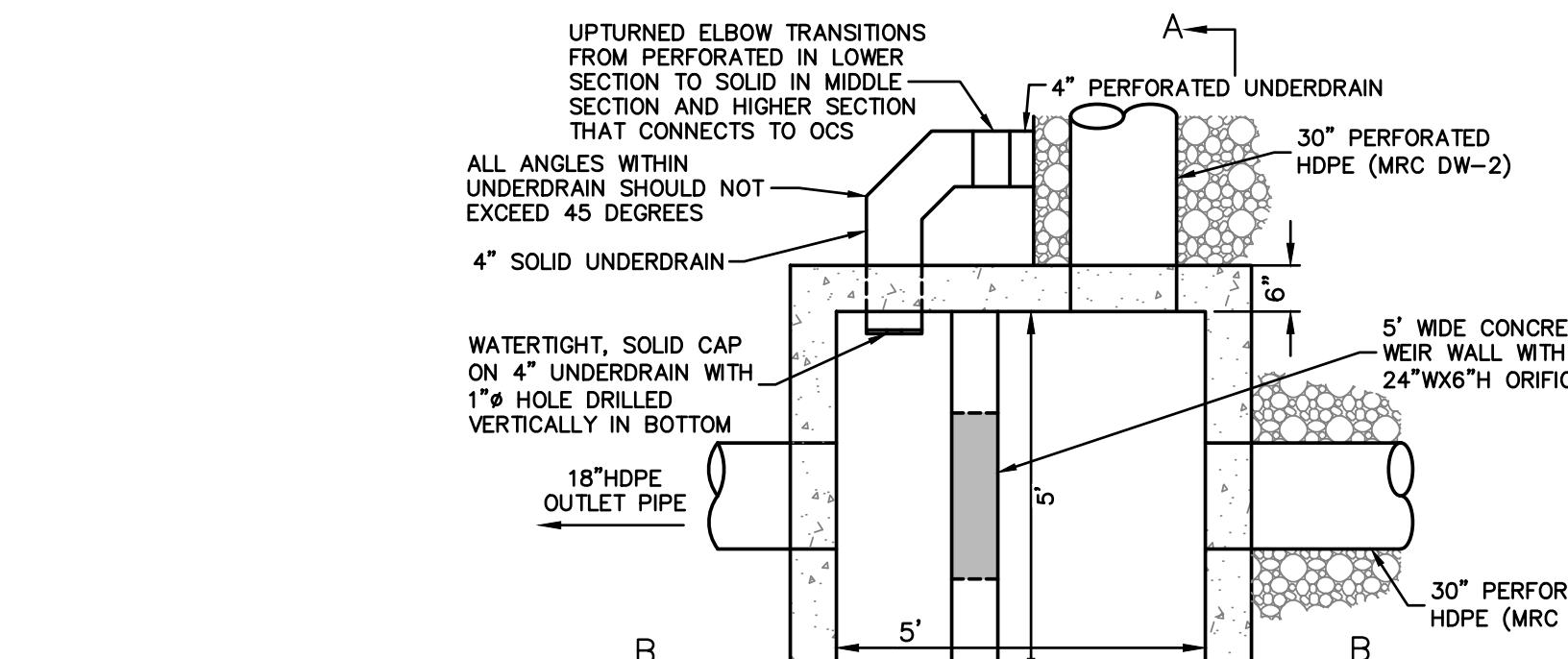
MANHOLE STEP

NOT TO SCALE

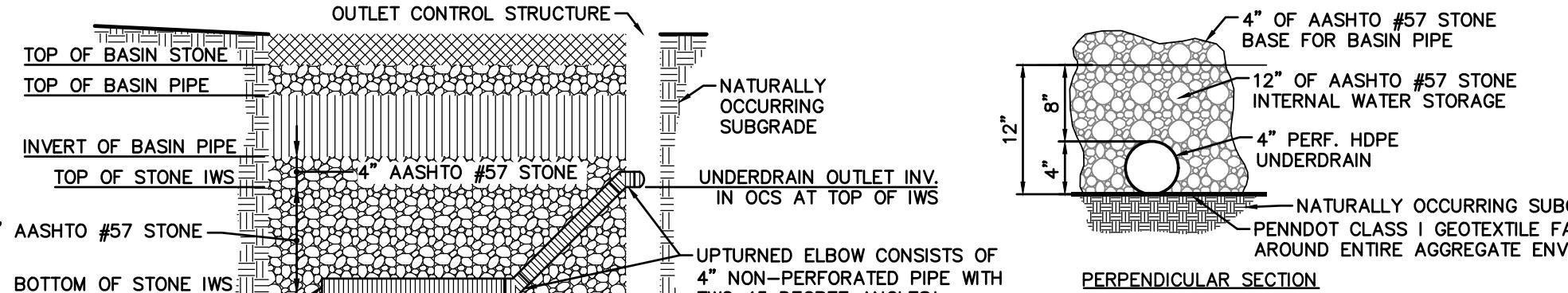
NOTES:
1. STEPS TO BE FABRICATED OF ALUMINUM ALLOY 6061-T6
2. PORTIONS OF STEPS TO BE EMBEDDED IN WALLS OF MANHOLES OR CHAMBERS
TO BE DIPPED IN HEAVY BODIED BITUMINOUS PAINT, OR PROVIDE PLASTIC INSERT



OCS-1 DETAIL (SUBSURFACE MRC SCM 1)
NOT TO SCALE

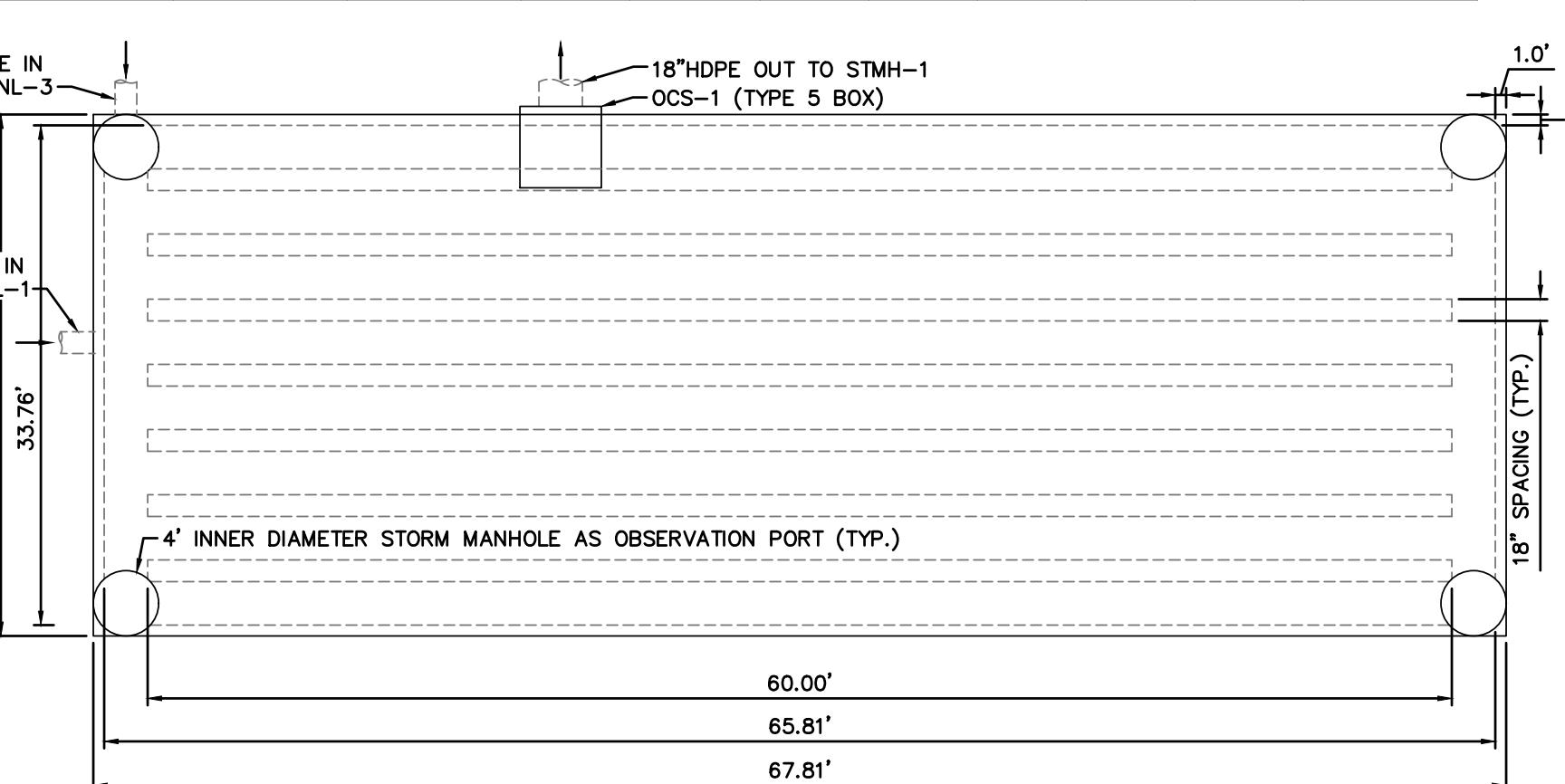


OCS-2 DETAIL (SUBSURFACE MRC SCM 2)
NOT TO SCALE

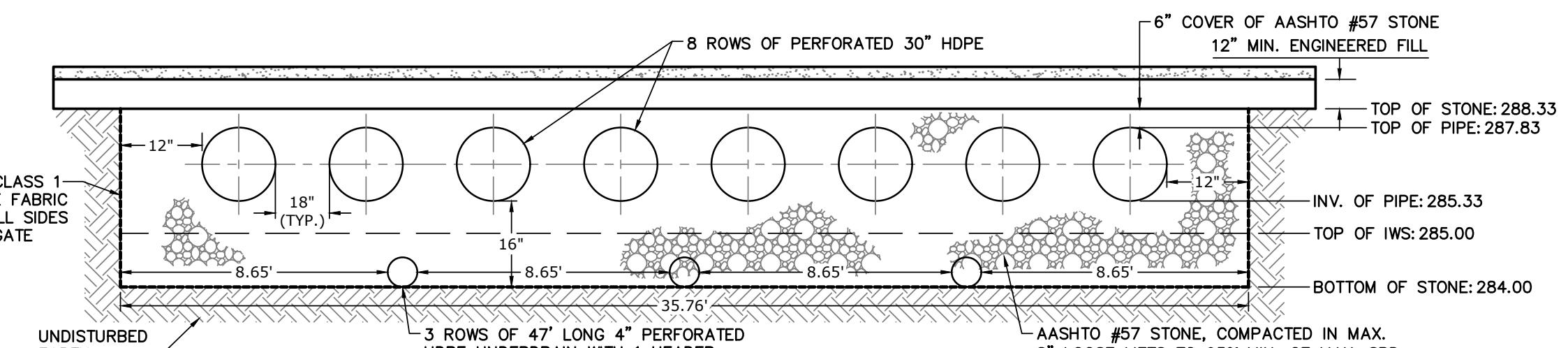


MRC BMP UNDERDRAIN DETAIL
NOT TO SCALE

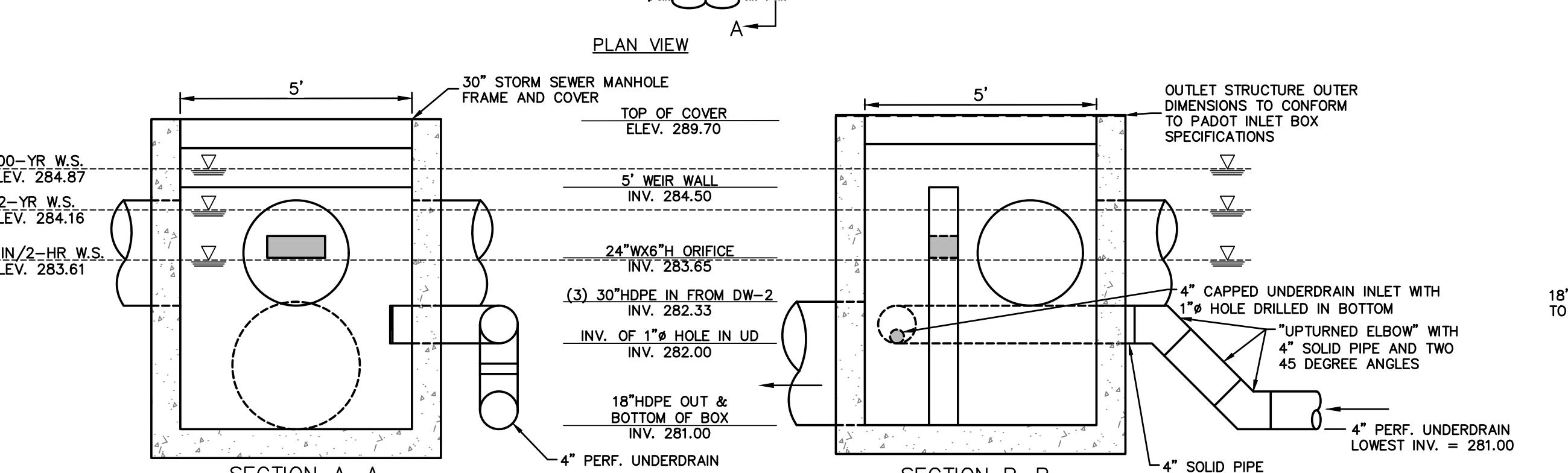
PCSM SCM	BOTTOM OF STONE	UD OUTLET INV. IN OCS (TOP OF IWS)	INV. OF PIPE	PIPE INFO	TOP OF PIPE	TOP OF STONE	1.2-IN STORM WATER ELEV	2-YR STORM WATER ELEV	100-YR STORM WATER ELEV	DESIGN INFILTRATION RATE
MRC SCM 01	284.00	285.00	285.33	30" HDPE	287.83	288.33	286.49	286.99	287.63	0.00 IN/HR
MRC SCM 02	281.00	282.00	282.33	30" HDPE	284.83	285.33	283.61	284.16	284.87	0.00 IN/HR



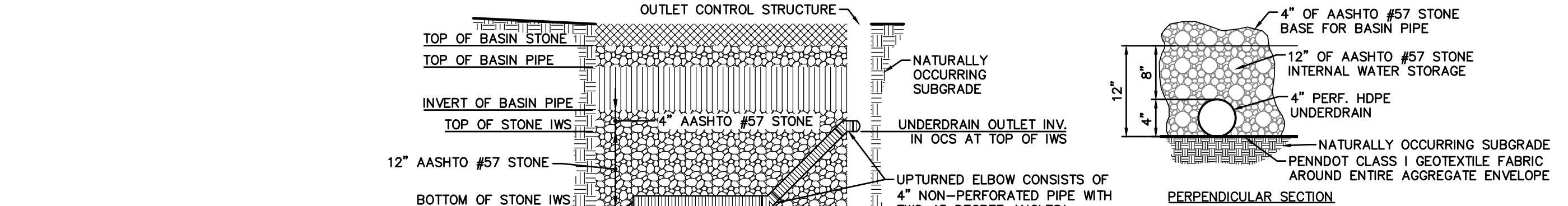
SUBSURFACE MRC SCM 1 PLAN VIEW



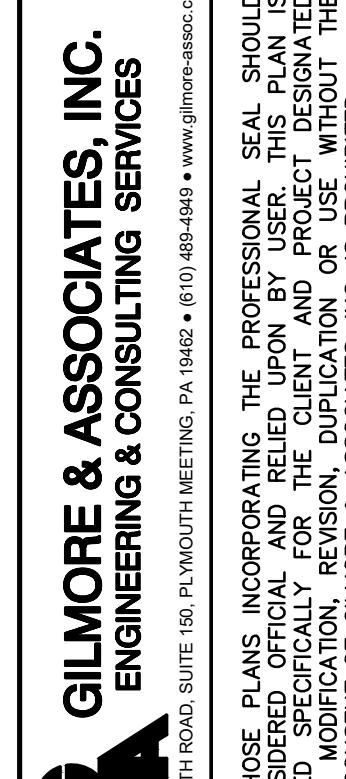
SUBSURFACE MRC SCM 1 SECTION



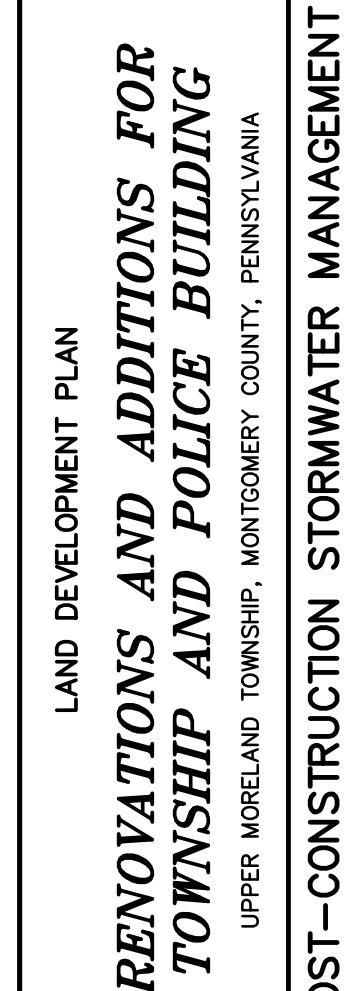
OCS-2 DETAIL (SUBSURFACE MRC SCM 2)
NOT TO SCALE



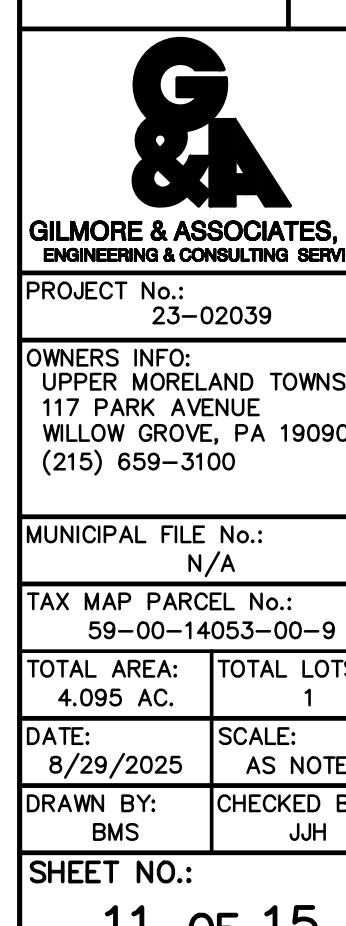
SUBSURFACE MANAGED RELEASE CONCEPT (MRC) SCM DETAILS
NOT TO SCALE



LAND DEVELOPMENT PLAN



RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA



11 OF 15

ONLY THOSE PLANS INCORPORATING THE PROFESSIONAL SEAL SHOULD BE CONSIDERED OFFICIAL AND RELIED UPON BY THE USER. THIS PLAN IS PREPARED FOR THE USE OF THE PROFESSIONAL ENGINEER AND IS NOT TO BE CONSIDERED OFFICIAL UNTIL APPROVED BY THE PROFESSIONAL ENGINEER. THE PROFESSIONAL ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THIS PLAN FOR THE INTENDED USE.

NPDES PCSM NOTES:

WRITTEN DESCRIPTION OF PCSM SCMS §102.8(F)(6)

THE PADEP CHAPTER 102 REGULATIONS WHICH BECAME EFFECTIVE NOVEMBER 19, 2010, REQUIRE THAT THE PCSM AND PCSM NOTES BE PRESENTED TO THE DISTRICT TO OBSERVE, INSPECT, AND SIGN-OFF ON THE CRITICAL STAGES OF THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN (PCSM) IMPLEMENTATION AND FACILITY INSTALLATION. THE LICENSED PROFESSIONAL OR DESIGNER SHALL BE PRESENT ON-SITE FOR THE FOLLOWING CRITICAL STAGES OF THE PCSM PLAN IMPLEMENTATION:

- SCM 6.6.4 WATER QUALITY FILTERS
- SUBSURFACE MANAGED RELEASE CONCEPT (MRC) SCMS

WATER QUALITY FILTERS-DESCRIPTION AND SEQUENCE OF INSTALLATION

A BROAD SPECTRUM OF SCMS HAVE BEEN DESIGNED TO REMOVE NON POINT SOURCE POLLUTANTS FROM RUNOFF AS A PART OF THE RUNOFF CONVEYANCE SYSTEM. THESE STRUCTURAL SCMS VARY IN SIZE AND FUNCTION, BUT ALL UTILIZE SOME FORM OF SETTLING AND FILTERING TO REMOVE PARTICULATE POLLUTANTS. SITES MAY REQUIRE A DIFFICULT TASK TO DETERMINE CONCENTRATION AND FLOW RATES EXPERIENCED. REGULAR MAINTENANCE IS CRITICAL FOR THIS SCM. MANY WATER QUALITY FILTERS, CATCH BASIN INSERTS AND HYDRODYNAMIC DEVICES ARE COMMERCIALLY AVAILABLE. THEY ARE GENERALLY CONFIGURED TO REMOVE PARTICULATE CONTAMINANTS, INCLUDING COARSE SEDIMENT, OIL AND GREASE, LITTER, AND DEBRIS.

1. IDENTIFY ALL CONTRIBUTING AREAS BEFORE INSTALLING AND CONNECTING PIPES TO THESE INLETS.
2. FOLLOW MANUFACTURER'S GUIDELINES FOR INSTALLATION. DO NOT USE WATER QUALITY REMOVAL CONSTRUCTION UNLESS PRODUCT IS DESIGNED PRIMARILY FOR SEDIMENT REMOVAL.
3. REMOVE THE GRATE FROM THE INLET.
4. CLEAN DEBRIS FROM THE LEDGES OF THE INLET.
5. PLACE THE FILTER ONTO THE LOAD BEARING LEDGES OF THE STRUCTURE.
6. REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8".

SUBSURFACE SCM-DESCRIPTION AND SEQUENCE OF INSTALLATION

MANAGED RELEASE CONCEPT (MRC) IS A POST-CONSTRUCTION STORMWATER MANAGEMENT (SCM) STRATEGY THAT CONSISTS OF THE CONSTRUCTION AND PLACEMENT OF A SUBSURFACE RUFF FROM THE CONTRIBUTING DRAINAGE AREA THROUGH A STORMWATER CONTROL MEASURE (SCM) THAT IS PREFERABLY VEGETATED AND INCLUDES THE CONTROLLED RELEASE OF THE RUNOFF THROUGH AN UNDERDRAIN WITHIN THE SCM. MRC IS INTENDED TO BE USED FOR PROJECT AREAS OR SUBAREAS WHERE INFILTRATION IS CONSIDERED INEFFECTIVE TO MEET REGULATORY REQUIREMENTS UNDER §102.8(F)(2) OR OTHERWISE UNDESIRABLE.

1. INSTALL THE MRC SCM DURING FINAL PHASES OF SITE CONSTRUCTION, FOLLOWING PERIMETER STABILIZATION OF THE SCM'S DRAINAGE AREA, TO PREVENT SEDIMENTATION AND/OF DAMAGE FROM CONSTRUCTION ACTIVITIES. DURING INSTALLATION, PREVENT SEDIMENT-LADEN WATER FROM ENTERING THE FACILITY.
2. INSTALL AND MAINTAIN PROPER E&S BMPS DURING CONSTRUCTION.
3. UNLESS A LINER WILL BE INSTALLED, THE MRC SCM BOTTOM/SUBGRADE SHOULD BE UNCOMPACTED AND FREE FROM ROCKS AND DEBRIS. IF THE SCM SERVED AS A TEMPORARY E&S BMP, REMOVE ALL DEPOSITED SEDIMENTS AND DEBRIS.
4. INSTALL A LINER, WHICH SHOULD BE A THICK, DENSE, DURABLE, AND PREDICTABLE PIPE BEDDING, UNDERDRAIN PIPING WITH AGGREGATE ENVELOPE, CLEAUNOTS, ORGANIC MULCH, ETC.
5. PLACE SOIL MEDIA GENTLY. DO NOT COMPACT SOIL MEDIA OR THE BASIN BOTTOM. THE PLACEMENT OF SOIL MEDIA SHOULD BE DONE FROM OUTSIDE THE SCM FOOTPRINT TO AVOID COMPACTION BY CONSTRUCTION EQUIPMENT. EQUIPMENT SHOULD NEVER DRIVE OVER PLACED SOIL MEDIA.
6. VEGETATE THE SCM WITH NATIVE PLANTINGS AND SEED MIXES, AS APPLICABLE.
7. MAINTAIN INLET PROTECTION AND OTHER E&S CONTROLS UNTIL THE SITE IS FULLY STABILIZED.

SEQUENCE OF CONSTRUCTION §102.8(F)(7)

- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARED, THE PCSM PLAN PREPARED, AND A REPRESENTATIVE FROM THE COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- UPON INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPs AND AT LEAST 14 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTER OR CO-PERMITTER SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM, INC., SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE COUNTY CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. EARTH DISTURBANCE ACTIVITIES MUST BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.
- EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE CAN BEGIN WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.
- ALL EROSION CONTROL DEVICES SHALL BE CHECKED WEEKLY AND AFTER EACH RAIN EVENT. ALL EROSION AND SEDIMENTATION WORK INCLUDING REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RETENETING SHALL BE PERFORMED IMMEDIATELY.
- NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA SHALL REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS.
- THE CESSION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
- SHOULD UNPREDICTED EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF RUNOFF OR SEDIMENT DISPLACEMENT. SPECIAL ATTENTION SHALL BE GIVEN TO FROZEN SLOPES, STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE, AND/OR OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.

CONSTRUCTION SEQUENCES:

1. FIELD-MARK LIMITS OF DISTURBANCE USING SURVEY STAKES AND/OR CONSTRUCTION FENCE AS APPROPRIATE
2. INSTALL PERIMETER SEDIMENT BARRIERS AS INDICATED ON PLANS
3. 2.1. ROCK CONSTRUCTION ENTRANCE
- 3.2. INLET/OUTLET SICKLE SEDIMENT TRAP
- 3.3. COMPACT FILTER SOCKS
- 3.4. SITE DEMOLITION
- 3.5. DEMOLISH AND DISPOSE OF EXISTING STRUCTURES AS INDICATED ON PLANS
- 3.6. DEMOLISH AND DISPOSE OF EXISTING CURB AND PAVEMENT AS INDICATED ON PLANS
- 3.7. DEMOLISH AND DISPOSE OF EXISTING STORM SEWER STRUCTURES AND PIPE AS INDICATED ON PLANS
4. SITE EARTHWORK
- 4.1. CLEAR AND GRUB AREAS INDICATED ON PLANS
- 4.2. GRADE SITE WITH INCREMENTAL STABILIZATION AS NEEDED SO THAT FINAL GRADES WILL MEET THOSE INDICATED ON THE PLANS
- 4.3. CONSTRUCT FOUNDATIONS
- 4.3.1. CONSTRUCT BASEMENTS AND FOUNDATIONS
- 4.3.2. INSTALL FOUNDATION DRAIN AND STUB FOR FUTURE CONTINUATION THROUGH SITE
- 4.3.3. CONSTRUCT SUPERSTRUCTURE OF NEW ADDITIONS. SITEWORK MAY CONTINUE WHILE THE SUPERSTRUCTURES ARE BEING CONSTRUCTED.
- 4.4. INSTALL UNDERDRAIN SYSTEM INCLUDING WATER, SANITARY SEWER, GAS, AND ELECTRIC AS INDICATED ON PLANS
- 4.4.1. CARE SHOULD BE TAKEN TO AVOID CONFLICTS AT UTILITY CROSSINGS, ESPECIALLY WITH GRAVITY LINES SUCH AS SANITARY AND STORM SEWER
- 4.5. CRITICAL STAGE: CONSTRUCT SUBSURFACE MANAGED RELEASE CONCEPT BASINS 1 AND 2
- 4.5.1. CARE SHOULD BE TAKEN TO NOT OVER-EXCAVATE OR COMPACT THE SOIL BELOW THE BASIN TO THE MAXIMUM EXTENT POSSIBLE
- 4.5.2. THE BASIN BOTTOM SHOULD BE FREE FROM ROCKS AND DEBRIS
- 4.5.3. INSTALL OUTLET CONTROL STRUCTURE
- 4.5.4. INSTALL GEOTEXTILE FABRIC, BASE STONE AND UNDERDRAIN SYSTEM WITH UPSTREAM FILTER CAP
- 4.5.5. CONNECT UPTURNED ELBOW IN UNDERDRAIN TO OUTLET CONTROL STRUCTURE AND INSTALL END CAP WITH DRILLED ORIFICE
- 4.5.6. INSTALL STORAGE PIPES AND STONE AND INFLOW PIPE CONNECTIONS
- 4.5.7. AFTER INSTALLATION, PREVENT SEDIMENT-LADEN WATER FROM ENTERING THE FACILITY
- 4.6. INSTALL NEW STORM SEWER STRUCTURES (INLETS, MANHOLES, AND OUTLET CONTROL STRUCTURES) AND PIPE AND CONNECT TO SUBSURFACE MANAGED RELEASE CONCEPT BASINS AS INDICATED ON PLANS
- 4.6.1. AS EACH STORM SEWER STRUCTURE IS CONSTRUCTED, INSTALL INLET PROTECTION AND ENSURE THAT SURROUNDING AREA IS LOWER IN ELEVATION THAN THE TOP OF GRATE SO THAT SURROUNDING AREA IS NOT OVER-FLOODED. INLET PROTECTION AND CONTINUOUS COMPOST SICKLE SEDIMENT TRAP. STORMWATER RUNOFF SHOULD NOT ENTER THE NEW STORM SEWER SYSTEM DURING THIS POINT OF CONSTRUCTION.
- 4.6.2. INLET PROTECTION SHALL REMAIN UNTIL THE TRIBUTARY AREAS TO THE BASINS ARE PERMANENTLY STABILIZED.
- 4.7. FINAL GRADE PAVEMENT AREAS AND INSTALL CURBS AND STONE BASE COURSES
- 4.7.1. ONCE THE STONE BASE COURSE IS INSTALLED, THE ROCK CONSTRUCTION ENTRANCE MAY BE REMOVED
5. PERMANENT STABILIZATION
- 5.1. REPLACE TOPSOIL (4-6 INCHES) AND COMPLETE FINAL GRADING AS NEEDED
- 5.2. PERMANENT SEEDING
- 5.2.1. INSTALL TREES, SHRUBS, AND SEED APPLICATION
- 5.2.2. MULCH AND/OR BLANKETING AS INDICATED ON PLANS AND AS NEEDED BY INSPECTOR
6. CRITICAL STAGE: INSTALL WATER QUALITY FILTERS IN INLETS AS INDICATED ON PLANS
7. APPLY PAVEMENT TO AREAS INDICATED ON PLANS
8. APPLY PAVEMENT STRIPING
- 9.1. THE PCSM CONSTRUCTION CONTRACT IS TO BE CONTACTED PRIOR TO REMOVAL OF PRIMARY E&S BMPs, INCLUDING COMPACT FILTER SOCKS. THE DISTRICT MAY REQUEST A SITE INSPECTION PRIOR TO THE CONVERSION OR REMOVAL OF SUCH FACILITIES.

Land Development Plan

10/10/2025

at 3:00pm

Drawings: 230309_DEI.dwg Layout: PCSM 2 Plotted By: bms Date: Fri Oct 10, 2025 at 3:00pm

NPDES PCSM NOTES:

WRITTEN DESCRIPTION OF PCSM SCMS §102.8(F)(6)

THE PADEP CHAPTER 102 REGULATIONS WHICH BECAME EFFECTIVE NOVEMBER 19, 2010, REQUIRE THAT THE PCSM AND PCSM NOTES BE PRESENTED TO THE DISTRICT TO OBSERVE, INSPECT, AND SIGN-OFF ON THE CRITICAL STAGES OF THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN (PCSM) IMPLEMENTATION AND FACILITY INSTALLATION. THE LICENSED PROFESSIONAL OR DESIGNER SHALL BE PRESENT ON-SITE FOR THE FOLLOWING CRITICAL STAGES OF THE PCSM PLAN IMPLEMENTATION:

- SCM 6.6.4 WATER QUALITY FILTERS
- SUBSURFACE MANAGED RELEASE CONCEPT (MRC) SCMS

WATER QUALITY FILTERS-DESCRIPTION AND SEQUENCE OF INSTALLATION

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3. REMOVE THE GRATE FROM THE INLET.
4. CLEAN DEBRIS FROM THE LEDGES OF THE INLET.
5. PLACE THE FILTER ONTO THE LOAD BEARING LEDGES OF THE STRUCTURE.
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8. APPLY PAVEMENT STRIPING
- 9.1. THE PCSM CONSTRUCTION CONTRACT IS TO BE CONTACTED PRIOR TO REMOVAL OF PRIMARY E&S BMPs, INCLUDING COMPACT FILTER SOCKS. THE DISTRICT MAY REQUEST A SITE INSPECTION PRIOR TO THE CONVERSION OR REMOVAL OF SUCH FACILITIES.

9.2. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED (70% UNIFORM STABILIZATION OF DISTURBED SOIL ON-SITE WILL BE COVERED WITH VEGETATION), TEMPORARY EROSION CONTROLS INCLUDING COMPOST FILTER SOCKS MUST BE REMOVED. SHOULD ANY AREAS BECOME DISTURBED DURING REMOVAL OF THE CONTROLS, THEY MUST BE IMMEDIATELY STABILIZED.

10. MAINTENANCE OF SEADED OR SODDED AREAS TO BE SUCH THAT AREAS WHICH WASH OUT OR ERODE ARE REPLACED OR REPAVED UNTIL SOIL IS ESTABLISHED. 70% OF EACH SQUARE YARD OF DISTURBED SOIL SURFACE SHALL BE COVERED EVENLY WITH VEGETATION.

11. SUBMIT THE NOTICE OF TERMINATION (NOT) ALONG WITH SIGNED RECORD DOCUMENTS AS REQUIRED TO CLOSE THE NPDES PERMIT.

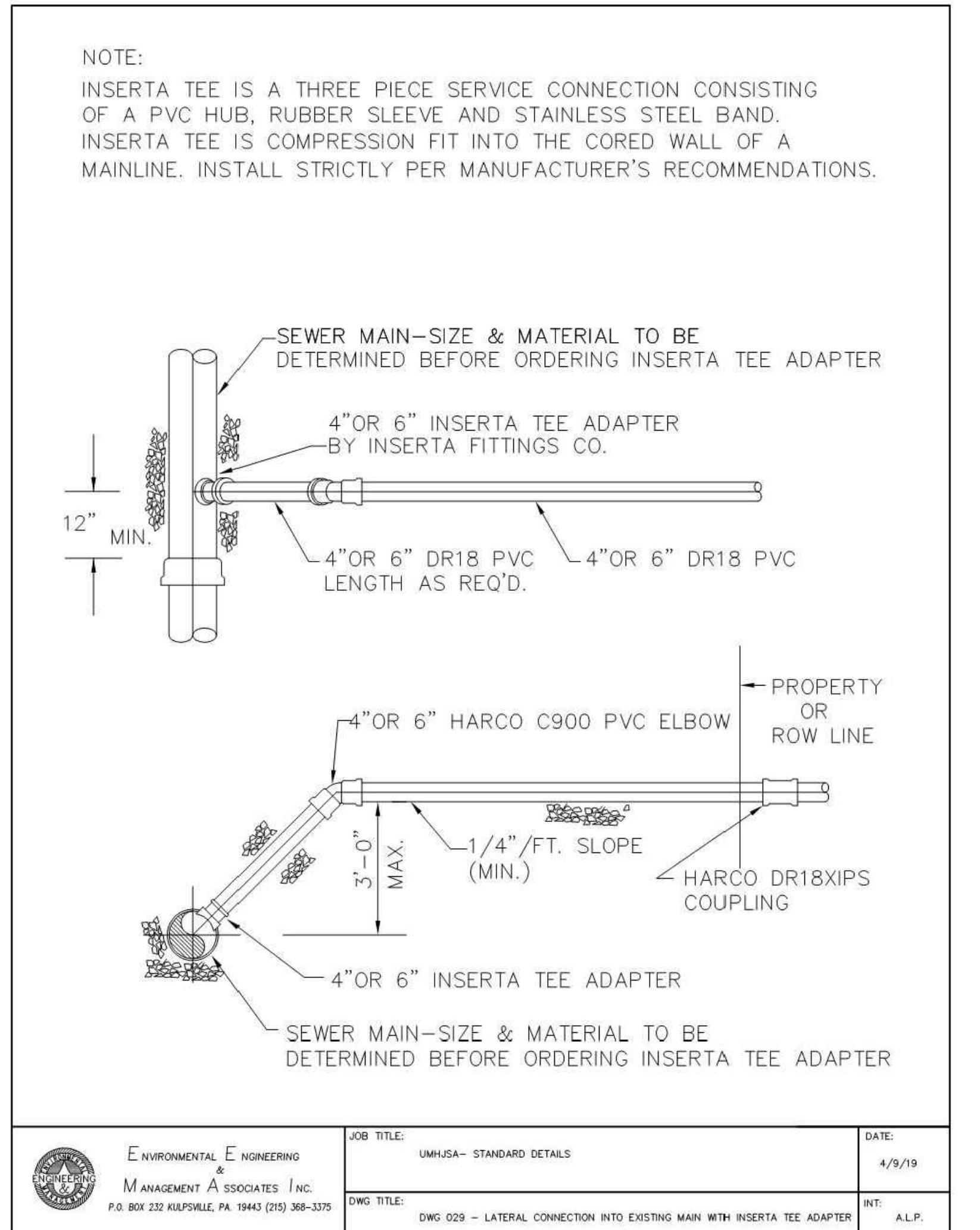
RECYCLING OR DISPOSAL OF MATERIALS §102.8(F)(11)

1. THE FOLLOWING IS A LIST THAT INCLUDES, BUT IS NOT LIMITED TO, POTENTIAL MATERIALS THAT ARE ANTICIPATED TO BE PCSM WASTES:

- TRASH / DEBRIS
- VEGETATION / SEDIMENT
- OIL, GAS, HYDROCARBONS, AND HEAVY METALS FROM PAVEMENT RUNOFF
- 2. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL WASTE MATERIALS IN ACCORDANCE WITH ANY AND ALL APPLICABLE MUNICIPAL OR OTHER GOVERNMENTAL AGENCY CURRENT REGULATIONS AND THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AND 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE OPERATOR SHALL NOT BURN, BURY, DUMP, OR DISCHARGE ANY WASTE MATERIALS (USED OR UNUSED) AT THE SITE.
- 3. TRASH / DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE ON THE SITE, AND MUST BE DISPOSED OF AS DESCRIBED ABOVE.
- 4. VEGETATION / SEDIMENT REMOVED FROM SCMS AS A PART OF REGULAR MAINTENANCE SHALL BE DISPOSED IN AN ACCEPTABLE UPSLOPE LOCATIONS ON THE SITE.
- 5. OIL, GAS, HYDROCARBONS AND HEAVY METALS FROM PAVEMENT RUNOFF MUST BE DISPOSED OF IN ACCORDANCE WITH ANY AND ALL APPLICABLE MUNICIPAL OR OTHER GOVERNMENTAL AGENCY CURRENT REGULATIONS AND THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS.

EOLOGIC FORMATIONS OR SOIL CONDITIONS §102.8(F)(12)

THERE ARE NO NATURALLY OCCURRING ECOLOGIC FORMATIONS OR SOIL CONDITIONS THAT MAY HAVE THE POTENTIAL TO CAUSE POLLUTION AFTER EARTH DISTURBANCE ACTIVITIES ARE COMPLETED AND PCSM SCMS ARE OPERATIONAL.



	JOB TITLE: UMHSA - STANDARD DETAILS	DATE: 4/9/19
DWG TITLE: DWG 029 - LATERAL CONNECTION INTO EXISTING MAIN WTH INSERTA TEE ADAPTER	INT: A.L.P.	

CB SEWER SADDLE SEWER SADDLE

SUBMITTAL INFORMATION

* Patent #4494780

MAY BE USED IN LIEU
OF INSERTA TEE AT
CONTRACTOR'S
DISCRETION.



MATERIALS

CASTING

The saddle body is cast from ductile (nodular) iron, Type 304 (18-8) Stainless Steel, compounded for water and sewer service in accordance with ASTM D 2000 MBA 710.

GASKET

Gasket is made from virgin Styrene Butadiene Rubber (SBR) compounded for water and sewer service in accordance with ASTM D 2000 MBA 710.

PIPE STOP

A pipe stop is molded into the inside wall of the gasket. This pipe stop can hold up to 1000 lbs of force along the branch.

STRAP

Type 304 (18-8) Stainless Steel, 3 1/2 inches wide to spread out clamping forces on the pipe. M.I.G. and T.I.G. welds. Passivated for corrosion resistance.

COATINGS

Shop coat applied to cast parts for corrosion protection in transit. Fusion bonded epoxy, liquid epoxy and other coatings available on request.

WASHERS

Acetyl and stainless steel washers are used to reduce friction.

PRESSURE

Designed for sewer service, the Style CB saddle will hold a 7 psi air test when properly installed on a pipe within the correct outside diameter range.

DEFLECTION

When the CB saddle is installed properly the branch can accommodate up to 3 degrees of deflection.

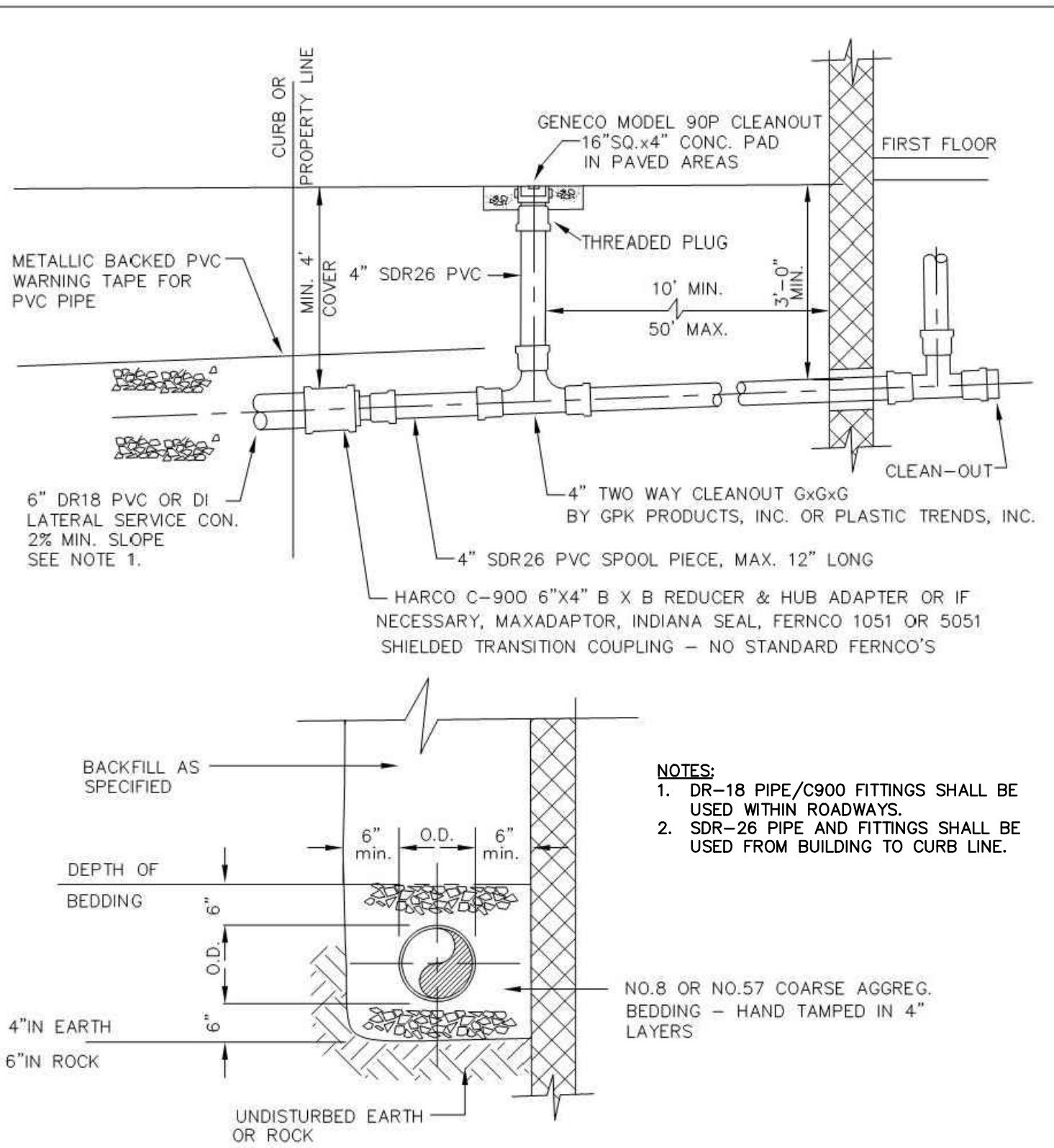
SIZES

See catalog.

This information is based on the best data available at the date printed above. Please check with Romac for any updates or changes.



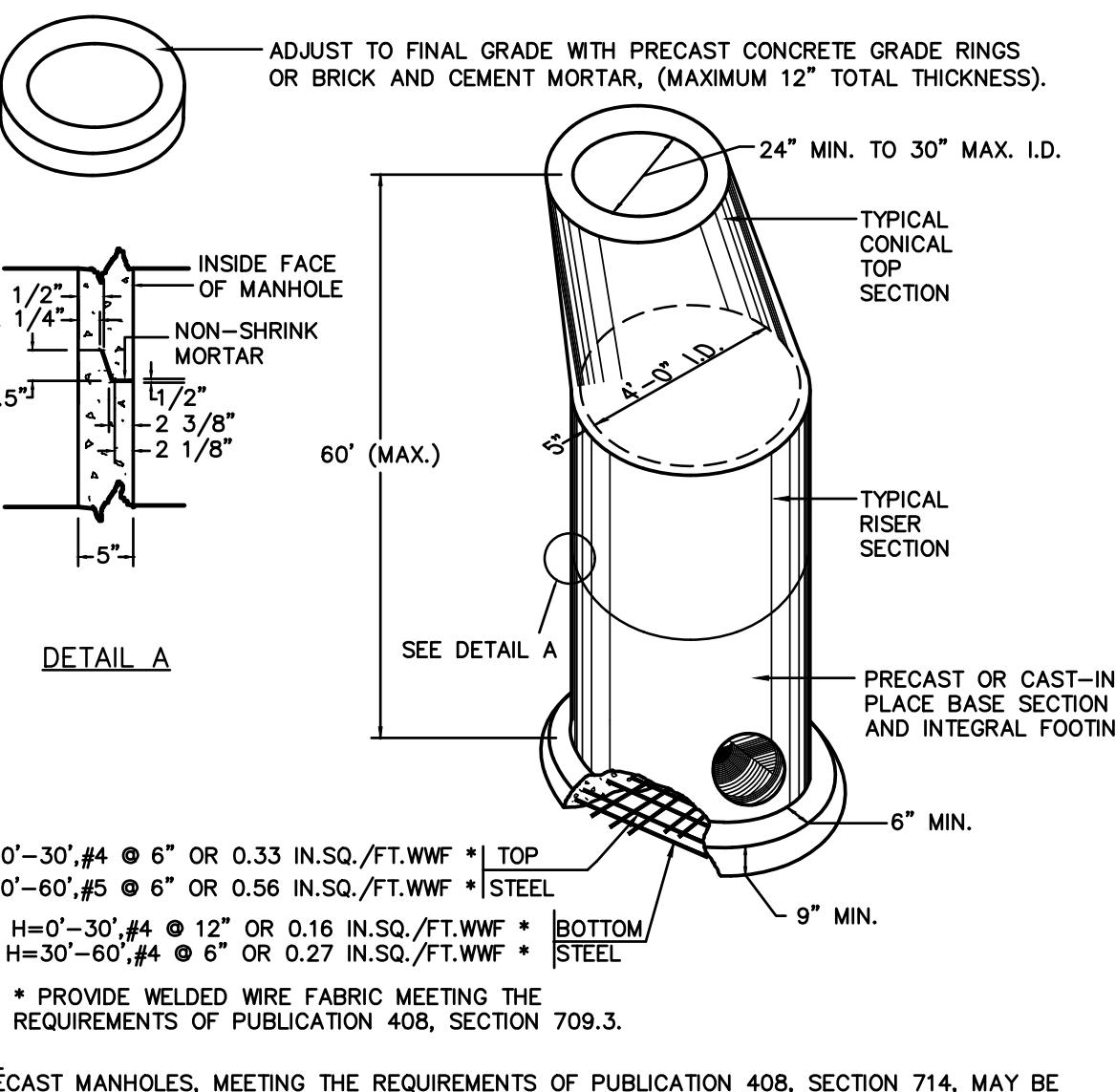
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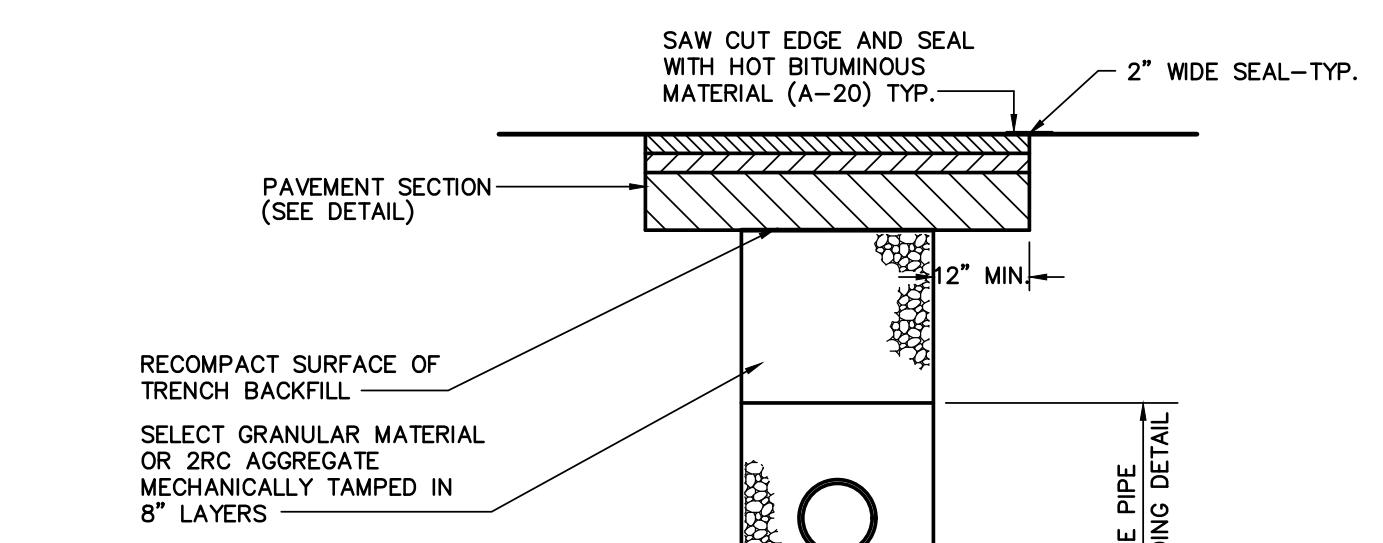
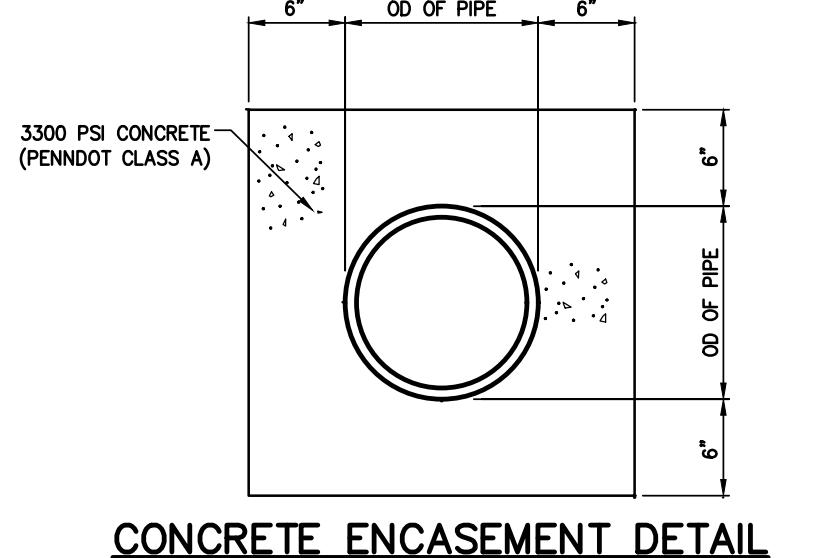
NOTES:
1. ALL BUILDING SEWER TO BE TESTED PER APPLICABLE CODE
2. CLEAN-OUT REQUIRED ONE PER 50 FEET OF PIPE AND AT EVERY BEND
3. CLEANOUT IN NON-PAVED AREAS SHALL BE EAST JORDAN #1574, NEENAH FOUNDRY R-1975-A2, OR APPROVED EQUAL. CLEANOUT CAP PROTECTION CASTING SHALL HAVE A MIN. OF 2-INCH OF SEPARATION BETWEEN CLEANOUT THREADED PLUG AND CASTING.

BUILDING SEWER CONNECTION (SINGLE CLEAN-OUT, NO TRAP)

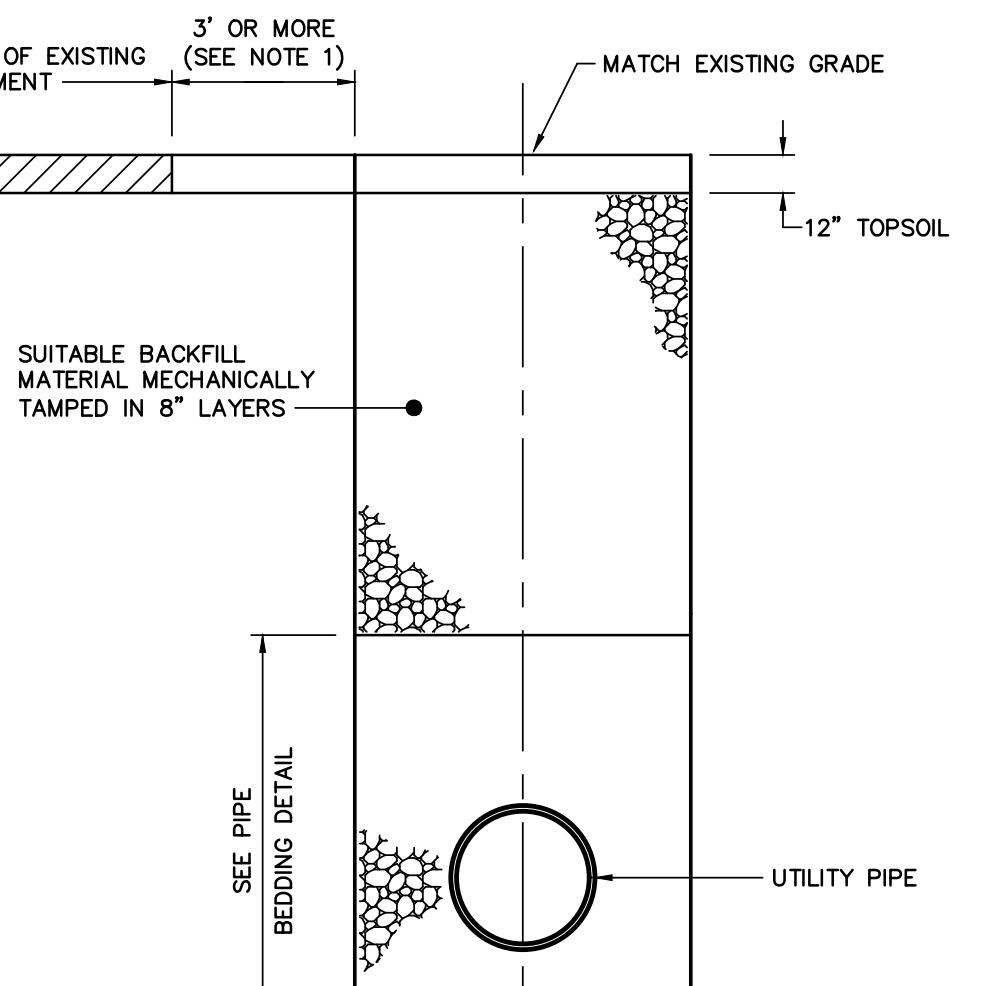
REV.	DESCRIPTION	DATE	BY
			DBS-01



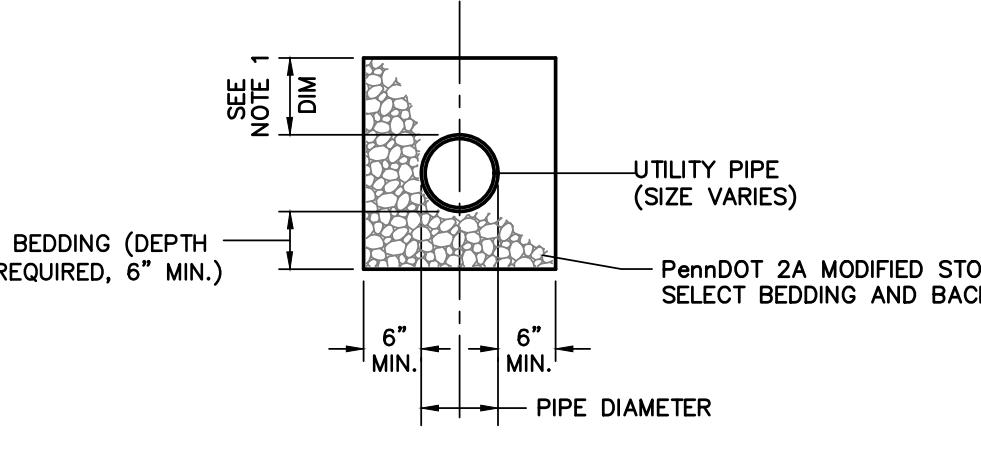
TYPICAL MANHOLE DETAIL
NOT TO SCALE



UTILITY TRENCH RESTORATION IN PAVED AREAS
NOT TO SCALE



NOTES:
1. TRENCH OPENINGS LESS THAN 3' FROM THE EDGE OF AN EXISTING PAVED SURFACE SHALL BE BACKFILLED WITH A 2A COARSE AGGREGATE MECHANICALLY TAMPED IN 8" LAYERS.
UTILITY TRENCH RESTORATION IN UNPAVED AREAS
NOT TO SCALE

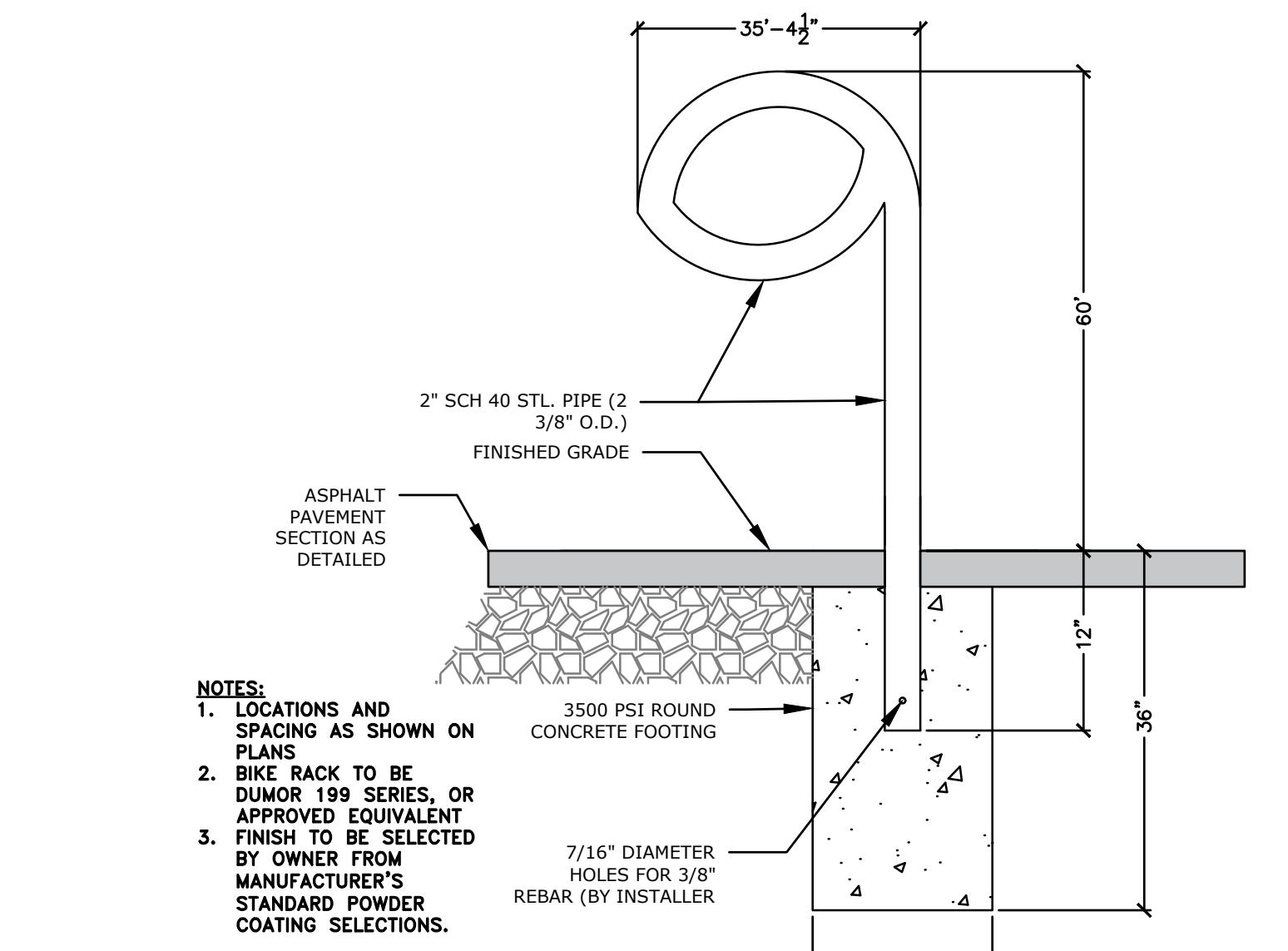
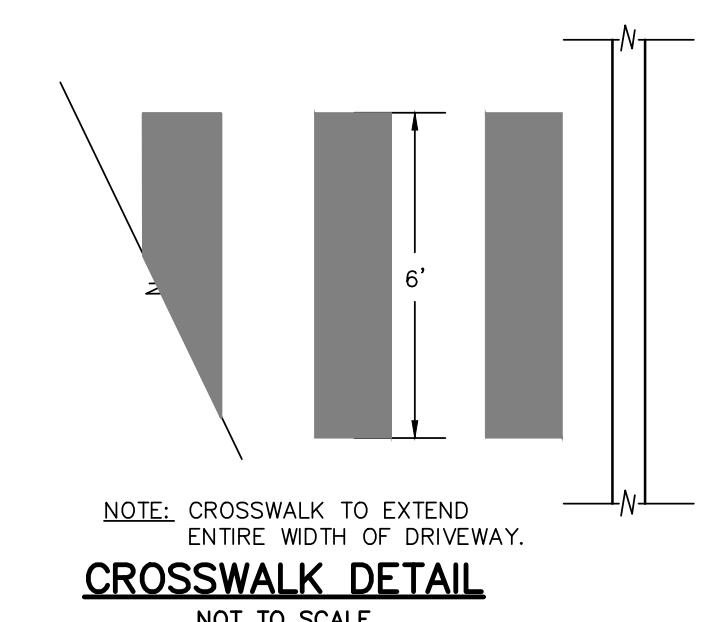
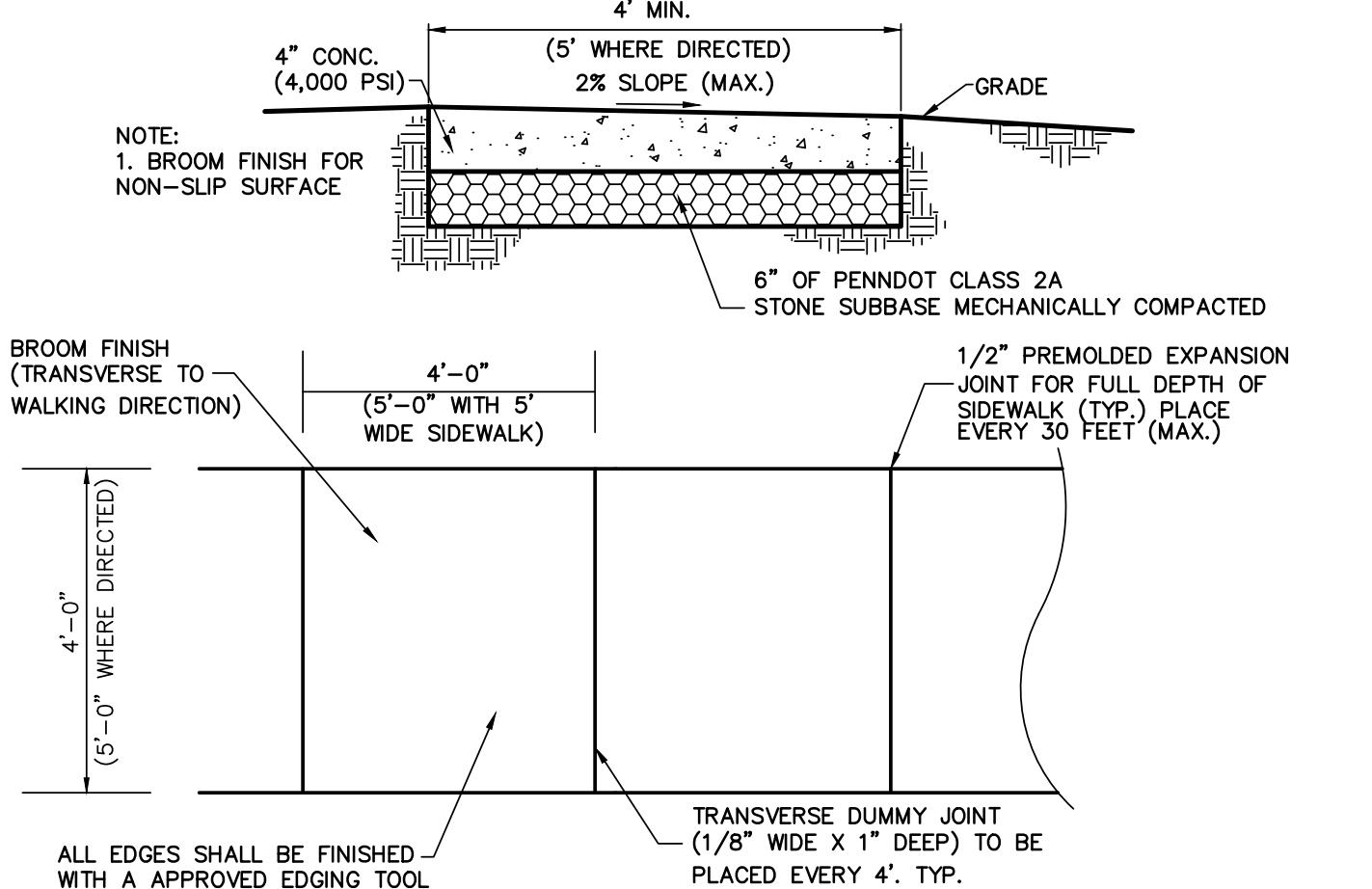
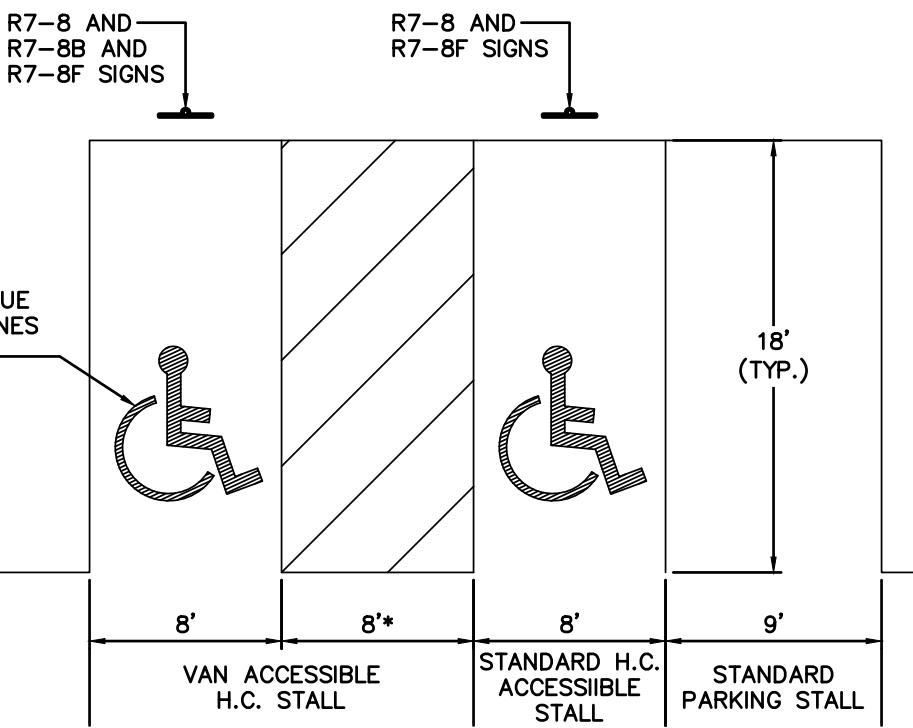
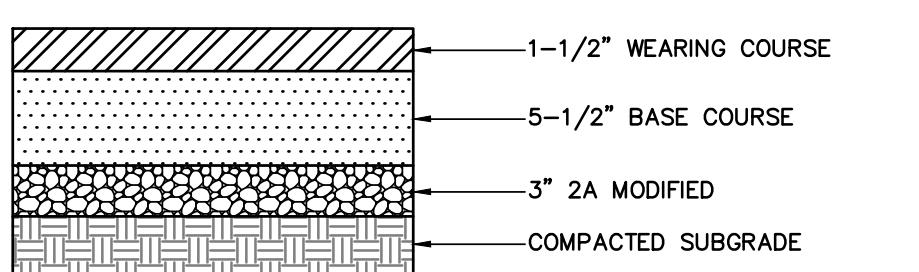
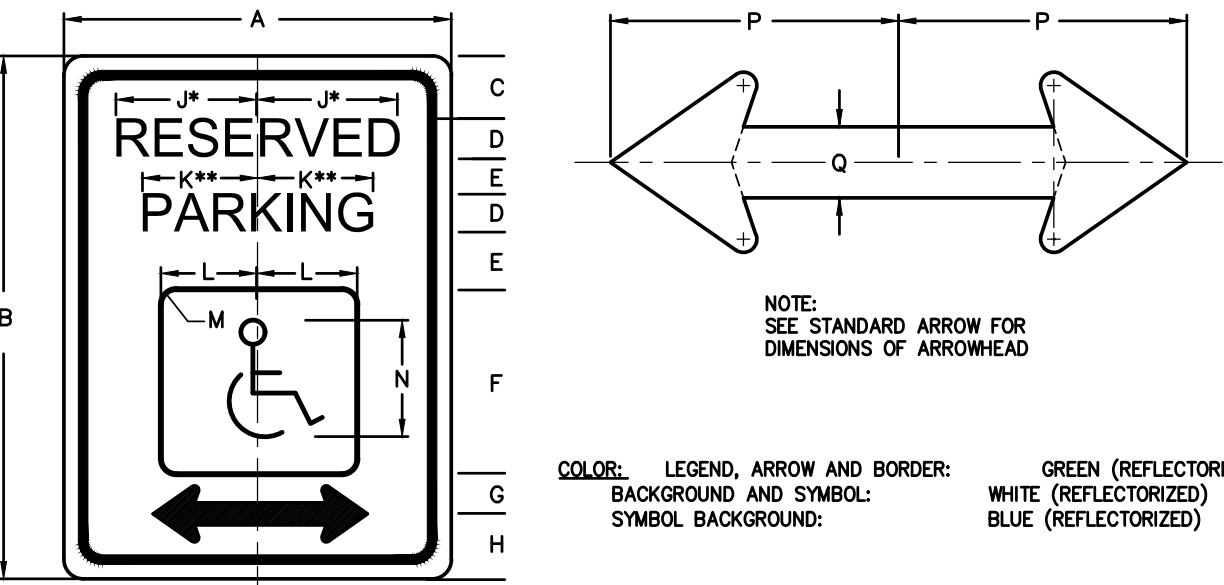


NOTE 1: STONE ABOVE PIPE SHOULD BE 6" IN DEPTH FOR LATERALS & 12" FOR ALL OTHER UTILITY PIPES.
PIPE BEDDING DETAIL
NOT TO SCALE

GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES	10/10/2025 PRELIMINARY SUBMISSION
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LAND DEVELOPMENT PLAN	RENOVATIONS AND ADDITIONS FOR TOWNSHIP AND POLICE BUILDING
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA	CONSTRUCTION DETAILS AND NOTES 1

GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES	PROJECT NO.: 23-02039
OWNERS INFO: UPPER MORELAND TOWNSHIP 117 PARK AVENUE WILLOW GROVE, PA 19090 (215) 659-3100	
MUNICIPAL PARCEL NO.: N/A	
TAX MAP PARCEL NO.: 59-00-14053-00-9	
TOTAL AREA: 4.095 AC. TOTAL LOTS: 1	
DATE: 8/28/2025 SCALE: AS NOTED	
DRAWN BY: BMS CHECKED BY: JH	
SHEET NO.: 13 OF 15	

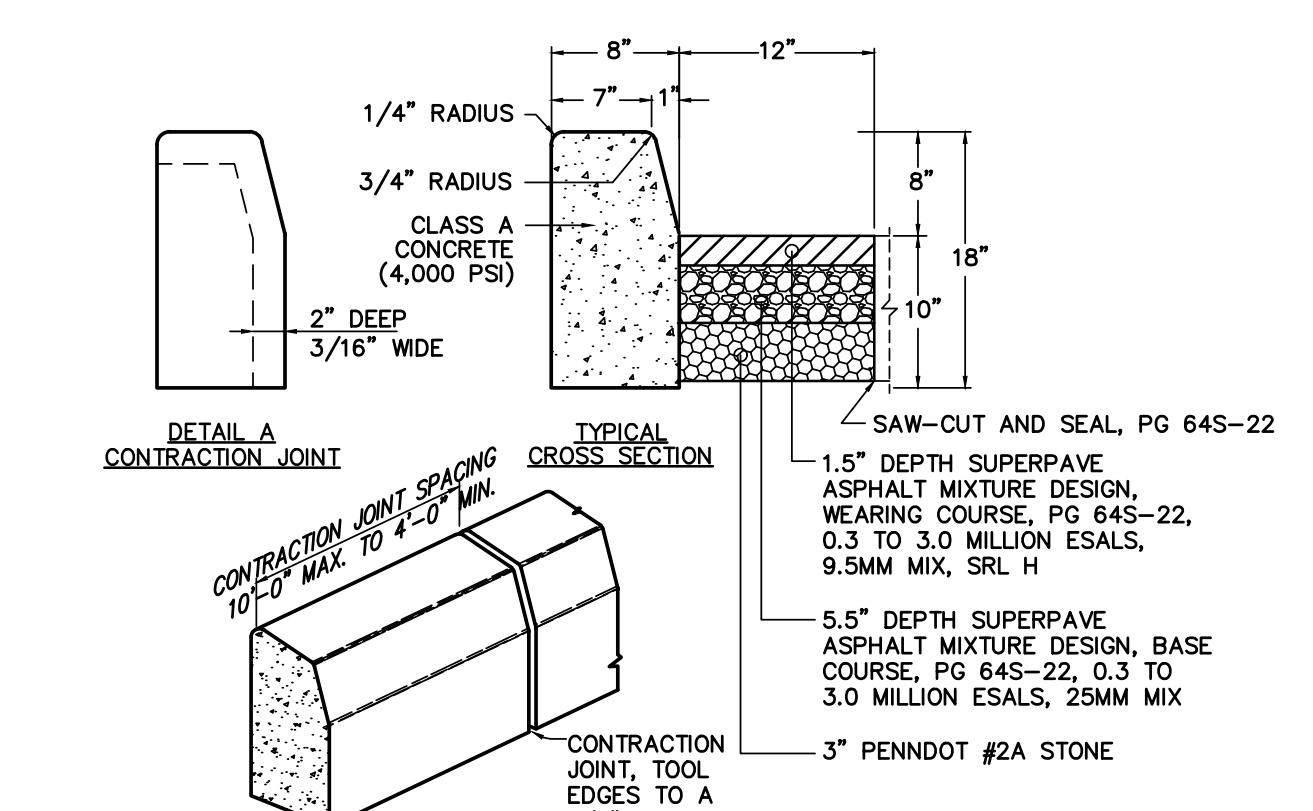
BIKE RACK DETAIL
NOT TO SCALECROSSWALK DETAIL
NOT TO SCALEHANDICAP ACCESSIBLE STALL STRIPPING DETAIL
NOT TO SCALESTANDARD PAVEMENT SECTION
NOT TO SCALERESERVED PARKING SIGN (R7-8)
NOT TO SCALE

DIMENSIONS - mm (IN)													MARGIN	BORDER	BLANK STD.
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	N	P			
300 x 450 (12" x 18")	50 (2)	500 (20)	25 (1)	150 (6)	40 (1.6)	60 (2.4)	126 (4.9)	109 (3)	759 (30)	10 (0.4)	100 (3.6)	95 (0.8)	20 (0.4)	10 (0.4)	B5-300450 (B5-1218)
	* REDUCE SPACING 50%												** REDUCE SPACING 33%		

① PREMOLDED EXPANSION JOINTS TO BE PLACED EVERY 24 FEET OR 25 FEET (MAX) WHERE SIDEWALKS ARE REQUIRED TO BE 6 FEET WIDE. AT ALL LOCATIONS WHERE PAVEMENT OR SIDEWALK MEETS PROPOSED SIDEWALK, WHERE SIDEWALK ABUTS CURB OR OTHER SIMILAR STRUCTURES, AND WHERE SIDEWALK TRANSITIONS FROM 4" THICK TO 6" THICK (DRIVEWAY APRONS, ETC.)

② WITH ALL PROPOSED SIDEWALK, A NON-SLIP SURFACE TEXTURE SHALL BE BROOMED TRANSVERSE TO THE SLOPE OF THE SIDEWALK.

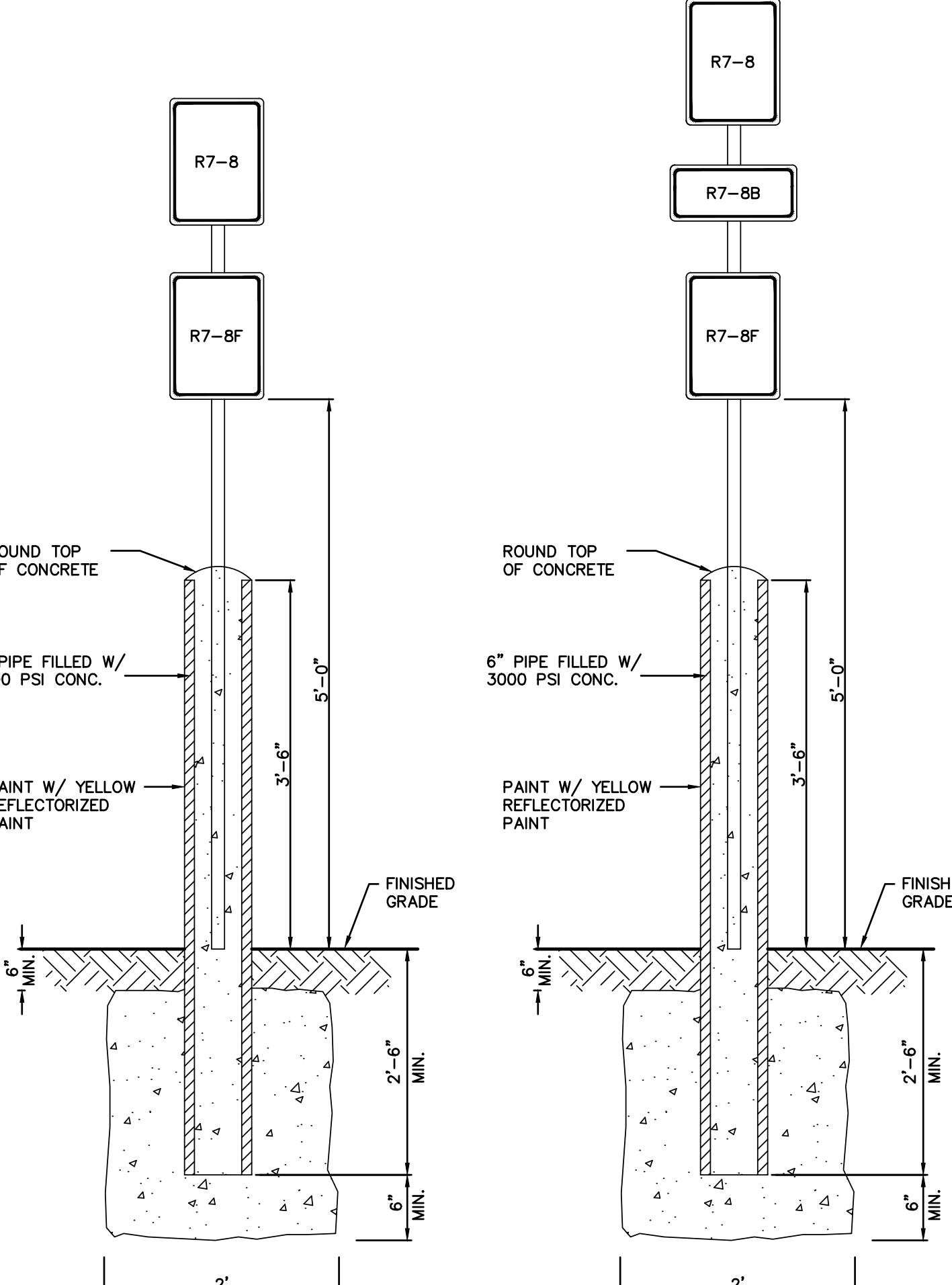
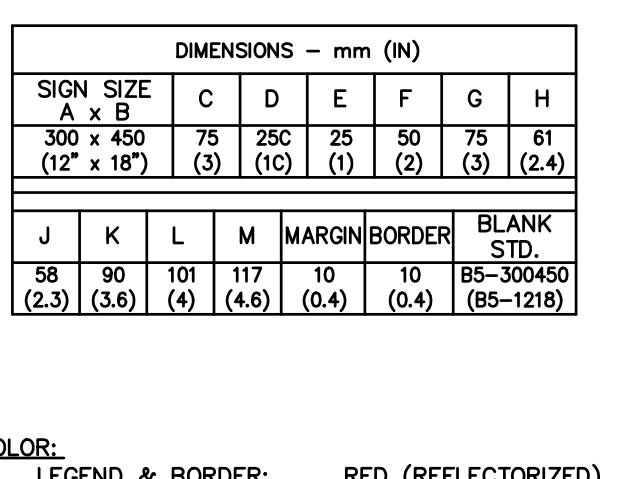
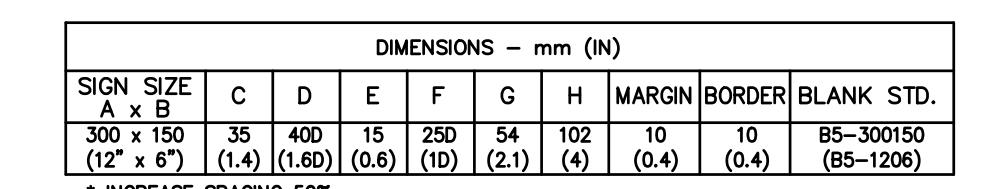
③ SIDEWALK SHALL BE CONSTRUCTED OF CLASS "A" CONCRETE (3,300 P.S.I.; TWENTY-EIGHT-DAY COMPRESSIVE STRENGTH). CERTIFICATION OF THE CONCRETE MIX (CLASSIFICATION) SHALL BE FURNISHED TO THE TOWNSHIP ENGINEER. CONCRETE SHALL BE PLACED IN FORMS THAT ARE STRAIGHT AND SECURELY BRACED. ALL SECTIONS OF SIDEWALK, PROPOSED TO BE SHARPLY CURVED, SHALL BE CREATED WITH CURVED FORMS. ALL SIDEWALK CURVES SHALL APPEAR SMOOTH. CARE SHALL BE TAKEN TO CONTROL THE WATER CONTENT OF CONCRETE TO PREVENT SEPARATION OF THE AGGREGATES. CONCRETE SURFACE TO BE TRANSVERSE DUMMIES FINISH AND THE SIDEWALK SHALL BE FINISHED WITH AN APPROVED EDGING TOOL. ALL HANDICAP RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT PENNDOT PUB-72M DETAILS AND PUB 408 STANDARDS.

TYPICAL SIDEWALK DETAIL
NOT TO SCALE

1. PLACE 3/4" PREMOLDED EXPANSION JOINT MATERIAL EVERY 50 FEET (MAX) AND AT ALL DRIVEWAYS (DEPRESSED CURB CUTS), INLETS AND CURB RADII.
2. DOWEL CURB RADII CURB ABUTS INLET HOODS.
3. ALL EXISTING PAVEMENT PARKINGS SHALL BE REPLACED IN-KIND

PLAIN CEMENT CONCRETE CURB
(INCLUDING REMOVAL OF EXISTING CURB)

NOT TO SCALE

HANDICAP ACCESSIBLE
HANDICAP VAN ACCESSIBLE
BOLLARD MOUNTED SIGN DETAIL
NOT TO SCALERESERVED PARKING PENALTIES SIGN (R7-8F)
NOT TO SCALEVAN ACCESSIBLE SIGN (R7-8B)
NOT TO SCALE

LAND DEVELOPMENT PLAN
RENOVATIONS AND ADDITIONS FOR
TOWNSHIP AND POLICE BUILDING
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

CONSTRUCTION DETAILS AND NOTES 2

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EXHIBIT B

Bowman

November 13, 2025

Mr. Paul Purtell
Director of Code Enforcement
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

RE: **Traffic Review – Land Development Plans**
117 Park Avenue – Upper Moreland Township Municipal Complex
Upper Moreland Township, Montgomery County, PA
Project No. 310016-25-008

Dear Paul:

Per the request of the Township, Bowman Consulting Group (Bowman) has prepared this letter that summarizes our traffic engineering review of the proposed site modifications to be located at 117 Park Avenue in Upper Moreland Township, Montgomery County, PA. Based on our review of the plans submitted for review, the proposed site modifications include construction of an approximate 10,230 square-foot building addition to the Township Building and Police Station and parking lot modifications. Access to the site will be provided via the existing western driveway along Center Avenue, the existing eastern driveway along Center Avenue which will be relocated to the east, the existing eastern driveway along Park Avenue, and the existing western driveway along Park Avenue which will be modified to provide two-way traffic flow.

The following documents were reviewed and/or referenced in preparation of our traffic review:

1. Land Development Plans – Upper Moreland Township and Police Buildings Renovations and Additions, prepared by Gilmore & Associates, Inc., last revised October 10, 2025.
2. Waiver Request Letter – Upper Moreland Township and Police Buildings Renovations, prepared by Gilmore & Associates, Inc., dated October 10, 2025.

Based on our review of the documents listed above, Bowman offers the following comments for consideration by the Township:

1. The waiver requests include waivers from the following traffic-related ordinance requirements:
 - Section 300-15.B – requiring Park Avenue to have a minimum 30-foot cartway width (15 feet from the centerline).
 - Section 300-19.A(7) – requiring an 8-inch curb reveal throughout the site.
2. Sight distance measurements should be depicted on the plans at all driveway locations along Center Avenue and Park Avenue in accordance with **Section 295-15.C** of the **Subdivision and Land Development Ordinance**.
3. According to **Section 300-15.B(1)(b)[1]** of the **Subdivision and Land Development Ordinance**, Park Avenue should have an ultimate right-of-way width of 50 feet. The plans currently show a 40-foot right-of-way width along Park Avenue.

4. The "Authorized Use Only" sign on the eastern side of the eastern Park Avenue driveway should be replaced with an "Emergency and Authorized Use Only" sign. In addition, an "Emergency and Authorized Use Only" sign should be added to the plans on the western side of this driveway.
5. The existing "Stop" sign along the eastern site driveway approach to Park Avenue should be relocated closer to the crosswalk. A stop bar should be shown on the plans adjacent to this relocated "Stop" sign.
6. "Pedestrian Crossing" warning signs with a downward arrow plaque should be shown on the plans at the following locations:
 - On both sides of the crosswalks along the two drive aisles in the parking area to the north of administration and police buildings.
 - On both sides of the crosswalk along the western Park Avenue driveway.
7. A Cross Traffic Does Not Stop supplemental plaque should be added to the "Stop" sign on the northbound drive aisle approach of the internal intersection near the western Center Avenue driveway.
8. It is noted that in the future, the applicant for the proposed Willow Grove Shopping Center Redevelopment project will implement all-way stop control for the intersection of Park Avenue and the western driveway for the Municipal Building. If the proposed site walls shown on the plans will be constructed prior to the implementation of the all-way stop control, the height and location of the proposed site walls near the western Park Avenue driveway should be reviewed to ensure they will not restrict the sight distance line looking to the left from the western driveway.
9. Turning templates should be provided demonstrating the ability of a trash truck or the largest expected delivery truck to maneuver into and out of the driveways that will be accessible to these vehicles.
10. The two parking spaces located along the western Park Avenue driveway should be relocated to another portion of the site so that vehicles maneuvering into and out of these parking spaces do not interfere with vehicles entering the site from Park Avenue at this driveway.
11. The Township should consider whether the Township Building and Police Station project will be subject to the Township's Transportation Impact Fee in accordance with the Township's *Transportation Impact Fee Ordinance*.

If you or the Township have any questions, or require clarification, please contact me.

Sincerely,



Chad Dixson, AICP, PP
Senior Project Manager

CED/BMJ

cc: Patrick Stasio, Upper Moreland Township Manager
Sean Kilkenny, Esquire, Township Solicitor
Jim Hersh, P.E., Gilmore & Associates

V:\310016 - Upper Moreland\310016-25-008 (TRN) - Township & Police Building\Engineering\Submissions\2025-10-21 LD Plans\Review\2025-11-13 Review Letter - 117 Park Avenue (Municipal Complex).docx

EXHIBIT C

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

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JAMILA H. WINDER, VICE CHAIR

THOMAS DIBELLO, COMMISSIONER

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**MONTGOMERY COUNTY
PLANNING COMMISSION**

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SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

November 7, 2025

Mr. Paul Purtell, Director, Planning, Zoning & Inspections
Upper Moreland Township
117 Park Avenue
Willow Grove, Pennsylvania 19090-3215

Re: MCPC #23-0173-002
Plan Name: Municipal Complex – Police Station
(1 lot comprising approximately 2.97 acres)
Situate: Park Avenue (south)/Center Avenue (north)/
Easton Road (east)/Summit Avenue (west)
Upper Moreland Township

Dear Mr. Purtell:

We have reviewed the above-referenced subdivision and land development or in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on October 21, 2025. We forward this letter as a report of our review.

BACKGROUND

Upper Moreland Township is proposing an expansion and updates to the municipal complex that would include an approximately 8,000 square foot addition to the township administrative portion at the main and lower levels of the building and an approximately 6,000-square foot addition to the police department at the main level. The proposed changes to the municipal complex would include a reconfiguration of public entrances, with accessible entrances on both the Cedar Avenue and Park Avenue sides of the building. Additional improvements include pedestrian connections to the municipal building from Center Avenue, accessible public entrances, and open space and trees around the municipal building and along the streets.

Parking lots and open spaces around the complex would be reconfigured to create more open space behind the library where parking currently exists, and to separate the public parking lot and the secured parking lot for the police department.

We reviewed the previously submitted zoning map amendment for this site in a letter dated May 9, 2023, and we reviewed a previously submitted proposal for this site in a letter dated September 14, 2023.



COMPREHENSIVE PLAN COMPLIANCE

The proposal is generally consistent with *MONTCO 2040: A Shared Vision*, which designates the area as "Regional Mixed-Use Center" future land use category. The proposal is also consistent with *Upper Moreland 2040*, the Upper Moreland Township Comprehensive Plan. The property is located in an area that straddles the Town Center and the Town Residential future land use categories. Development in the Town Center should be pedestrian-oriented and exhibit high-quality design. Due to the abutting Town Residential areas, any future development should be considerate of the residential neighborhoods.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the township's proposal; however, in the course of our review we have identified the following issues that the township may wish to consider prior to final plan approval. Our comments are as follows:

REVIEW COMMENTS

PUBLIC SPACES

- A. Public Library and Municipal Building Entrances. We encourage the township to consider the relationship between the municipal building and the public library. The one-way driveway that is currently located between the library and municipal building would be converted to a two-way driveway from Park Avenue that would separate the entrances to the municipal building and the public library. We suggest considering a raised crosswalk between the two buildings to slow cars entering and leaving the site and to create a safer pedestrian connection between the buildings. In addition, with the existing plaza in front of the public library as well as the expanded sidewalk around the new public entrance, this space will likely become a gathering space due to the number of people who will be walking in and around the two buildings.
- B. Public Plaza. We recommend considering the design and location of the public plaza. Based on the renderings provided, the public plaza on Park Avenue appears to consist of a widened sidewalk with benches that cuts off the old main entry. The location of the public plaza seems detached from the township building itself, as there is no connection from the sidewalk up the steps to the former main entrance. Regarding the visual relationship of the wall behind the plaza, we feel that using two materials disconnects the plaza wall from the Upper Moreland Township wall sign.
- C. Open Space Programming. Based on the site plans provided, there appears to be an open space behind the municipal building. We recommend that this space be treated as an outside space where people could sit while eating lunch or waiting for a meeting.

We appreciate the widened sidewalk along that portion of Park Avenue; however, we suggest considering how the public plaza could be shifted closer to and oriented towards the new entrance on Park Avenue, which would create a more active and inviting gathering space with direct connection to the township building. Creating a public plaza near the Park Avenue entrance would also reinforce the relationship between the library and municipal buildings.

LANDSCAPING

- A. Parking Lot Landscaping. We recommend that a tree be added to the center parking lot island. A waiver is requested from SALDO Section 300-43.D(1)(d) to not provide trees in some parking lots islands, due to the inclusion sidewalks and ramps through the parking lot. We understand that this may require the removal of one or two parking spaces to accommodate the pedestrian walkway; however, we encourage the township to consider the aesthetic and environmental benefits of adding another shade tree to the parking lot, which would shade the pedestrian walkway.
- B. Fence Foundation Landscaping. We recommend planting additional landscaping along the perimeter of the chain link fence around the police parking lot. The police parking lot would be secured with a fence and gate, and trees would be planted around the parking along the interior side of the fence. A sidewalk is proposed along the outside of the fence, along Cedar Avenue and along the west side of the public parking lot. To soften the appearance of the fence and to improve the pedestrian experience, we suggest planting additional shrubs along the foundation of the fence.

PEDESTRIAN CONNECTIVITY AND PUBLIC ENTRANCES

Based on the site plans provided, it appears that the sidewalk along Center Avenue would be widened and set further back from the street, which we commend, as it will improve the pedestrian experience.

- A. Building Entrances. We recommend considering how to treat the front of the building as well as the old entrances. It appears that the new configuration of the building and entrances does not use the old entrances along Park Avenue for the municipal administration or Police Department. The proposed plans show the existing walkway to the stairs, but the walkway does not lead to an active entrance (as is also referenced in comment B. Public Plaza).
 - 1. *Police Department Accessible Ramp*. The old Police Department entrance on Park Avenue could be accessed by a ramp from the sidewalk along Park Avenue. However, there is no sidewalk along the vehicular driveway from the sidewalk to the ramp, creating a gap in the pedestrian network. If the ramp and entrance are intended to be used by the public, the rehabilitation of the municipal complex may be an opportunity to address the accessibility of this entrance.

TRANSPORTATION

- A. Vehicular Parking. There are currently parallel parking spaces in front of the side entrance to the township building; the proposal would keep two parallel parking spaces in that location. If these are planned to be used as loading or drop-off spaces, we recommend that they be indicated as such on the plans and that signage be provided to clearly show that they are for temporary parking only.
- B. Bike Parking. We recommend that the township install bike racks adjacent to the municipal complex entrances.

CONCLUSION

We wish to reiterate that MCPC generally supports the township's proposal but we believe that our suggested revisions will better achieve Upper Moreland's planning objectives for development in the Willow Grove.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number (23-0173-002) on any plans submitted for final recording.

Sincerely,



Claire Warner, Principal Community Planner I
Claire.Warner@montgomerycountypa.gov – 610-278-3755

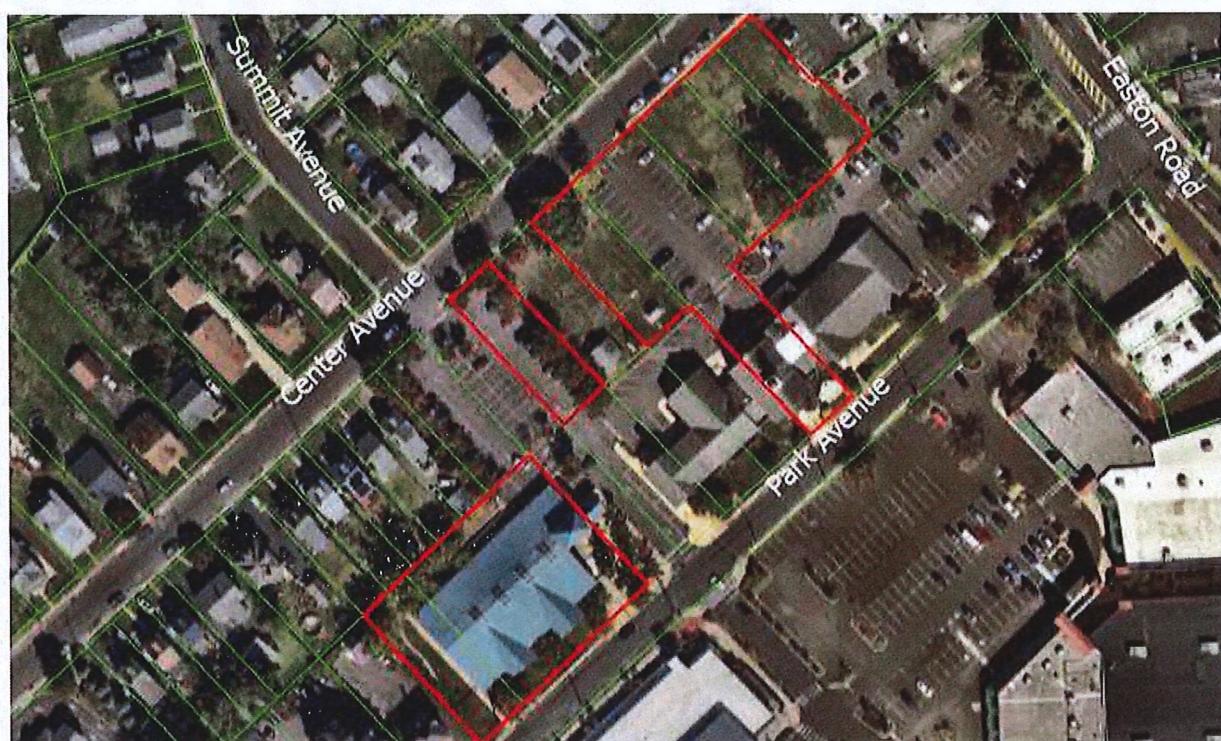
c: Patrick Stasio, Township Manager
Jennifer Mullen, Chair, Township Advisory Planning Agency
Alex Baumler, Township Solicitor

Attachment A: Aerial Image of Site
Attachment B: Reduced Copy of Applicant's Proposed Site Plan

Mr. Paul Purtell

- Attachment A -

November 7, 2025



Municipal Complex
MCPC#230173002

Montgomery
County
Planning
Commission

Montgomery County Planning Commission
PO Box 311, Rockville, MD 20854-0311
(301) 777-3733, (301) 778-3341
www.montgomerycountymd.gov/plan
Aerial photography provided by Nextmap

0 50 100 200 Feet



Mr. Paul Purtell

- Attachment B -

November 7, 2025

EXHIBIT D

Advisory Planning Agency
November 20, 2025

Minutes

A meeting of the APA was held on November 20, 2025 at 5:00 PM in the UMT Building. Members present included Chair Jennifer Mullen, Jay Silverman, Landon Synnestvedt, Arlene Rubin & Claire Warner from the MCPC. Absent: George Hartman, Christian Henderson & Fred Standaert.

Land Development

Upper Moreland Twp Municipal Complex Land Development Application. Brian Studer, PE, Twp Engineer from Gilmore & Associates and Matt Jones, Twp Architectural Consultant from GKO, were present to discuss the land development application for Upper Moreland Twp at 117 Park Avenue. Brian Studer gave an overview of the project which will include building additions to both the administration building and the police department along with associated site work, parking lot configuration and stormwater management. Interior alterations are also planned for the building. Mr. Studer commented that they have reviewed the Twp Traffic Engineer's comments along with the MCPC review comments and are working to address those items.

Matt Jones gave an overview of the proposed interior alterations to include new and improved entrances to the Twp and police buildings along with accessibility improvements and better interior flow for employees and visitors.

Claire Warner from the MCPC discussed her 247 review, dated 11/7/25, concerning pedestrian access from library to administration building, the public plaza, parking lot landscaping and fence screening along Easton Road & Center Avenue.

Brian Studer commented that they can take a look at a raised pedestrian crossing but do not want to block the flow of stormwater at base of raised area. The APA made comments about the landscaping at base of fences along Easton Road & Center Avenue. Mr. Studer said they can certainly move the fence back a bit from Center Avenue in order to provide some base landscaping at that location along with Easton Road frontage. They will also remove the parallel parking space along the drive off Park Avenue to avoid a potential stacking issue per both the Twp Traffic Engineer comments and MCPC.

Paul Purtell commented that while benches are not proposed in the open space areas at this time, the Twp can certainly take a look at it down the road to see if there is a need. The open space area alongside the library may also get some sort of play equipment or other amenities in the future.

Jay Silverman commented on the proposed parking lot configuration and distance from parking areas to library entrance is not ideal.

November 20, 2025
APA minutes
Page 2 of 2

Paul Purtell commented that Twp staff and the BOC had wanted more green area/open space on the site from previous versions. Visitor parking, including accessible parking spaces, were added adjacent to the library while also keeping open space alongside the library and elsewhere on the site.

Jennifer Mullen made a motion to recommend approval of the land development application subject to the Twp complying with the recommendations made by the MCPC in their 247 review, dated 11/7/25; seconded by Arlene Rubin.

Jennifer Mullen: Yay

Landon Synnestvedt: Yay

Arlene Rubin: Yay

Jay Silverman: Nay

Old Business

Paul Purtell commented that Claire Warner will be presenting an update on the Walkability Audit to the Community Development Committee at the November 24th meeting.

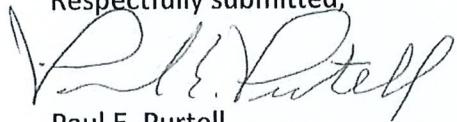
New Business

The APA cancelled the December 18, 2025 meeting.

No further business.

Meeting adjourned at 5:50 PM.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "P.E. Purtell".

Paul E. Purtell

Director, Code Enforcement

TOWNSHIP of UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215
Telephone (215) 659-3100 / Fax (215) 659-7363

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Township Solicitor

Agenda Summary

Community Development Committee Meeting – November 24, 2025 Board of Commissioners Regular Meeting – December 1, 2025

Agenda Item: **Amusement Device Appeal for 425 W. Moreland Road**

Prepared By: Paul E. Purtell, Director of Code Enforcement

Attachments: Resolution R-2025-23

Background/Analysis: The business owner of Lucky 7 Deli has appealed the denial of the permit application to operate three (3) amusement devices within 300' of a residential district and/or use. Chapter 65 of the Upper Moreland Twp Code prohibits such devices within this area.

Fiscal Impact/Source: Permit fees and business tax on amusement devices

Alternatives: Deny request

Staff Recommendation: The Committee recommends the Board of Commissioners approved Resolution R-2025-23 at the Regular Meeting on December 1, 2025.

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION NO. R-2025-23

**A RESOLUTION OF THE UPPER MORELAND TOWNSHIP BOARD OF
COMMISSIONERS GRANTING ALMAS AHMAD'S REQUEST FOR A CONDITIONAL
WAIVER FROM SECTION 65-10 THE UPPER MORELAND TOWNSHIP CODE OF
ORDINANCES TO ALLOW FOR THE ISSUANCE OF AN AMUSEMENT DEVICE
LICENSE AT A PREMISES LOCATED LESS THAN 300 FEET FROM A RESIDENTIAL
ZONING DISTRICT AT THE PROPERTY LOCATED AT 425 W. MORELAND ROAD.**

WHEREAS, Chapter 65 of the Upper Moreland Township Code of Ordinances (the "Code") permits licenses to be issued by the Township to property owners for the use of "Amusement Games", which are defined under the Code as: "any automatic, mechanical, electric or electronic machine or device used or designed to be operated as a game, or for entertainment or amusement, by the insertion of a coin, token, money or other article, or by the payment of money to have it activated"; and

WHEREAS, Chapter 65-10 of the Code of Ordinances holds that Amusement Devices shall not be licensed, placed, possessed, kept, maintained, exhibited, used or operated in any location, the entrance or exit to which is within 600 feet of any entrance to or exit from any school, park, playground or church or within 300 feet of any residential zoning district; and

WHEREAS, Doris Glaberson Inter Vivos Deed of Trust ("Owner"), is the title holder of record to the property located at 425 W. Moreland Road, Willow Grove, Upper Moreland, Montgomery County Tax Parcel No. 59-00-12979-00-3; which is a commercial lot improved with a Sunoco branded gasoline station and convenience store (the "Property"); and

WHEREAS, Almas Ahmad ("Lessee"), is the lessee of the property located at 425 W. Moreland Road and operates a convenience store known as the Lucky 7 Deli on the premises; and

WHEREAS, the Property is not located within 600 feet of any entrance to or exit from any school, park, playground or church, but is located within 300 feet of a residential zoning district; and

WHEREAS, Owner has stated that it desires to obtain a license for the placement of up to three electronic games of skill Amusement Devices in order to help provide a modest amount of revenue that keeps business operations smoothly and supports local jobs, and seeks a waiver of the 300 foot residential zoning district requirement of the Code to permit issuance of said license; and

WHEREAS, the waivers requested were considered by the Community Development Committee at its November 24, 2025, public meeting, who recommended approval of the waivers requested.

NOW THEREFORE, BE IT RESOLVED by the Board of Commissioners of Upper Moreland Township that the waiver from the prohibition on issuance of Amusement Device Licenses located within 300 feet from a residential zoning district is hereby granted to Almas Ahmad for the property located at 425 W. Moreland Road.

BE IT FURTHER RESOLVED, that this waiver of the requirements of Section 65-10 of the Upper Moreland Township Code of Ordinances is expressly conditioned upon Owner's full and strict compliance with all other requirements imposed by Chapter 65.

DULY PRESENTED AND ADOPTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, this 1st day of December, 2025.

Attest:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Patrick Stasio, Secretary

Clifton McFatridge, President

UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

ORDINANCE NO. 1768

AN ORDINANCE OF UPPER MORELAND TOWNSHIP COUNTY OF
MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA, FIXING THE TAX
RATE FOR THE YEAR 2026

Section 1. A tax shall be and the same is hereby levied on all real property with the Upper Moreland Township subject to taxation for the Fiscal Year 2026 as follows:

	<u>Mills per \$1,000 of Assessed Valuation</u>
General Purpose	<u>5.245</u>
Library	<u>0.622</u>
Fire Protection	<u>0.450</u>
Debt	<u>1.204</u>
2026 Total:	<u>7.521</u>

Section 2. Any Ordinance or part of Ordinance conflicting with this shall be and the same is hereby repealed insofar as the same affects this Ordinance.

ADOPTED this 1st day of December **2025**

ATTEST:

UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS

Patrick T. Stasio, Secretary

Clifton McFatridge, President

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION R-2025-24

**A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF
UPPER MORELAND ESTABLISHING THE ANNUAL RESIDENTIAL REFUSE FEE TO
BE COLLECTED FOR RESIDENTIAL DWELLINGS THAT RECEIVE REFUSE AND
TRASH COLLECTION FROM THE TOWNSHIP.**

The BOARD OF COMMISSIONERS hereby resolve as follows:

Section 1. RESIDENTIAL REFUSE FEE FOR 2026 AND THEREAFTER

The Residential Refuse Fee as defined and provided for in Section 6.01 of Article 6, "Residential Refuse Fee", Chapter 279, "Solid Waste" of the Upper Moreland Township Code shall be set at the rate of **TWO HUNDRED AND FIFTEEN DOLLARS (\$215.00)** for each dwelling unit receiving the service of collection of refuse and trash by the Township.

Section 2. EFFECTIVE DATES

The Fee provided for herein shall be effective as of January 1, 2026 and shall be due annually thereafter in a like amount until amended or rescinded by Resolution of the Board of Commissioners.

RESOLVED this 1st day of **December 2025**.

ATTEST:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Patrick T. Stasio, Secretary

Clifton McFatridge, President

UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

ORDINANCE NO. 1769

AN ORDINANCE OF UPPER MORELAND TOWNSHIP, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA, APPROPRIATING SPECIFIC SUMS ESTIMATED TO BE REQUIRED FOR SPECIFIC PURPOSES OF THE MUNICIPAL GOVERNMENT, HEREINAFTER SET FORTH, DURING THE YEAR 2025

BE IT ORDAINED AND ENACTED, and it is hereby ordained and enacted by the Board of Commissioners of the Township of Upper Moreland, County of Montgomery, Commonwealth of Pennsylvania:

Section 1. That for the expenditures and expenses for the Fiscal Year 2026 and the following amounts are hereby appropriated from the fund equities, specific purposes set forth on the following pages:

General Fund, Liquid Fuels Fund, Debt Service Fund and Capital Reserve Fund Budgets (provided under separate cover.)

Section 2. That any ordinance conflicting with this ordinance by and the same is hereby repealed insofar as the same affects this ordinance.

ADOPTED this 1st day of **December 2025**.

ATTEST:

UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS

Patrick T. Stasio, Secretary

Clifton McFatridge, President

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION NO. R-2025-25

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA, ADOPTING THE 2026-2030 CAPITAL IMPROVEMENTS BUDGET.

WEHREAS, Upper Moreland Township (the “Township”), Montgomery County, is duly organized Pennsylvania First-Class Township; and

WHEREAS, the Pennsylvania First-Class Township Code requires the Board of Commissioners through the Finance Director and staff to prepare and present municipal budgets; and

WHEREAS, the financial planning and budgets of the Township shall contain a capital plan for five or more fiscal years which shall contain, as a minimum, all proposed capital improvements identified by project, the year of acquisition or construction, proposed funding and the impact upon the operating expenses, debt structure and borrowing limitations of the Township; and

WHEREAS, the first year of the capital plan shall constitute the capital budget with the remaining years of the plan being advisory for the purpose of long-range planning; and

WHEREAS, the capital budget may be financed by appropriations of current revenue or money borrowed or authorized by the First-Class Township Code or general law; and

WHEREAS, all appropriations for the capital budget shall lapse at the end of the fiscal year, but sufficient amounts to compete projects in progress may be appropriated for the following year.

NOW, THEREFORE, BE IT RESOLVED, that the Upper Moreland Township Board of Commissioners does hereby adopt the attached 2026-2030 Capital Improvements Plan.

DULY PRESENTED AND ADOPTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, this 1st day of December 2025.

ATTEST:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Patrick T. Stasio, Secretary

Clifton McFatridge, President

REGULAR MEETING MONDAY EVENING FOR UPPER MORELAND TOWNSHIP

12/01/2025

NOVEMBER, 2025

BILLS PAID TO BE APPROVED

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*146015	AQUA PA	0001284730128473- WGFC 09/18-1	119.38	01-411-327-	119.38	119.38
01*146016	AQUA PA	0001283930128393 UMT FIRE 09/1	260.28	01-409-360-	260.28	260.28
01*146017	AQUA PA	0001284670128467- UMT 09/19-10	474.31	01-409-360-	474.31	474.31
01*146018	AQUA PA	0001285100128510- APT A 09/19-	261.00	01-409-360-	261.00	261.00
01*146019	AVT	OCTOBER 20, 2025 MEETING	525.00	01-401-320-	525.00	525.00
01*146020	CHA CONSULTING, INC	SEPT 27-OCT 24, 2025 UMT COMPL	7,210.90	01-130-100-	7,210.90	7,210.90
01*146021	CLEAN NET OF PHILADELPHIA	NOVEMBER 2025	2,075.00	01-409-450-	2,075.00	2,075.00
01*146022	CODY SYSTEMS	COBRA SUBSCRIPTION 11/01/25 -	2,511.38	01-410-317-	2,511.38	2,511.38
01*146023	COMCAST CABLE	8499101410427527- FIRE DEPT 10	50.76	01-411-360-	50.76	50.76
01*146024	COMCAST CABLE	8499101410242512- PILEGGI 10/2	320.91	01-401-320-	320.91	320.91
01*146025	COMCAST CABLE	8499101410258401 BOILEAU PK 11	320.91	01-401-320-	320.91	320.91
01*146026	CONTRACT CLEANERS SUPPLY INC.	MATERIALS & SUPPLIES	170.94	01-409-200-	170.94	170.94
01*146027	DAVID CHUBB	2025 Q3 PHONE ALLOWANCE	105.00	01-401-320-	105.00	105.00
01*146028	DEBALKO PHOTOGRAPHY, LLC	UMHC - HISTORICAL HOUSE PHOTOG	1,000.00	01-401-520-	1,000.00	1,000.00
01*146029	DELL ACCOUNT	MS Intune Annual Renewal	1,554.00	01-401-320-	1,554.00	1,554.00
01*146030	DENISE KEIM	BULK REFUND PERMIT # 158811	20.00	01-364-300-	20.00	20.00
01*146031	FBI-LEEDA INC.	ACTIVE MEMBERSHIP 2026	50.00	01-410-240-	50.00	50.00
01*146032	GOOSE SQUAD	OCTOBER 2025	1,000.00	01-454-450-	1,000.00	1,000.00
01*146033	GREG & CHRISTINE ASPLUNDH	REFUSE COLLECTION FEE REFUNDED	3,630.00	01-364-600-	3,630.00	3,630.00
01*146034	HALLER ENTERPRISES	PRIOR YEAR BUSINESS TAXES	3,227.45	01-310-810-	3,227.45	3,227.45
01*146035	HEATHER LUDWIG	REFUND-WITHDRAW FROM FALL ADUL	165.00	01-367-000-	165.00	165.00
01*146036	JOE MOONEY	PW BOOT ALLOWANCE 2025	200.00	01-430-195-	200.00	200.00
01*146037	JOHN FUGELO	NFPA STANDARD, SMOKE DETECTOR	229.20	01-411-460-	229.20	229.20
01*146038	KAITLIN LYNCH	PAYEMNT BABYSITTING INSTRUCTOR	720.00	01-452-450-	720.00	720.00
01*146039	KELLY RUDDELL	2025 BOOT ALLOWANCE	205.00	01-410-238-	205.00	205.00
01*146040	KEYSTONE FIRE PROTECTION CO	UMT ANNUAL FIRE ALARM INSPECTI	541.76	01-409-450-	541.76	1,338.12
		DPW ANNUAL FIRE ALARM INSPECTI	796.36	01-409-450-	796.36	
01*146041	KREMP FLORIST	PAYMENT 11/12/2025 ADULT CRAFT	740.00	01-452-450-	740.00	740.00
01*146042	LAMONT PINSON	2025 BOOT ALLOWANCE	299.52	01-410-238-	299.52	299.52
01*146043	LEXISNEXIS	OCTOBER 2025	160.00	01-401-240-	160.00	160.00
01*146044	MARKL SUPPLY COMPANY	GUNS/TRADE-INS	25,720.14	01-130-300-	25,720.14	25,720.14
01*146045	MATTHEW GORMAN	PAYMENT WINTER ADULT KARATE	128.00	01-452-450-	128.00	128.00
01*146046	MCDONALD UNIFORMS	VESTS	1,935.31	01-410-238-	1,935.31	1,935.31
01*146047	MICHAEL DALY	2025 BOOT ALLOWANCE	300.00	01-410-238-	300.00	300.00
01*146048	MICHAEL HEARN	PAYMENT WINTER '25 ADULT KARAT	112.00	01-452-450-	112.00	112.00
01*146049	MINDS IN MOTION, LLC	PAYMENT WINTER MINDS IN MOTION	1,560.00	01-452-450-	1,560.00	1,560.00
01*146050	MOYER INDOOR / OUTDOOR	NUTSEUDGE @ UMT	157.00	01-454-450-	157.00	157.00
01*146051	OCCUPATIONAL HEALTH CENTERS OF THE	C.STRANGE, E.QUIGG	1,276.00	01-415-240-	1,276.00	1,276.00
01*146052	PECO ENERGY - PAYMENT PROCESSING	8671424000 BYBERRY RD APT 11/0	354.27	01-454-450-	354.27	354.27
01*146053	PECO ENERGY - PAYMENT PROCESSING	8671424000 BYBERRY APT 01/16-0	288.74	01-454-360-	288.74	288.74
01*146054	PECO ENERGY - PAYMENT PROCESSING	7324762111 DIVISION 09/30-10/3	19.26	01-454-360-	19.26	19.26
01*146055	PENDERGAST SAFETY	SAFETY EQUIPMENT	162.22	01-427-192-	162.22	162.22

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT	NUMBER	AMOUNT	CHECK AMOUNT
01*146056	PETER RUDDELL	2025 BOOT ALLOWANCE	118.01	01-410-238-		118.01	118.01
01*146057	SJ FUEL SOUTH CO, INC	600 GALLONS	1,468.31	01-430-330-		1,468.31	5,494.15
		1600.5 GALLONS	4,025.84	01-430-330-		4,025.84	
01*146058	SMM CONSULTING	SEPTEMBER 2025	600.00	01-401-240-		600.00	2,850.00
		OCTOBER 2025	2,250.00	01-401-240-		2,250.00	
01*146059	STRATEGICLINK CONSULTING, INC	SUPPORT PROGRAM - DECEMBER 202	2,000.00	01-401-320-		2,000.00	2,000.00
01*146060	TARA SMITH	2ND HALF PAYMENT PICKLEBALL CO	1,480.00	01-452-450-		1,480.00	1,480.00
01*146061	THE KSA GROUP LLC	OCTOBER, NOVEMBER 2025	9,500.00	01-401-450-		9,500.00	9,500.00
01*146062	THE LINGO GROUP, INC.	WINTERIZATION PILEGGI	346.00	01-454-450-		346.00	588.00
		WINTERIZATION FARMSTEAD	242.00	01-454-450-		242.00	
01*146063	THOMAS E. LYNCH	2025 BOOT ALLOWANCE	300.00	01-410-238-		300.00	300.00
01*146064	TIM KUREK	10/09/2025 HEARING	1,218.00	01-413-316-		1,218.00	1,218.00
01*146065	UMHJSA	ACCT 7014 - UMT BUILDING	556.83	01-409-360-		556.83	556.83
01*146066	UMHJSA	ACCOUNT 7016 - FITZWATERTOWN	50.06	01-454-360-		50.06	50.06
01*146067	UMHJSA	ACCT 726- 4255 SHOEMAKER	231.18	01-454-360-		231.18	231.18
01*146068	UMHJSA	ACCT 7029 - LIBRARY	221.87	01-409-360-		221.87	221.87
01*146069	UNIFIRST CORPORATION	UNIFORM MAINTENANCE	463.73	01-427-191-		231.86	463.73
		UNIFORM MAINTENANCE	01-430-191-			231.87	
01*146070	W.B. MASON CO, INC	COMMUNICATION EXPENSES	193.58	01-401-320-		193.58	403.84
		MATERIAL & SUPPLIES	210.26	01-401-200-		210.26	
01*146072	ALFREDO DOS SANTOS OLIVEIRA	INCENTIVE FUND OCTOBER 2025	1,200.00	01-411-329-		1,200.00	1,200.00
01*146073	AQUA PA	0001284750128475 DPW 09/18-10/	220.23	01-409-360-		220.23	220.23
01*146074	ARDMORE TIRE, INC.	VEHICLE OPERATING EXPENSE	480.00	01-430-330-		480.00	5,232.12
		VEHICLE OPERATING EXPENSE	180.00	01-430-330-		180.00	
		VEHICLE OPERATING EXPENSE	230.00	01-430-330-		230.00	
		(12) 275/55R-20 Goodyear Eagle	2,085.12	01-430-330-		2,085.12	
		VEHICLE OPERATING EXPENSE	435.00	01-430-330-		435.00	
		VEHICLE OPERATING EXPENSE	224.00	01-430-330-		224.00	
		VEHICLE OPERATING EXPENSE	435.00	01-430-330-		435.00	
		VEHICLE OPERATING EXPENSE	290.00	01-430-330-		290.00	
		VEHICLE OPERATING EXPENSE	233.00	01-430-330-		233.00	
		225/75-15 firestone destinatio	640.00	01-430-330-		640.00	
01*146075	ARDSLEY AUTO TAG SERVICE	07/18/25 - 08/31/25	195.00	01-430-330-		195.00	195.00
01*146076	BERGEY'S INC.	SENSOR	372.11	01-430-330-		372.11	372.11
01*146077	BILLOWS ELECTRIC SUPPLY INC.	27W LAMP	58.94	01-430-373-		58.94	58.94
01*146078	BRAD TODD	BULK REFUND - PERMIT 158876	20.00	01-364-300-		20.00	20.00
01*146079	BRENDA STONE	BULK REFUND - PERMIT #158860	15.00	01-364-300-		15.00	15.00
01*146080	CAMPBELL DURRANT BEATTY	OCTOBER 2025	2,305.42	01-402-314-		2,305.42	2,305.42
01*146081	CDW GOVERNMENT, INC.	INTERNAL DRIVE	3,966.25	01-401-320-		3,966.25	3,966.25
01*146082	CHAPMAN FORD OF HORSHAM	#601 CHECK ENGINE LIGHT	7,263.30	01-430-330-		7,263.30	7,263.30
01*146083	CHRISTINA WISE	BULK REFUND - PERMIT 158924	15.00	01-364-300-		15.00	15.00
01*146084	CITY ELECTRIC SUPPLY	CONTRACTED SERVICES	30.90	01-411-450-		30.90	30.90
01*146085	COMCAST CABLE	8499101410218777- VOL FIRE 10/	116.46	01-411-450-		116.46	116.46
01*146086	COMCAST CABLE	8499101410185414 WG SUBSTA 11/	320.91	01-411-450-		320.91	320.91
01*146087	COMCAST CABLE	8499101380374931: 11/09-12/08/	338.39	01-401-320-		338.39	338.39
01*146088	CONTRACT CLEANERS SUPPLY INC.	MATERIALS & SUPPLIES	77.19	01-409-200-		77.19	153.35
		MATERIALS & SUPPLIES	76.16	01-409-200-		76.16	
01*146089	COOPER MECHANICAL SERVICES	SERICE TO 2 URINAL FLUSH VALVE	580.00	01-411-250-		580.00	580.00
01*146090	DELL MARKETING L.P.	ENGINEERING MAINTENANCE	1,274.88	01-411-372-		1,274.88	4,752.93
		COMMUNICATION EXPENSES	3,478.05	01-401-320-		3,478.05	

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*146091	DISTRICT COURT 38-2-08	COMPLAINT FILING FEES: UMT v C	218.78	01-401-240-	218.78	218.78
01*146092	DISTRICT COURT 38-2-08	COMPLAINT FILING FEES: UMT v L	173.25	01-401-240-	173.25	173.25
01*146093	DISTRICT COURT 38-2-08	COMPLAINT FILING: UMT v NUWAY	228.75	01-401-240-	228.75	228.75
01*146094	DISTRICT COURT 38-2-08	COMPLAINT FILING FEE: UMT v PR	228.75	01-401-240-	228.75	228.75
01*146095	EAS WATER	OCT, NOV 2025	141.76	01-411-250-	141.76	352.54
		CONTRACT SERVICES	210.78	01-409-450-	210.78	
01*146096	EASTERN AUTOPARTS WAREHOUSE	OCTOBER 2025	1,490.84	01-430-330-	1,490.84	1,490.84
01*146097	ELIZABETH A. WEBSTER	BULK REFUND: PERMIT 158874	30.00	01-364-300-	30.00	30.00
01*146098	FASTENAL COMPANY	VEHICLE OPERATING EXPENSE	66.82	01-430-330-	66.82	66.82
01*146099	FRED BEANS PARTS	BRACKET	177.88	01-430-330-	177.88	956.81
		VEHICLE OPERATING EXPENSE	204.24	01-430-330-	204.24	
		VEHICLE OPERATING EXPENSE	151.93	01-430-330-	151.93	
		VEHICLE OPERATING EXPENSE	15.44	01-430-330-	15.44	
		VEHICLE OPERATING EXPENSE	31.84	01-430-330-	31.84	
		VEHICLE OPERATING EXPENSE	31.84	01-430-330-	31.84	
		VEHICLE OPERATING EXPENSE	130.40	01-430-330-	130.40	
		VEHICLE OPERATING EXPENSE	213.24	01-430-330-	213.24	
01*146100	GANNETT PENNSYLVANIA LOCALIQ	OCTOBER 2025	378.02	01-401-340-	378.02	378.02
01*146101	GEORGE ALLEN PORTABLE	N WG PARK	90.00	01-454-450-	90.00	180.00
		TERWOOD	90.00	01-430-240-	90.00	
01*146102	GKO ARCHITECTS	JULY 2025	126,345.00	01-130-100-	126,345.00	315,339.00
		AUGUST 2025	188,994.00	01-130-100-	188,994.00	
01*146103	GLICK FIRE EQUIPMENT CO., INC.	PUMP FLOW TEST	390.00	01-411-250-	390.00	390.00
01*146104	GOOSE SQUAD	SEPTEMBER 2025	1,000.00	01-454-450-	1,000.00	1,000.00
01*146105	GRAINGER	IMPACT WRENCH	575.71	01-430-330-	575.71	575.71
01*146106	GRANTURK EQUIPMENT CO., INC.	#493	5,512.47	01-430-330-	5,512.47	5,512.47
01*146107	KIMBALL MIDWEST	DOT FIT	169.78	01-430-330-	169.78	200.28
		STRAP	30.50	01-430-330-	30.50	
01*146108	KING OF PRUSSIA RECYCLING	RECYCLING FEES	6,538.68	01-427-384-	6,538.68	6,538.68
01*146109	KREMP FLORIST	PAYMENT FALL ADULT CRAFT - 2 R	74.00	01-452-450-	74.00	74.00
01*146110	LAURA NORRIS	OCTOBER 2025 STIPEND	450.00	01-411-329-	450.00	450.00
01*146111	LORCO PETROLEUM SERVICES	ANTIFREEZE REMOVAL	150.00	01-430-330-	150.00	150.00
01*146112	MARK GOLDBERG	OCTOBER 2025 STIPEND	150.00	01-411-329-	150.00	150.00
01*146113	MICHAEL GIOVINAZZO	CELL PHONE ALLOWANCE	105.00	01-401-320-	105.00	105.00
01*146114	MOYER INDOOR / OUTDOOR	FARMSTEAD NUSEDGE	458.00	01-454-450-	458.00	458.00
01*146115	NASHEA FABLE	OCTOBER 2025 STIPEND	1,200.00	01-411-329-	1,200.00	1,200.00
01*146116	OCCUPATIONAL HEALTH CENTERS OF THE	L.PINSON	551.00	01-410-240-	551.00	551.00
01*146117	PECO ENERGY - PAYMENT PROCESSING	1727462222 STORAGE BLDG 10/07-	44.92	01-409-360-	44.92	44.92
01*146118	PENDERGAST SAFETY	SAFETY EQUIPMENT	180.17	01-427-192-	180.17	180.17
01*146119	PETROCON CORPORATION	BULK DRYDENE DIESEL	910.98	01-430-330-	910.98	910.98
01*146120	PIONEER AUTO BODY & REPAIR LLC	VEHICLE # 306	1,619.00	01-430-330-	1,619.00	1,619.00
01*146121	PITNEY BOWES, INC.	LEASE 09/24 - 12/23/25	976.47	01-401-374-	976.47	976.47
01*146122	PLUMB & DRAIN, LLC	REPLACE LOST CHECK #145947 - P	1,131.76	01-409-373-	1,131.76	1,131.76
01*146123	POLICY BUILDERS	NEW POLICY PROGRAM	7,500.00	01-411-740-	7,500.00	7,500.00
01*146124	RAZZI RADIATOR & AIR CONDITIONING	#468	99.50	01-430-330-	99.50	99.50
01*146125	REWORLD WASTE, LLC	DISPOSAL FEES	21,793.77	01-427-365-	21,793.77	21,793.77
01*146126	SIMONE COLLINS	OCTOBER 2025	4,672.50	01-454-740-	4,672.50	4,672.50
01*146127	SJ FUEL SOUTH CO, INC	1500 GALLONS GASOLINE	3,650.21	01-430-330-	3,650.21	7,708.16
		1700.1 DIESEL	4,057.95	01-430-330-	4,057.95	
01*146128	SWIF	UMT VOLUNTEER FIRE INSURANCE #	3,999.00	01-411-354-	3,999.00	3,999.00

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT	NUMBER	AMOUNT	CHECK AMOUNT
01*146129	T.W. REISS, INC.	RING	3.96	01-430-330-		3.96	3.96
01*146130	TRUCK PRO	BATTERY	380.94	01-430-330-		380.94	380.94
01*146131	UMHJSA	ACCT 7019: 227-229 DAVISVILLE	85.07	01-411-450-		85.07	85.07
01*146132	UMHJSA	ACCT 7021: DPW	253.83	01-409-360-		253.83	253.83
01*146133	UMHJSA	ACCT 7027: 4355 DAVISVILLE	50.06	01-411-360-		50.06	50.06
01*146134	UNIFIRST CORPORATION	UNIFORM MAINTENANCE	436.37	01-427-191-		436.37	872.74
01*146135	VAULT HEALTH	UNIFORM MAINTENANCE	436.37	01-430-191-		436.37	
01*146136	VERIZON	HEALTH & LIFE INSURANCE	440.82	01-486-156-		440.82	440.82
01*146137	VERIZON	250581599000177: 11/01-11/30/2	2,083.43	01-401-320-		2,083.43	2,083.43
01*146138	W.B. MASON CO, INC	450724913000147: 11/03-12/02/2	40.51	01-401-320-		40.51	40.51
		MATERIAL & SUPPLIES	29.95	01-410-200-		29.95	198.27
		OFFICE SUPPLIES	55.43	01-430-210-		55.43	
		OFFICE SUPPLIES	28.98	01-430-210-		28.98	
		COMMUNICATION EXPENSES	168.98	01-401-320-		168.98	
		MATERIAL & SUPPLIES	-85.07	01-401-200-		-85.07	
01*146139	Y-PERS, INC.	JBB4000 Busy Beaver Hand Clean	1,392.00	01-430-330-		150.00	1,392.00
		JOAS46529 Paper Towels		01-430-330-		276.00	
		JPGC22416 Tide Plus Detergent		01-430-330-		210.00	
		0108 flannel rags 50 pound cas		01-430-330-		114.00	
		J500 Toilet paper 2ply 96 roll		01-430-330-		150.00	
		SGONL-Orange grabbers 8 mil si		01-430-330-		298.00	
		SGONXL orange 8 mil glove extr		01-430-330-		149.00	
		Frieght		01-430-330-		45.00	
01*146141	ADVANCED ELECTRICAL	PILEGGI SERVICE CALL	416.50	01-454-450-		416.50	416.50
01*146142	AQUA PA	000309905039905- 09/30/25-10/3	2,978.96	01-411-363-		2,978.96	2,978.96
01*146143	AQUA PA	0004308690389901- 09/30/25-10/	323.80	01-411-363-		323.80	323.80
01*146144	ASPHALT CARE EQUIPMENT & SUPPLIES	(3) RAKES	141.00	01-430-200-		141.00	141.00
01*146145	AVAYA INC.	SOFTWARE SUBSCRIPTION	31.10	01-401-320-		31.10	31.10
01*146146	AVT	NOVEMBER 10 2025	525.00	01-401-320-		525.00	525.00
01*146147	BONNIE JANSEN	PAYMENT MINI SESSIONS FARMSTEA	1,175.00	01-452-450-		1,175.00	1,175.00
01*146148	BOWMAN CONSULTING GROUP, LTD	ROUT 611 GLG/TST PROJECT	2,350.00	01-430-313-		2,350.00	18,745.66
		PENNYPACK TRUST	476.35	01-430-313-		476.35	
		MARYLAND ROAD	14,710.00	01-430-313-		14,710.00	
		WG SHOPPING CENTER	1,000.00	01-430-313-		1,000.00	
		CLOUD 10	116.81	01-430-313-		116.81	
		1130 EASTON ROAD - STARBUCKS	92.50	01-430-313-		92.50	
01*146149	CARRIER CORPORATION	DPW ROOF TOP UNIT REPLACEMENT	38,315.00	01-409-373-		38,315.00	38,315.00
01*146150	CHAPMAN FORD OF HORSHAM	CHECK ENGINE LIGHT CAR #615	219.95	01-430-330-		219.95	219.95
01*146151	CHELSEA DODD	PAYMENT FALL INTRAMURAL INSTRU	220.00	01-452-450-		220.00	220.00
01*146152	CHRISTOPHER HENS	2025 BOOT ALLOWANCE	300.00	01-410-238-		300.00	300.00
01*146153	CINTAS CORPORATION	CONTRACT SERVICES	305.15	01-409-450-		305.15	305.15
01*146154	CITY ELECTRIC SUPPLY	GENERAL FIRE POLICE	56.60	01-411-240-		56.60	86.60
		GENERAL FIRE POLICE	30.00	01-411-240-		30.00	
01*146155	CLARK HILL	LEGAL SERVICES THROUGH OCTOBER	171.00	01-402-314-		171.00	171.00
01*146156	CLIFTON LARSON ALLEN LLP	PREPARATION TAX FILINGS - FD	3,141.75	01-402-100-		3,141.75	3,141.75
01*146157	COLLIFLOWER INC.	VEHICLE OPERATING EXPENSE	483.66	01-430-330-		483.66	997.34
		VEHICLE OPERATING EXPENSE	308.64	01-430-330-		308.64	
		VEHICLE OPERATING EXPENSE	205.04	01-430-330-		205.04	
01*146158	COMCAST CABLE	8499101380374949 UMT OFC 11/09	75.96	01-401-320-		75.96	75.96
01*146159	COMCAST CABLE	8499101410169038; 4355 DAVISVI	25.32	01-411-450-		25.32	25.32

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*146160	COMCAST CABLE	8499101410018938 DPW 11/11-12/	439.79	01-401-320-	439.79	439.79
01*146161	COMCAST CABLE	8499101380131182 UMT 11/11-12/	213.35	01-401-320-	213.35	213.35
01*146162	COMMONWEALTH OF PA	PESTICIDE LICENSE 2026	35.00	01-452-240-	35.00	35.00
01*146163	CUMBERLAND MARINE REPAIR, LLC	REPAIR TO WATER RESCUE BOAT #2	561.19	01-411-250-	561.19	561.19
01*146164	DELAWARE VALLEY WORKERS'	TRUST YEAR 2024 - FINAL AUDIT	54,089.00	01-486-354-	54,089.00	54,089.00
01*146165	DONALD MESSNER	PW BOOT ALLOWANCE 2025	200.00	01-430-195-	200.00	200.00
01*146166	EARTHBORNE INC.	#413 DAMAGED BEACON	547.35	01-430-330-	547.35	547.35
01*146167	ED MACKIN	BULK REFUND- PERMIT 158928	30.00	01-364-300-	30.00	30.00
01*146168	ELLIOTT & FRANTZ, INC.	Hitachi ZX135-7 Excavator rent	1,966.00	01-430-384-	1,966.00	1,966.00
01*146169	ELLIOTT LEWIS CORPORATION	First installment of the Capit	6,604.00	01-409-450-	6,604.00	6,604.00
01*146170	FASTENAL COMPANY	VEHICLE OPERATING EXPENSE	253.05	01-430-330-	253.05	538.62
		VEHICLE OPERATING EXPENSE	190.68	01-430-330-	190.68	
		VEHICLE OPERATING EXPENSE	94.89	01-430-330-	94.89	
01*146171	FUEL SYSTEM SERVICES	VEEDER ROOT POWER SUPPLY	1,026.08	01-430-330-	1,026.08	1,026.08
01*146172	GENERAL CODE PUBLISHERS	SUPPLEMENT NO 27	845.00	01-402-314-	845.00	845.00
01*146173	GEORGE ALLEN PORTABLE	REISSUE FOR LOST CHECK # 14527	90.00	01-454-450-	90.00	377.13
		MASON'S MILL	287.13	01-454-450-	287.13	
01*146174	GILMORE & ASSOCIATES	FEDERAL REALTY PHASE 3	640.00	01-430-313-	640.00	41,493.11
		WOODLAWN PARK	8,271.25	01-130-100-	8,271.25	
		FARMSTEAD ROOF	145.00	01-430-313-	145.00	
		UMT COMPLEX RENOVATIONS	26,161.25	01-130-100-	26,161.25	
		CLOUD 10	938.92	01-430-313-	938.92	
		200 CASTELLO	147.32	01-430-313-	147.32	
		HUNTINGDON VALLEY CC - POOL RE	303.12	01-430-313-	303.12	
		703 FITZWATER TOWN	793.75	01-430-313-	793.75	
		MS4 PRP FINAL REPORT	4,092.50	01-430-313-	4,092.50	
01*146175	GILMORE & ASSOCIATES, INC	227 NEWINGTON DRIVE	245.00	01-430-313-	245.00	7,801.84
		2400 PIONEER ROAD	1,589.34	01-430-313-	1,589.34	
		2700 BRENDAN CIRCLE	567.50	01-430-313-	567.50	
		232 BROOK STREET	1,250.00	01-430-313-	1,250.00	
		MILL CREEK DAM	325.00	01-430-313-	325.00	
		417 MANOR ROAD	445.00	01-430-313-	445.00	
		601 DAVISVILLE ROAD	227.50	01-430-313-	227.50	
		UMT GENERAL SERVICES	3,040.00	01-430-313-	3,040.00	
		UMT LANDSCAPE	112.50	01-430-313-	112.50	
01*146176	GRAINGER	MAINTENANCE & REPAIRS	113.20	01-409-373-	113.20	113.20
01*146177	GRAINGER	VEHICLE OPERATING EXPENSE	62.41	01-430-330-	62.41	378.45
01*146178	H.A. BERKHEIMER, INC.	VEHICLE OPERATING EXPENSE	316.04	01-430-330-	316.04	
01*146179	JOHN FUGELO	OCTOBER, 2025	996.09	01-402-312-	996.09	996.09
		ENGINEERING FUEL	40.00	01-411-232-	40.00	77.65
		EQUIPMENT MAINTENANCE	37.65	01-411-250-	37.65	
01*146180	JOSEPH GALLAGHER	PAYMENT FALL INTRAMURAL INSTRU	260.00	01-452-450-	260.00	260.00
01*146181	KATHLEEN NAKONIECZNY	PAYMENT FALL INTRAMURAL INSTRU	220.00	01-452-450-	220.00	220.00
01*146182	KILKENNY LAW	UMT GENERAL	8,109.00	01-402-314-	8,109.00	11,631.66
		LIENS	778.56	01-402-314-	778.56	
		TAX ASSESSMENT APPEALS	680.00	01-402-314-	680.00	
		BPT	1,845.54	01-402-314-	1,845.54	
		2321 BLAIR MILL ROAD	48.56	01-402-314-	48.56	
		SUMMARY MATTERS	170.00	01-402-314-	170.00	
01*146183	KILKENNY LAW, LLC	WG SHOPPING CENTER	153.00	01-402-314-	153.00	1,037.00

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
		1740 COUNTY LINE RD INJUNCTION	272.00	01-402-314-	272.00	
		FAIR OAKS PROPERTY	170.00	01-402-314-	170.00	
		BLAIR MILL ROAD WIDENING	102.00	01-402-314-	102.00	
		2250 EASTON ROAD ZHB	204.00	01-402-314-	204.00	
		601 DAVISVILLE - FRED BEANS	136.00	01-402-314-	136.00	
01*146184	LAW ENFORCEMENT SEMINARS, LLC	INTERNAL AFFAIRS INVESTIGATION	445.00	01-410-240-	445.00	445.00
01*146185	MARK WOLTEMATE	2025 BOOT ALLOWANCE	300.00	01-410-238-	300.00	300.00
01*146186	MCDONALD UNIFORMS	FALL UNIFORM	34.20	01-410-238-	34.20	34.20
01*146187	MOYER INDOOR / OUTDOOR	ROUND 5	157.00	01-454-450-	157.00	314.00
		LIME	157.00	01-454-450-	157.00	
01*146188	NAPA AUTO PARTS	OCTOBER 2025 STATEMENT	3,858.01	01-430-330-	3,858.01	3,858.01
01*146189	OCCUPATIONAL HEALTH CENTERS OF THE	M. BOULDIN	664.00	01-410-240-	664.00	1,215.00
		K. RUDDELL RECERT	551.00	01-410-240-	551.00	
01*146190	PECO ENERGY - PAYMENT PROCESSING	0846428111- PILEGGI 09/10/25-1	1,204.84	01-454-360-	1,204.84	1,204.84
01*146191	PECO ENERGY - PAYMENT PROCESSING	8671424000- BYBERRY APT 12/14/	260.18	01-454-360-	260.18	260.18
01*146192	PECO ENERGY - PAYMENT PROCESSING	8671424000- BYBERRY APT 02/17/	259.53	01-454-360-	259.53	259.53
01*146193	PECO ENERGY - PAYMENT PROCESSING	1922155000- LUMINAIRES 10/03-1	112.75	01-409-360-	112.75	112.75
01*146194	PECO ENERGY - PAYMENT PROCESSING	8671424000- BYBERRY APT 03/19/	269.72	01-454-360-	269.72	269.72
01*146195	PECO ENERGY - PAYMENT PROCESSING	8671424000- BYBERRY APT 04/18/	368.39	01-454-360-	368.39	368.39
01*146196	PECO ENERGY - PAYMENT PROCESSING	1996358000 MMP LOT 10/10/25-11	11.28	01-454-360-	11.28	11.28
01*146197	PECO ENERGY - PAYMENT PROCESSING	4990543000 GAS 4355 DAVISVILLE	62.18	01-411-450-	62.18	62.18
01*146198	PECO ENERGY - PAYMENT PROCESSING	6997499000 WGFC ELEC 10/10-11/	476.34	01-411-450-	476.34	476.34
01*146199	PECO ENERGY - PAYMENT PROCESSING	0759432222 WGFB G/E 10/14-11/1	1,649.71	01-411-450-	1,649.71	1,649.71
01*146200	PENDERGAST SAFETY	SAFETY EQUIPMENT	136.72	01-427-192-	136.72	473.23
		SAFETY EQUIPMENT	336.51	01-427-192-	336.51	
01*146201	PENNSYLVANIA ONE CALL	MONTHLY FEE	195.13	01-430-240-	195.13	195.13
01*146202	PEREGRINE ASSOCIATES	BUSINESS CARDS - KYLE	70.00	01-415-240-	70.00	70.00
01*146203	PTC E-Z PASS CUSTOMER SERVICE	SEPTEMBER 2025	1,916.53	01-427-365-	1,916.53	1,916.53
01*146204	RACHEL DeCARLO	PAYMENT FALL INTRAMURAL INSTRU	264.00	01-452-450-	264.00	264.00
01*146205	SALVATORE DINARDO	BUSINESS PRIVILEGE TAX	273.32	01-310-800-	273.32	273.32
01*146206	SHANNON GELNETT	PAYMENT FOR FALL INTRAMURAL IN	252.00	01-452-450-	252.00	252.00
01*146207	SHAPIRO FIRE PROTECTION CO.	LIBRARY ANNUAL MAINTENANCE	41.00	01-409-373-	41.00	41.00
01*146208	SIGNAL SERVICE INC.	Camera Narrow Angle, Traficam	2,178.00	01-430-373-	2,178.00	2,178.00
01*146209	STAR STRIPING SERVICE, LLC	Veteran's Park Basketball and	1,950.00	01-454-450-	1,950.00	1,950.00
01*146210	T.W. REISS, INC.	VEHICLE OPERATING EXPENSE	28.98	01-430-330-	28.98	28.98
01*146211	TAYLOR SLOAN	PAYMENT FALL INTRAMURAL	192.00	01-452-450-	192.00	192.00
01*146212	TODD SMITH	2025 BOOT ALLOWANCE	140.15	01-410-238-	140.15	140.15
01*146213	TOTALLY ABSORBENT	HEAVYWEIGHT OS PADS	130.00	01-411-372-	130.00	130.00
01*146214	TRI-STATE ELEVATOR CO., INC.	NOVEMBER 2025	181.91	01-409-373-	181.91	181.91
		**** VOIDED CHECK ****				
01*146216	UNIFIRST CORPORATION	UNIFORM MAINTENANCE	468.40	01-427-191-	234.20	468.40
		UNIFORM MAINTENANCE		01-430-191-	234.20	
01*146217	VAN'S LOCK SHOP	PADLOCKS (6)	119.58	01-430-330-	119.58	119.58
01*146218	W.B. MASON CO., INC	MATERIAL & SUPPLIES	30.06	01-401-200-	30.06	81.12
		MATERIAL & SUPPLIES	51.06	01-401-200-	51.06	
		**** VOIDED CHECK ****				
01*146220	AIRGAS	RENT ARGON	92.84	01-430-330-	92.84	92.84
01*146221	AQUASCAPES UNLIMITED	POND SERVICE 07/18/25	367.25	01-454-450-	367.25	367.25
01*146222	ARTISTIC SCREEN DESIGNS	(1) POLICE ACADEMY SHIRT	12.00	01-452-247-	12.00	12.00
01*146223	BELLE SERVICES INC HOMENET SOLUTION	BUSINESS PRIVILEGE TAX	42.00	01-310-800-	42.00	42.00
01*146224	BURGER KING #1579	PRISONER MEALS	319.28	01-410-240-	319.28	319.28
01*146225	COLLIFLOWER INC.	HOSE ASSEMBLY	499.98	01-430-330-	499.98	499.98

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT	NUMBER	AMOUNT	CHECK AMOUNT
01*146226	COMCAST CABLE	8499101410219510- VOL FIRE 11/	542.54	01-411-250-		542.54	542.54
01*146227	COMCAST CABLE	8499101410240870: BUEHLER 11/1	354.55	01-401-320-		354.55	354.55
01*146228	COMCAST CABLE	8499101410244682- VET MEM PK 1	163.35	01-401-320-		163.35	163.35
01*146229	CONTRACT CLEANERS SUPPLY INC.	EQUIPMENT REPLACEMENT	134.96	01-411-242-		134.96	214.57
		RETURN COFFEE FILTERS	-29.59	01-411-450-		-29.59	
		COFFEE FILTERS	10.92	01-411-450-		10.92	
		COFFEE FILTERS	98.28	01-411-450-		98.28	
01*146230	DELAWARE VALLEY PROPERTY	PROP./LIAB. INSURANCE	107,074.00	01-486-352-		107,074.00	107,074.00
01*146231	DELAWARE VALLEY WORKERS'	WORKERS COMPENSATION	114,695.25	01-486-354-		114,695.25	114,695.25
01*146232	DELL ACCOUNT	Visio LTSC Standard 2024 per Q	4,722.30	01-401-320-		1,486.40	4,722.30
		LTSC Office Professional 2024		01-401-320-		3,235.90	
01*146233	ELKINS PARK, LLC	BUSINESS PRIVILEGE TAX	528.50	01-310-800-		528.50	528.50
01*146234	FARMSTEAD ALLIANCE	DONATION FALL 2024 HOLIDAY MIN	600.00	01-452-450-		600.00	1,187.50
		DONATION FALL 2025 HOLIDAY MIN	587.50	01-452-450-		587.50	
01*146235	G.L.SAYRE, INC.	2026 PETERBILT VIN # XXXXXX810	126,669.00	01-130-100-		126,669.00	126,669.00
01*146236	GRAINGER	BOOSTER PUMP	421.60	01-430-330-		421.60	421.60
01*146237	GRANTURK EQUIPMENT CO., INC.	BACK PUSH BUTTON	132.40	01-430-330-		132.40	132.40
01*146238	HAVIS-SHIELDS EQUIP.CORP.	EQUIPMENT REPLACEMENT	98.80	01-411-242-		98.80	98.80
01*146239	INDEPENDENCE BLUE CROSS	DECEMBER 2025	268,348.73	01-486-156-		268,348.73	268,348.73
01*146240	INTERNATIONAL CODE COUNCIL	'21 PROPERTY MAINTENANCE & HOU	69.00	01-413-240-		69.00	69.00
01*146241	J&C FRESH SEAFOOD, INC	MERCANTILE TAX	184.16	01-310-300-		184.16	184.16
01*146242	KELLY STRYBUC	PARTICAL REFUND MISSED APPT HO	37.50	01-367-000-		37.50	37.50
01*146243	MAJIDA ALFROUKH	REFUND CANCELLED PAVILION 06/1	240.00	01-367-000-		240.00	240.00
01*146244	MATTHEW J HOCKER	REFUND OVERPAYMENT DENTAL DEDU	443.47	01-486-156-		443.47	443.47
01*146245	MATTHEW MOYER	PW BOOT ALLOWANCE 2025	200.00	01-430-195-		200.00	200.00
01*146246	MICHAEL FISHER	PW BOOT ALLOWANCE 2025	200.00	01-430-195-		200.00	200.00
01*146247	MICHAEL HEARN	PAYMENT FALL '25 KARATE	720.00	01-452-450-		720.00	720.00
01*146248	MIKE FLOOD LLC	FINAL PAYMENT KITCHEN & DINING	10,975.00	01-411-373-		10,975.00	21,470.00
		FINAL PAYMENT LOCKER ROOM CONV	10,495.00	01-411-373-		10,495.00	
01*146249	MURAMASTER EXPRESS, INC	PRIOR YEAR BUSINESS TAXES	6,270.48	01-310-810-		6,270.48	6,270.48
01*146250	OCCUPATIONAL HEALTH CENTERS OF THE	J.McCLEARY 11/13/2025	475.00	01-410-240-		475.00	475.00
01*146251	PECO ENERGY - PAYMENT PROCESSING	8671424000 BYBERRY APT 05/20-0	415.20	01-454-360-		415.20	415.20
01*146252	PECO ENERGY - PAYMENT PROCESSING	0846428111 PILEGGI 10/10-11/10	1,322.69	01-454-360-		1,322.69	1,322.69
01*146253	PECO ENERGY - PAYMENT PROCESSING	5331261222 WAR MEMORIAL 10/14-	40.36	01-454-360-		40.36	40.36
01*146254	PECO ENERGY - PAYMENT PROCESSING	8671424000 BYBERRY APT 06/19-0	577.79	01-454-360-		577.79	577.79
01*146255	PECO ENERGY - PAYMENT PROCESSING	7061714000 MEMORIAL PK 10/14-1	92.77	01-454-360-		92.77	92.77
01*146256	PECO ENERGY - PAYMENT PROCESSING	8113932222; UMT ELEC 10/15-11/	3,815.26	01-409-360-		3,815.26	3,815.26
01*146257	PECO ENERGY - PAYMENT PROCESSING	2372354111- LIBRARY G&E 10/15-	1,528.82	01-409-360-		1,528.82	1,528.82
01*146258	PECO ENERGY - PAYMENT PROCESSING	1574466000 FITZWATERTOWN 10/15	266.87	01-454-360-		266.87	266.87
01*146259	PECO ENERGY - PAYMENT PROCESSING	2407347000 MMP ENTRANCE 10/13-	162.01	01-454-360-		162.01	162.01
01*146260	PECO ENERGY - PAYMENT PROCESSING	7551372222; UMT GAS 10/15-11/1	804.59	01-409-360-		804.59	804.59
01*146261	PECO ENERGY - PAYMENT PROCESSING	8671424000: BYBERRY APT 07/21-	535.03	01-454-360-		535.03	535.03
01*146262	PECO ENERGY - PAYMENT PROCESSING	8671424000 BYBERRY APT 08/19-0	508.30	01-454-360-		508.30	508.30
01*146263	PETROCON CORPORATION	VEHICLE OPERATING EXPENSE	1,654.02	01-430-330-		1,654.02	1,654.02
01*146264	REWORLD WASTE, LLC	11/04/25 - 11/14/2025	17,030.91	01-427-365-		17,030.91	17,030.91
01*146265	RHOADS ENERGY	199.1 GALLONS HEATING OIL	581.32	01-409-360-		581.32	581.32
01*146266	RICOH USA, INC.	08/01/25 - 10/31/2025	1,746.95	01-401-320-		1,746.95	1,746.95
01*146267	RILEIGHS OUTDOOR DECOR	2025 White Glove Premium Packa	4,701.00	01-454-450-		4,701.00	4,701.00
01*146268	ROWAN WINTERBORNE	PAYMENT FALL ASSISTANT DRAMARA	500.00	01-452-450-		500.00	500.00
01*146269	SAMANTHA WISNIEWSKI	PAYMENT FALL ASSISTANT DRAMARA	300.00	01-452-450-		300.00	1,800.00

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*146270	SIGNAL CONTROL PRODUCTS,LLC	PAYMENT FALL ASSISTANT DRAMARA COBALT CHEATER CORD PED POLES	1,500.00 145.00 575.00	01-452-450- 01-430-373- 01-430-373-	1,500.00 145.00 575.00	720.00
01*146271	TORI TULINO	PAYMENT FALL DRAMARAMA ASSISTA	500.00	01-452-450-	500.00	500.00
01*146272	TRESSA McCALLISTER	PAYMENT FALL DRAMARAMA INSTRUC PAYMENT FALL DRAMARAMA INSTRUC	10,350.00 1,700.00	01-452-450- 01-452-450-	10,350.00 1,700.00	12,050.00
01*146273	UNIFIRST CORPORATION	UNIFORM MAINTENANCE UNIFORM MAINTENANCE	447.01 01-427-191- 01-430-191-	01-427-191- 223.50 223.51	223.50 223.51	447.01
01*146274	UNIFIRST CORPORATION	UNIFORM MAINTENANCE UNIFORM MAINTENANCE	436.37 01-427-191- 01-430-191-	01-427-191- 218.18 218.19	218.18 218.19	436.37
01*146275	UNITED STATES POSTAL SERVICE	PITNEY BOWES POSTAGE	4,000.00	01-401-240-	4,000.00	4,000.00
01*146276	VICTOR SECURITY, INC.	FARMSTEAD 12/01/25 - 12/31/202	102.50	01-454-450-	102.50	102.50
01*146277	W.B. MASON CO, INC	OFFICE SUPPLIES	144.35	01-430-210-	144.35	144.35
01*146278	WILLIAM MEAKIM	PAYMENT WINTER ADULT YOGA	1,440.00	01-452-450-	1,440.00	1,440.00
01*146279	WILLOW GROVE BAPTIST FOOD PANTRY	FOOD BANK DONATION	2,500.00	01-401-520-	2,500.00	2,500.00
01*146280	WILLOW TREE & LANDSCAPE SER. INC	Stump Grinding Ball Rd.	1,750.00	01-401-450-	1,750.00	1,750.00
04*9964	PRISCILLA AURIELLO	REIMBURSE CHRISTMAS LUNCHEON G	60.00	04-384-100-	60.00	60.00
04*9965	ALEX LEVY, PETTY CASHIER	AMERICAN MUSIC THEATER 12/02/2	168.00	04-384-100-	168.00	168.00
04*9966	CURRAN TRAVEL, INC.	DEPOSIT AMERICAN THEATER	6,816.00	04-384-100-	6,816.00	6,816.00
04*9967	JANET LYNCH	REFUND CRUISE DEPOSIT	250.00	04-384-100-	250.00	250.00
04*9968	PERKIOMEN TOURS	DEPOSIT 09/30/25 TRIP	100.00	04-384-100-	100.00	100.00
04*9969	CALVIN PRESSLEY	PAYMENT GAC ENTERTAINMENT	350.00	04-384-100-	350.00	350.00
04*9970	CAROL HARTMAN	GAC GIFT	150.00	04-384-100-	150.00	150.00
04*9971	DONNA GRAF	REIMBURSEMENT GAC GIFT	59.98	04-384-100-	59.98	59.98
04*9972	JENNIFER HARTIGAN	GAC GIFT	150.00	04-384-100-	150.00	150.00
04*9973	PENN'S PEAK, LLC	DEPOSIT GAC TRIP	100.00	04-384-100-	100.00	100.00
04*9974	PHILIP McGRATH	GAC GIFT	75.00	04-384-100-	75.00	75.00
04*9975	SPENCER CARTIER	GAC GIFT	75.00	04-384-100-	75.00	75.00
04*9976	CAROL HARTMAN	REIMBURSE GAC LUNCHEON GIFTS	63.89	04-384-100-	63.89	102.81
		REIMBURSEMENT HUNTERDON HILLS	16.00	04-384-100-	16.00	
		REIMBURSEMENT AMT SNACKS	22.92	04-384-100-	22.92	
04*9977	COMMONWEALTH NATIONAL GOLF CLUB	GAC LUNCHEON	1,485.40	04-384-100-	1,485.40	1,485.40
04*9978	LORI MOMORELLA	REIMBURSEMENT LUNCHEON GIFTS	60.00	04-384-100-	60.00	60.00
04*9979	PATRICIA HUDSON	REIMBURSE LUNCHEON GIFT	55.85	04-384-100-	55.85	55.85
04*9980	PATRICIA KEGEL	REIMBURSEMENT LUNCHEON GIFTS	58.97	04-384-100-	58.97	58.97
04*9981	RICHARD & ARLENE GHEEN	REIMBURSEMENT LUNCHEON GIFT	60.00	04-384-100-	60.00	60.00
04*9982	VEREINIGUNG ERZGEBIRGE	DEPOSIT 05/20/26	500.00	04-384-100-	500.00	2,000.00
		DEPOSIT 03/24/26	500.00	04-384-100-	500.00	
		DEPOSIT 02/24/26	500.00	04-384-100-	500.00	
		DEPOSIT 01/27/26	500.00	04-384-100-	500.00	
			45.55	23-471-600-	45.55	45.55
23*146071	RICOH USA, INC.	11/15/2025 - 12/14/2025	1,637.52	23-471-600-	1,637.52	1,637.52
23*146140	RICOH USA, INC.	NOVEMBER 2025	3,680.00	35-439-210-	3,680.00	4,600.00
35*3224	CENIVIVA'S PAVING & CONCRETE	08/25-08/28/25 PLEASANT HILL, 090525 REINIGER ROAD	920.00	35-439-210-	920.00	
35*3225	PECO ENERGY - PAYMENT PROCESSING	6017423111 LUMINAIRES	23,392.46	35-434-361-	23,392.46	23,392.46
35*3226	SHERWIN WILLIAMS CO.	STREET SIGN MATERIALS	280.05	35-433-245-	280.05	280.05
35*3227	ELLIOTT & FRANTZ, INC.	HAMM ROLLER	5,500.00	35-439-210-	5,500.00	1,833.33
		CREDIT OPEN RENTAL	-3,666.67	35-439-210-	-3,666.67	
35*3228	PECO ENERGY - PAYMENT PROCESSING	8654361222 10/03/25-11/03/25	1,069.50	35-434-361-	1,069.50	1,069.50
35*3229	PECO ENERGY - PAYMENT PROCESSING	2535420100 10/15-11/13/25	2,339.01	35-434-361-	2,339.01	2,339.01

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
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GRAND TOTAL OF CHECKS = 1,492,843.22

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION NO. R-2025-26

**A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF
UPPER MORELAND AUTHORIZING THE RATE OF CONTRIBUTION TO THE
POLICE PENSION FUND BY MEMBERS SHALL BE FIVE PERCENT (5%) OF TOTAL
WAGES FOR THE CALENDAR YEAR BEGINNING JANUARY 1, 2026, AND ENDING
DECEMBER 31, 2026.**

DULY adopted by the members of the Board of Commissioners of the Township of Upper Moreland this 1st day of December 2025.

ATTEST:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Patrick T. Stasio, Secretary

Clifton McFatridge, President

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

ORDINANCE NO. 1770

BE IT ENACTED AND ORDAINED that the yearly calendar for the Board of Commissioners of Upper Moreland Township shall be as follows:

2026 COMMISSIONERS' MEETINGS

ALL MEETINGS LISTED ON THE CALENDAR SHALL BEGIN PROMPTLY AT 7:00 P.M. AND SHALL BE ADJOURNED NO LATER THAN 11:00 P.M. ANY UNFINISHED BUSINESS SHALL BE CARRIED OVER TO THE APPROPRIATE MEETING THE FOLLOWING MONTH.

JANUARY			JULY		
Day	Date		Day	Date	
M	5	Reorganization Meeting	M	6	Regular Meeting
M	12	Regular Meeting	M	20	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec
M	19	HOLIDAY (Martin Luther King, Jr.)			
M	26	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec			
FEBRUARY			AUGUST		
M	2	Regular Meeting	M	3	Regular Meeting
M	9	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec	M	17	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec
M	16	HOLIDAY (Presidents' Day)			
MARCH			SEPTEMBER		
M	2	Regular Meeting	M	7	HOLIDAY (Labor Day)
M	16	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec	M	14	Regular Meeting
			M	21	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec
APRIL			OCTOBER		
M	6	Regular Meeting	M	5	Regular Meeting
M	20	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec	Pennsylvania Municipal League Conference		
			M	19	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec
MAY			NOVEMBER		
M	4	Regular Meeting	TU	3	ELECTION DAY
M	11	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec	S	7	2026 Budget Workshop
TU	19	PRIMARY ELECTION	M	9	Regular Meeting
M	25	HOLIDAY (Memorial Day)	M	16	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec
JUNE			DECEMBER		
M	8	Regular Meeting	M	7	Regular Meeting (including the adoption of the 2027 Township Budget)
M	22	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec	M	21	Community Development, Public Health & Safety; Fin & Admin; Parks & Rec

ADOPTED this 1st day of December 2025

ATTEST:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Patrick T. Stasio, Secretary

Clifton McFatridge, President

TOWNSHIP of UPPER MORELAND

Montgomery County, Pennsylvania
117 Park Avenue, Willow Grove, PA 19090-3215
Telephone (215) 659-3100 / Fax (215) 659-7363

COMMISSIONERS

KIP McFATRIDGE
President
CHERYL LOCKARD
Vice President
JARED JACOBS
DEMOND MULLEN
BENJAMIN W. OLSZEWSKI
NICHOLAS O. SCULL
CHARLES M. WHITING



OFFICIALS

PATRICK T. STASIO
Township Manager
JOHN D. BATES
*Assistant Township Manager/
Director of Finance*
ALEX H. LEVY
Township Treasurer
SEAN P. KILKENNY, ESQ.
Township Solicitor

Agenda Summary

Finance and Administration Committee Meeting – November 24, 2025

Board of Commissioners Regular Meeting – December 1, 2025

Agenda Item: **Kilkenny Law LLC 2026 Engagement Fee**

Prepared by: Patrick Stasio, Township Manager

Attachments: Engagement letter

Background/Analysis: The Township's solicitor, Kilkenny Law LLC, has provided the Township with an engagement letter for 2026 legal services with an hourly rate of \$175.00. This is a \$5.00 per hour increase from the current rate.

Fiscal Impact/Source: A small increase in our legal fees

Alternatives: N/A

Staff Recommendation: The Committee recommends the Board of Commissioners approve the Solicitor's rate increase for legal services at the Regular Meeting on December 1, 2025.



519 Swede Street • Norristown, PA 19401
(484) 679-8150

SEAN P. KILKENNY, ESQUIRE
Direct Dial: 484-679-8153
sean@skilkennylaw.com

September 12, 2025

Patrick Stasio, Township Manager
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

Re: Engagement Letter for Legal Services

Dear Mr. Stasio,

Please allow this letter to express our interest in serving as Township Solicitor of Upper Moreland Township for calendar year 2026. In accordance with the applicable provisions of the Pennsylvania Rules of Professional Conduct, this letter is intended to set forth our agreement concerning our representation of you. Furthermore, this letter will confirm the terms upon which law firm will serve as legal counsel to you and provide information about our fees.

For all work undertaken during 2026, the Township will pay Kilkenny Law, LLC One Hundred Seventy-Five Dollars (\$175.00) per hour.

After (1) one calendar year, the Board of Commissioners will review these rates and may consider applicable adjustments in compensation based on inflation or merit as it may see fit. We may, from time to time, recommend that specialized litigation or labor matters be referred to outside counsel upon a majority vote of the Board of Commissioners.

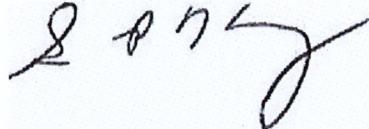
We will keep you advised of the time devoted to all matters. Our normal practice is to bill clients on a monthly basis. The Township will not be billed for secretarial time nor will the Township be charged for any travel between our offices and the Township Building. All invoices from our office will specify dates, nature or service, and members of our firm involved in the representation. Our bills also contain amounts designated as costs. These expenses include filing fees, process server fees, transcripts, postage charges, computer research charges, overnight delivery charges, large copy and/or fax jobs, long distance charges and similar expenses. We generally advance minor expenses but typically ask clients to advance larger disbursements such as court reporter fees for depositions, travel expenses and the like.

If you choose to discontinue using this firm's services, we will provide any files in our possession upon request. If you do not make a request to take custody of any files, we will retain the file for what we consider to be a reasonable period; at the expiration of which, your file will be disposed of without further notice to you. Our current policy is to dispose of all files seven (7) years after termination of our engagement or completion of the matter, and you agree that we may do so.

Our firm is committed to providing legal services promptly and efficiently and in accordance with the highest legal and ethical standards. On behalf of the firm, I wish to thank the Township for offering us this opportunity to be of service.

If the Board of Commissioners consents to our representation under the terms outlined in this letter, we would request that you and the President of the Board of Commissioners countersign this letter and return it to us.

Very truly yours,



SEAN KILKENNY

AGREED AND ACCEPTED:

President of the Board of Commissioners

Patrick Stasio, Township Manager

Date

TOWNSHIP OF UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215
Telephone (215) 659-3100 / Fax (215) 659-7363

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Township Solicitor

Agenda Summary

Finance and Administration Committee Meeting – November 24, 2025

Board of Commissioners Regular Meeting – December 1, 2025

Agenda Item:	Gilmore & Associates, Inc. 2026 Professional Services Fee Schedule
Prepared by:	Patrick Stasio, Township Manager
Attachments:	2026 Professional Services Fee Schedule
Background/Analysis:	Gilmore & Associates have adjusted their hourly rate schedule to reflect the ongoing competitive labor market in the industry, as well as the increases seen in operating costs as a result of inflation. The rates are an approximate increase of 3% from 2025.
Fiscal Impact/Source:	No material impact as the Township continues to budget for engineering costs
Alternatives:	N/A
Staff Recommendation:	The Committee recommends the Board of Commissioners approve the service fee increase at the Regular Meeting on December 1, 2025.

Equal Opportunity Employer

VISIT US ON THE WEB @ www.uppermoreland.org



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

**2026 PROFESSIONAL SERVICES FEE SCHEDULE
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA**

TITLE	RATE
Principal III	\$ 165.00
Principal II	\$ 160.00
Principal I	\$ 155.00
Consulting Professional V	\$ 150.00
Consulting Professional IV	\$ 145.00
Consulting Professional III	\$ 140.00
Consulting Professional II	\$ 135.00
Consulting Professional I	\$ 130.00
Design Technician V	\$ 125.00
Design Technician IV	\$ 120.00
Design Technician III	\$ 115.00
Design Technician II	\$ 110.00
Design Technician I	\$ 105.00
Construction Representative III	\$ 128.00
Construction Representative II	\$ 117.00
Construction Representative I	\$ 112.00
Survey Crew	\$ 200.00
Project Assistant	\$ 90.00

Listed Rates – All Rates listed above are hourly rates based upon straight time for a 40-hour, 5-day week and are charged on actual time expended. When requested/required to provide professional services in excess of 40 hours during the normal work week, non-exempt staff shall be charged 1.5 times the standard rate for those hours worked in excess of the normal 40 hours. Construction Representative Services requested on weekends shall be charged at the same overtime rate with a minimum of 4 hours charged.

Client Invoicing – Gilmore & Associates, Inc. invoices on a monthly basis and payment for services rendered are due within 30 days.

Proprietary Information – This Professional Services Fee Schedule is proprietary information issued by Gilmore & Associates, Inc. for review only by the recipient of this document. The information contained herein shall not be shared, reviewed or discussed with others than those receiving this original document.

Special Consulting Services - Rates vary by type of service and level of experience. Rate Schedules will be provided upon request.